

3.5 27 Willow Grove, Kew East (Willsmere Park) - Social pavilion and change room facilities - PP23/0579

27 Willow Grove, Kew East (Willsmere Park) - Social pavilion and change room facilities - PP23/0579

Application no.:	PP23/0579
Responsible director:	Scott Walker, Director Urban Living
Authorised by:	David Cowan, Manager Planning and Placemaking
Report officer:	Jack Richardson, Senior Urban Planner

Executive Summary

Proposal

The proposal seeks to construct buildings and works associated with a new social pavilion and change room facilities, and removal and pruning of native vegetation.

The redevelopment will deliver two change room pavilions, containing four change rooms, four amenity areas, two storage areas, two umpire amenity areas and a first aid room. The new social pavilion includes an external viewing area, kiosk, toilets and storage.

The buildings are elevated single storey structures, with the social pavilion having an overall height of 7.43 metres, and the change pavilion having an overall height of 8.32 metres.

An additional 16 on-street car parking spaces will be provided along Willow Grove, and three (3) trees are proposed to be removed.

Officer's response

The proposal responds positively to the relevant planning controls and policies of the planning scheme.

The proposal improves the design of the existing sporting club and the recreational and leisure facilities available to the community. The amenity of neighbouring properties has been considered through the design of the built form following the topography of the land and the colours and materials selected to integrate with the surrounding context. The overall height is modest and the project will benefit from the retention of existing canopy trees and new landscaping opportunities.

The removal of three native trees is proposed to make space for new car parking spaces and is supported by Council's Environmental Sustainability and Open Space Department. Flooding of the site and area has also been considered in the design of the proposal, with Melbourne Water supportive of the proposal subject to conditions.

Officers' recommendation

That the Urban Planning Delegated Committee resolve that a planning permit subject to conditions for buildings and works associated with a social pavilion and change room facilities, and removal of and pruning to native vegetation in the Land Subject to Inundation Overlay (LSIO) and Significant Landscape Overlay (SLO1) in accordance with the endorsed plans at 27 Willow Grove, Kew East be issued under the Boroondara Planning Scheme subject to the following conditions:

Melbourne Water Conditions

1. Prior to the endorsement of plans under this permit, amended plans to the satisfaction of Melbourne Water and Council must be submitted to and approved by Melbourne Water and Council. The plans must be generally in accordance with the plans submitted with the application but modified to include:
 - a) The building(s) / pavilion(s) must be constructed with finished floor levels set no lower than 18.82 metres to Australian Height Datum (AHD), which is 600 mm above the applicable flood level of 18.22 metres to AHD.
 - b) Carparking must be constructed with finished floor levels set no lower than the applicable flood level of 18.22 metres to Australian Height Datum (AHD).
2. Prior to the issue of an Occupancy Permit, a certified survey plan, showing finished floor levels (as constructed) reduced to the AHD, must be submitted to Melbourne Water to demonstrate that the floor levels have been constructed in accordance with Melbourne Water's requirements.
3. Imported fill must be kept to a minimum on the property and only be used for the sub floor areas of the building(s) / pavilion(s) and ramps.
4. Any new or modified stormwater connection to Melbourne Water's drainage system must obtain separate approval from Melbourne Water.
5. All decking including stairs must be constructed with unenclosed foundations to allow for the passage of overland flows. Stairs up to the decking must contain no vertical risers.

Layout not to be altered

6. The layout of the site and the size, levels, design and location of buildings and works shown on the endorsed plans must not be modified for any reason (unless the Boroondara Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.

Permit to expire:

7. This permit will expire if:
 - a) The development does not start within two (2) years of the issue date of this permit; or
 - b) The development is not completed within four (4) years of the issue date of this permit.

The Responsible Authority may extend the times referred to if a request is made in writing before the permit expires or:

- (i) within six (6) months afterwards if the development has not commenced; or
- (ii) within twelve (12) months afterwards if the development has not been completed.

Council and the Victorian Civil and Administrative Tribunal are unable to approve requests outside of the relevant time frame.

Notes:

Headings are for ease of reference only and do not affect the interpretation of permit conditions.

Data available at Melbourne Water indicates that the above property is subject to flooding. For a storm event with a 1% chance of occurrence in any one year, the applicable flood level for the property is 18.22 metres to Australian Height Datum (AHD).

Freeboard is the difference between the floor level of a building and the 100-year flood level. Freeboard requirements are designed to ensure that valuable buildings, their contents and the people in them are safely above the 100-year flood level.

Melbourne Water requires the building to be constructed with finished floor levels set minimum of 600mm above the applicable flood level. This is consistent with State Floodplain Management Policy and the Victorian Building Regulations 2018.



PLANNING ASSESSMENT REPORT

Urban Planning Delegated Committee

Application Number	PP23/0579
Date Application Received	02/08/2023
Planning Officer	Jack Richardson
Applicant	City of Boroondara
Owner	City of Boroondara
Property Address	27 Willow Grove, Kew East
Proposal	Buildings and Works associated with a social pavilion and change room facilities, and removal of and pruning to native vegetation in the Land Subject to Inundation Overlay (LSIO) and Significant Landscape Overlay (SLO1).
Ward	Bellevue
Zoning	Public Park and Recreation Zone (PPRZ)
Overlays	Land Subject to Inundation Overlay (LSIO) Significant Landscape Overlay - Schedule 1 (SLO1) Specific Controls Overlay (SCO)
Potential Overland Flow?	No
Advertised?	No (Exempt pursuant to Clause 52.31-2)
Number of Objections Received	Not Applicable
Recommendation	Planning Permit

PLANS ASSESSED IN THIS REPORT

Plans amended on 13 October 2023.

PROPOSAL

Appendix B - Plans

Council's Capital Projects Department is delivering a project to improve existing amenities associated with sporting clubs at Willsmere Park. The application has been made for buildings and works associated with a social pavilion and change room facilities, and removal and pruning of native vegetation.

Details of the proposal are summarised as follows:

- Redevelopment of the existing change room pavilion:
 - Two (2) new change rooms, two (2) new amenities areas and two (2) new storage area with roller screens.
 - Removal of existing stairs and balustrade, canopy and columns, existing fixtures and fittings to services, path and existing outdoor furniture.
- Addition of a new change pavilion which includes two (2) change rooms, two (2) amenity areas, two (2) umpires amenities areas and a first aid room.
- New services enclosure between each change pavilion.
- New social room with bifold wall to external viewing area, kiosk, toilets and storage.
- The buildings will be elevated single storey structures, with the social pavilion having an overall height of 7.43 metres, and the change pavilion will have an overall height of 8.32 metres.
- The materials and colours will include timber, masonry walls/fibre cladding, Colorbond and corrugated Colorbond sheeting in various colours including Pale Eucalypt, Dune, Surfmist and Woodland Grey.
- An additional 16 new on-street car parking spaces will be provided along Willow Grove.
- A new crossover and access ramp is provided resulting in the removal of existing bluestone guttering and grass, with relocation of post and chain fencing.
- Three (3) trees are proposed to be removed, two (2) 'Late Black Wattles' and a 'Purple Leaf Cherry Plum'.



Figure 1 - Perspective of the Proposal

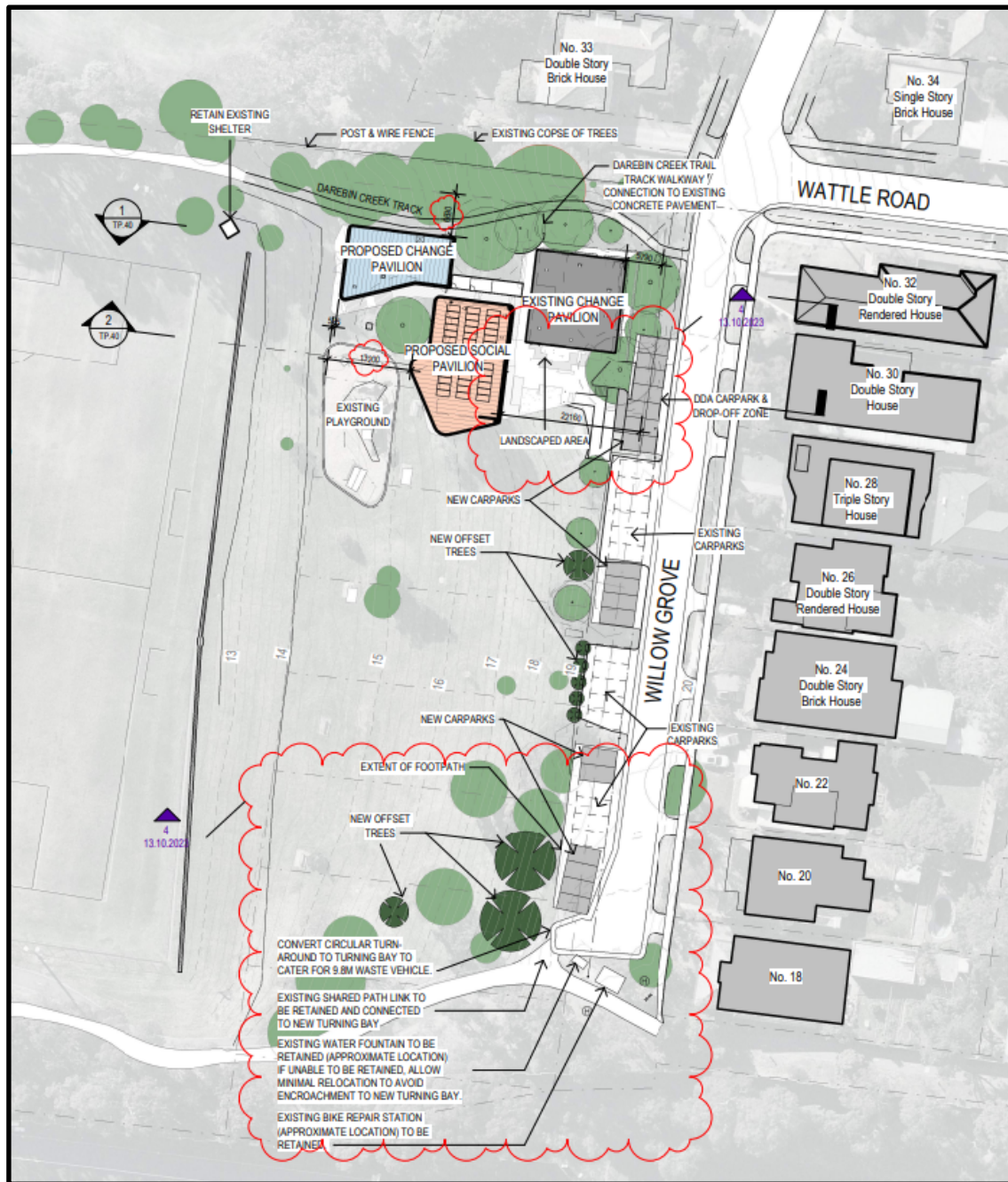


Figure 2 - Site Plan of the Proposal

THE SITE

Site Location	Willsmere Park is located at 27 Willow Grove, Kew East, which is positioned on the northern edge of the municipality, between then Eastern Freeway and Yarra River.
Width of Frontage	Approximately 141 metres to Willow Grove
Total Site Area	Approximately 11.38 hectares
Easements	The subject site is not encumbered by any easements.
Fall of the Land	The large site has an inconsistent topography.
Front Fencing Details	A low post and chain style fence is located along the Willow Grove frontage.

- The subject site currently contains two soccer pitches (or a single cricket pitch), a small pavilion with change rooms for two teams and a playground. The site also contains walking/bicycle paths and the Willsmere Billabong.
- The site is heavily vegetated, including a high number of substantial trees.



Figure 3 - Aerial of the Site (Council's WEAVE Dated 25 August 2023)



Figure 4 - Aerial of the specific Location of the Proposed Buildings & Works (Council's WEAVE Dated 25 August 2023)



Figure 5 - Streetview of the Subject Site from Willow Grove (Google Streetview Dated October 2014)

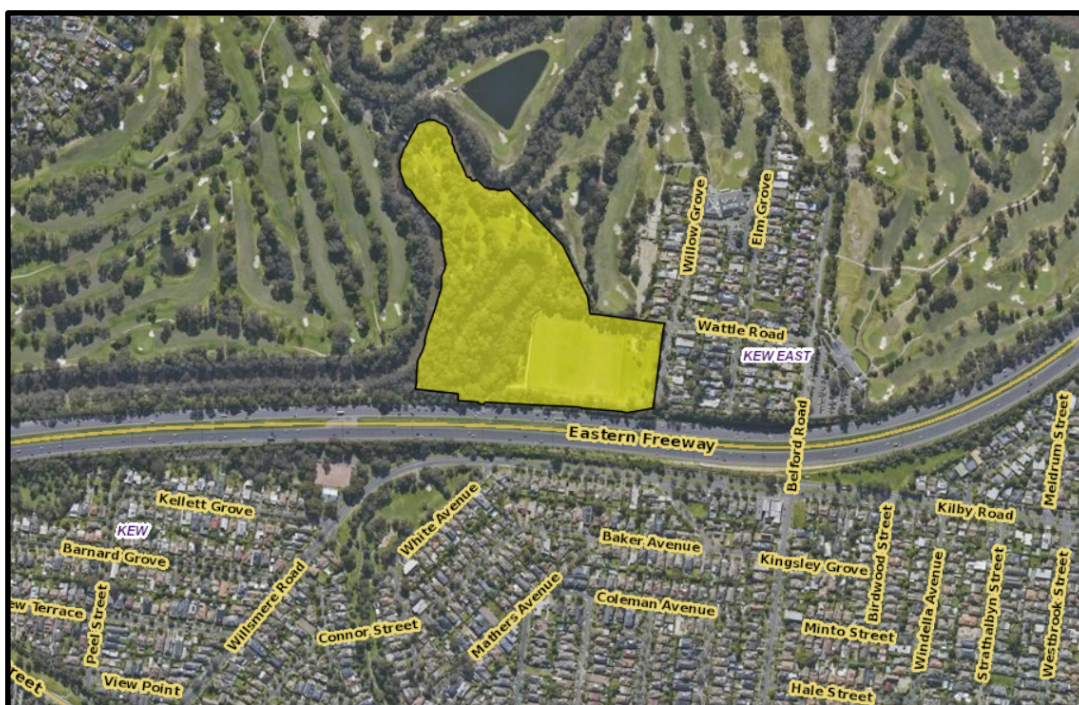
THE SURROUNDING AREA

Figure 6 - Aerial of the Subject Site & Surrounding Area (Council's WEAVE Dated 25 August 2023)



Figure 7 - View South from Willow Grove and Wattle Road towards to Subject Site (Google Streetview Dated April 2021)



Figure 8 - View North from the end of Willow Grove towards the Subject Site (Google Streetview Dated October 2014)

RESTRICTIVE COVENANT/AGREEMENTS

No covenant or restriction has been registered on Title for this property.

ABORIGINAL CULTURAL HERITAGE

Is the site within an area of Aboriginal cultural heritage sensitivity?	Yes (The specific site of the proposal is not located within the area of Aboriginal cultural heritage sensitivity).
Is a Cultural Heritage Management Plan required?	No

PERMIT/SITE HISTORY

A review of Council records indicates that there have been various planning applications at the subject site. None are relevant to the consideration of this planning permit application.

NOTICE OF APPLICATION

Pursuant to Clause 52.31-2 of the Boroondara Planning Scheme, an application for under any provision of this planning scheme to develop land by or on behalf of a municipal council is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

Council's Capital Projects Department conducted two rounds of community consultation; the first undertaken from Friday 25 November 2022 to Friday 16 December 2022, and the second undertaken from Wednesday 26 April 2023 to Wednesday 24 May 2023. Both forms of community consultation occurred via resident letters and project information sheets being distributed.

AMENDMENTS TO THE PROPOSAL

An amendment to a planning application was lodged with Council (Section 50 Amendment) on 13 October 2023. The proposed changes are as follows:

- Amendment to the landscape plans:
 - To replace all garden beds and planting with grass.
 - Alternative species of tree nominated to minimise visual blockage to sign.
 - Removal or irrigation and rock boulders.
- Car parking layout amended to reflect:

- Revised turning bay layout adopted to cater access for a 9.8 metre waste vehicle.
- Consequentially, the last 4 car parking spaces (bay 13-16) has been rotated to ensure visual cohesion and retain the total of 16 new car parking spaces.
- In response to the Melbourne Water referral response:
 - Finished Floor Level raised an additional 320mm to achieve a proposed Finished Floor Level of 18.82 metres AHD (excluding existing and new concrete paving areas). The roof Finished Floor Level raised by an additional 320mm.
 - Additional stair risers, accessible ramps, step ramps and handrails added.
 - Redesign of external community space to cater for level change.

REFERRALS

Traffic Department	Supported. Sufficient car parking has been provided to the satisfaction of Council as the Responsible Authority pursuant to Clause 52.06 (Car Parking).
Environmental Sustainability and Open Space Department	Supported. Tree removal is considered acceptable.
Melbourne Water	Supported, subject to conditions.

GOVERNANCE ISSUES

The implications of this report have been assessed and are not considered likely to breach or infringe upon the human rights contained in the *Victorian Charter of Human Rights and Responsibilities Act 2006*.

The officers responsible for this report have no general or material conflicts of interest requiring disclosure.

The report to Council and any decision arising of Council will be made available on Council's website and by inspection at the Council Offices in accordance with the requirements in the Local Government Act 2020, Council's Governance Rules and Public Transparency Policy.

CONSIDERATIONS

In assessing this application, consideration has been given to the following:

- The objectives of planning in Victoria as detailed in Section 4 of the *Planning & Environment Act 1987*;
- Section 60 of the *Planning & Environment Act 1987*;
- The relevant provisions and decision guidelines of the Boroondara Planning Scheme including the decision guidelines of Clause 65;
- Any comment or decision of a referral authority.

This proposal does not raise any significant adverse social or economic impacts. General social and economic impacts are addressed by the planning policy assessment below.

BOROONDARA PLANNING SCHEME

ZONING & OVERLAYS

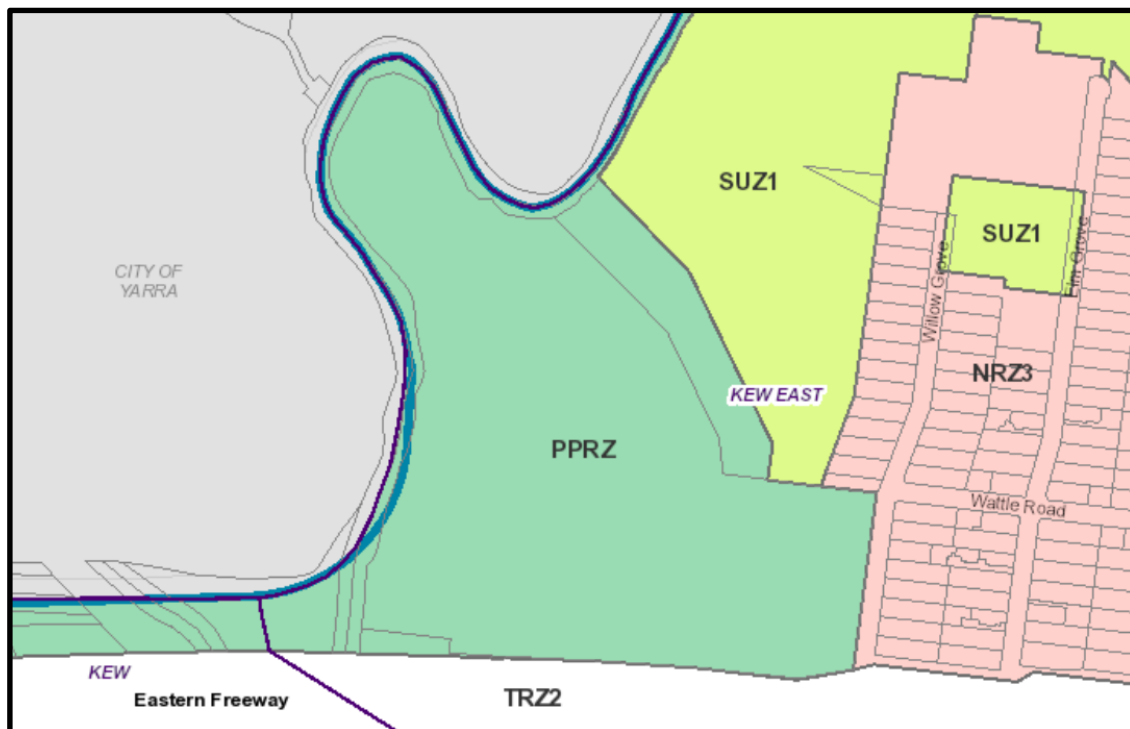


Figure 9 - Zoning Map

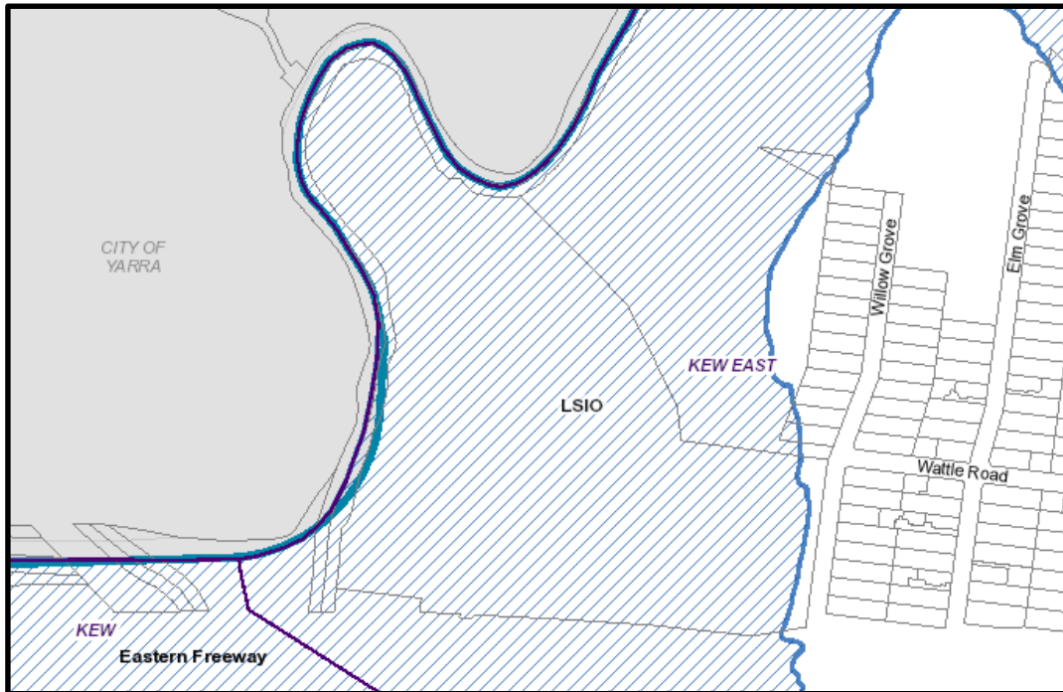


Figure 10 - Land Subject to Inundation Overlay

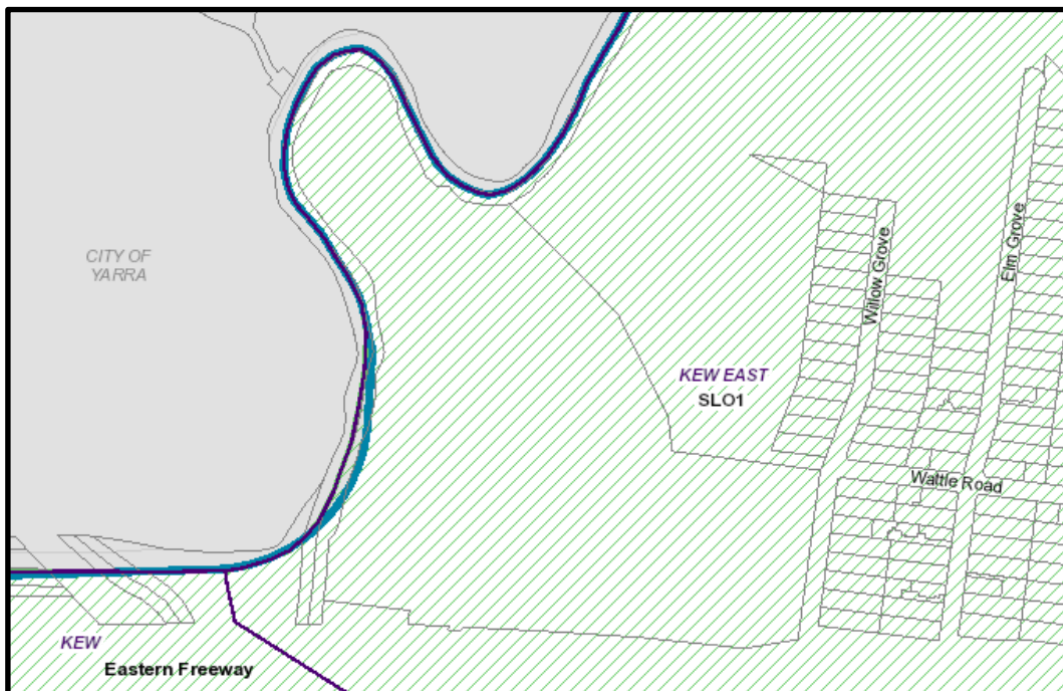


Figure 11 - Significant Landscape Overlay

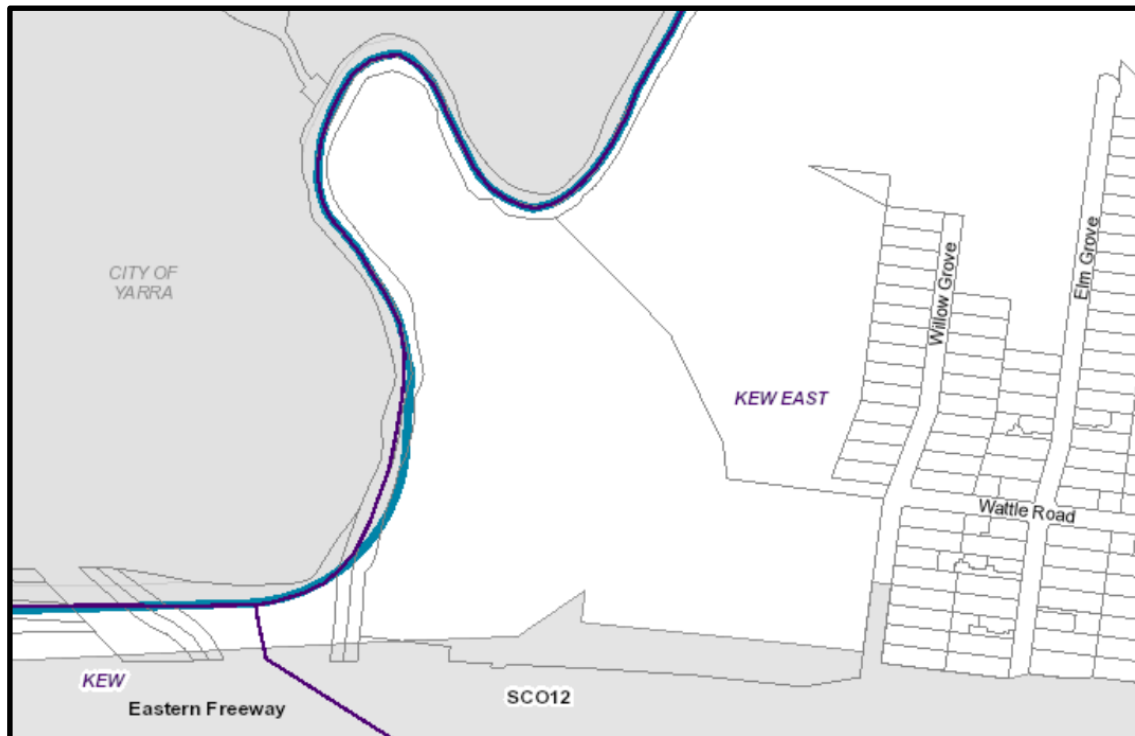


Figure 12 - Specific Controls Overlay

Public Park and Recreation Zone (PPRZ)

No Planning Permit is triggered by the zone in accordance with Clause 36.02-2 for buildings and works carried out by or on behalf of a public land manager, under the Local Government Act 1989.

Land Subject to Inundation Overlay (LSIO)

Pursuant to Clause 44.04-2 a Planning Permit is required to construct a building or carry out works.

Significant Landscape Overlay - Schedule 1

Pursuant to Clause 42.03-2 a Planning Permit is required to construct or carry out works as the overall height exceeds 6 metres.

Pursuant to Clause 42.03-2 a Planning Permit is required to remove, destroy or lop vegetation. A permit is required to remove Trees 2, 3 and 4 (referenced within the Arboricultural Assessment and Report prepared by Tree Logic dated 26 July 2023).

Specific Controls Overlay

A Planning Permit is not triggered by this overlay.

PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

Pursuant to Clause 52.06 of the Boroondara Planning Scheme, there are no statutory car parking rates for Open Sports Ground, Minor Sports and Recreation Facility or Informal Outdoor Recreation uses, and as such car parking is required to be provided to the satisfaction of the Responsible Authority.

A Planning Permit is not required for the proposal through this Clause.

Clause 52.27 - Native Vegetation

A Planning Permit is not required for the proposed vegetation pruning and removal.

OFFICER ASSESSMENT

PLANNING POLICY FRAMEWORK

The following planning policies are relevant to the assessment of the current application:

- Clause 11 - Settlement
 - Clause 11.03-1L-04 - Neighbourhood centres, local centres, commercial corridors
 - Clause 11.03-5S - Distinctive areas and landscapes
- Clause 12 - Environmental and Landscape Values
 - Clause 12.05-1S - Environmentally sensitive areas
 - Clause 12.05-2S - Landscapes
- Clause 13 - Environmental Risks and Amenity
 - Clause 13.03 - Floodplains
- Clause 15 - Built Environment and Heritage
 - Clause 15.01-1S - Urban Design

- Clause 15.01-1L-01 - Urban design and built form outcomes
 - Clause 15.01-2S - Building design
 - Clause 15.01-4S - Healthy neighbourhoods
- Clause 19 - Infrastructure
 - Clause 19.02-4S - Social and cultural infrastructure
 - Clause 19.02-4L-01 - Community facilities
 - Clause 19.02-4L-02 - Sport and recreation facilities
 - Clause 19.02-6S - Open space

Policy Context

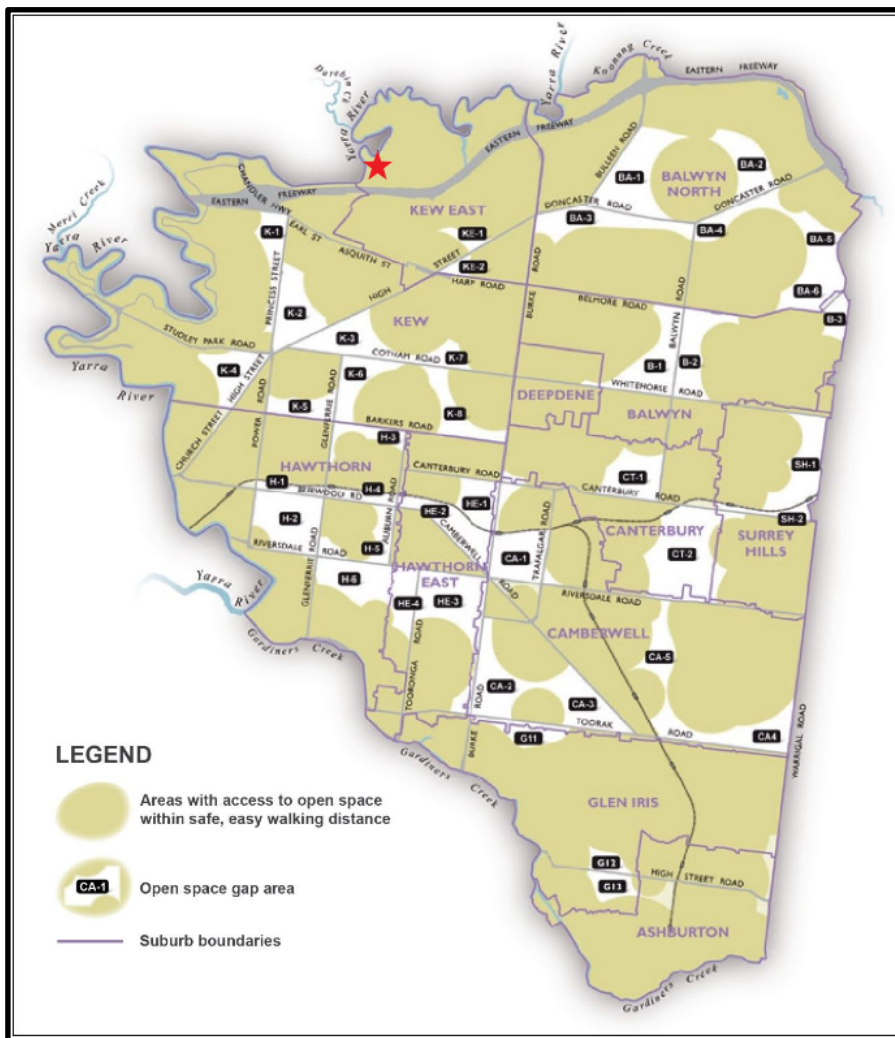


Figure 13 - Open Space in Boroondara (Clause 19.02-6L-01) (Site represented by Red Star)

The subject site contributes to an extensive network of open space located within Boroondara (Clause 19.02-6L-01 of the Scheme).

It is the objective of Clause 19.02-4L-02 (Sport and recreation facilities) *‘to ensure a broad range of highly accessible recreation and leisure facilities are provided that meet the needs of the community, while being sensitive to adjoining amenity’* and the objective of Clause 19.02-6S (Open Space) *‘to establish, manage and improve a diverse and integrated network of public open space that meets the needs of the community’*.

The proposal improves upon an established open space which provides recreational and leisure use for residents, by providing new and improved facilities to facilitate community sport and recreation. Further, the proposal will regenerate the site from a landscaping and environmental outcome through new landscaping opportunities, whilst minimising vegetation removal or impacts on existing canopy trees.

It is considered that the proposal responds positively to the context of the planning policy framework.

Car Parking

Clause 52.06 (Car Parking) does not specify a car parking rate for a Minor Sports and Recreation Facility, and therefore the amount of car parking required is to the satisfaction of the Responsible Authority (Council).

As discussed in Appendix A to this report, Council’s Transport Engineers are satisfied with the provision of 16 new car parking spaces.

The turning area at the end of Willow Grove will allow waste collection vehicles to turn around without encroaching onto private properties, which is acceptable.

Urban Design

The proposed buildings and works have been designed taking into account the topography of the site and the context of the site, including significant vegetation.

The proposed change rooms and social pavilion follow the topography of the site, to minimise the overall height of the built form.

The materials and colours of the proposal are of natural and non-reflective tones, which will blend in with the landscape context of open sporting grounds and heavy vegetation.

Vegetation Removal

The proposed vegetation removal (Trees 2, 3 and 4 referenced within the Arboricultural Assessment and Report prepared by Tree Logic dated 26 July 2023) is supported by Council's Environmental Sustainability and Open Space Department.

The removal of the three trees will allow for the provision of 16 new car parking spaces, whilst sufficient space is provided throughout the site to allow new planting and landscaping opportunities. It is considered that there is a net benefit to the removal of the three canopy trees.

Yarra River Environs

The proposal has been designed to utilise an area within Willsmere Park where existing sporting club buildings are provided. Therefore, the impact on the landscape character and existing vegetation is minimised. The proposed buildings and works have been designed to follow the topography of the land and will be integrated with the landscape, ensuring that the visual impact on the Yarra River and surrounds is low and they do not dominate the natural landscape character. Further, Melbourne Water are supportive of the proposal, which highlights that works will not lead to flooding impacts on the river system.

Flooding

In accordance with the provisions of Clause 66.03 of the scheme, the application was referred to Melbourne Water as a Section 55 Determining Authority. As detailed within Appendix A to this report, Melbourne Water do not object to the issuing of a Planning Permit, subject to conditions to be included in any permit issued. The Applicant submitted amended plans to address these conditions on 13 October 2023. Whilst the conditions will be included in the permit issued, it is considered that flooding has been appropriately managed, as reflected by the Melbourne Water referral response.

Amenity

The proposed development and new landscaping opportunities associated are considered an improvement on local community infrastructure, that have been designed with consideration of the topography of the land and surroundings to integrate the built form with the landscape, ensuring the amenity of neighbouring properties is not negatively impacted upon.

The use of the land is existing, and appropriate in the zone. The building has been designed to minimise impact on neighbouring property owners and occupiers' through noise, vibration, car parking/access, or other potential amenity impacts.

APPENDIX A - REFERRAL RESPONSES**INTERNAL REFERRALS**

The application was referred to the following:

Traffic & Transport Department - Traffic EngineersOfficer Comment

Friday 25 August 2023

Please find the below feedback on the traffic engineering assessment of August 2022 and June 2023 by Traffix Group for Willsmere Park Pavilion:

Existing Conditions

- Currently on game days, senior matches are played at 1pm and at 3pm. Matches run for 105 minutes, with the first match concluding at 2:45pm, 15 minutes prior to the start of the second match. Players typically arrive up to an hour prior to the start of the match and accordingly there is an overlap where players from both matches are on-site at the same time.
- There are estimated to be up to 104 people on-site at the overlap between matches.
- A total of 15 existing indented 90-degree parking spaces are located on the site frontage along Willow Grove.

Proposed Conditions and Car Parking Assessment

- The Willsmere Park sports ground can be used for a single cricket match or as two separate soccer pitches (for either junior or senior competition and training).
- The “worst case” scenario is therefore when the fields are used for soccer.
- The area of the open sports ground and the number of marked sports grounds is not proposed to change, however the pavilion is proposed to provide change rooms for twice as many teams, allowing for more efficient use of the existing grounds on game day.
- Under the proposal, the time that the teams for two matches could be present if played simultaneously would be longer than for an overlap. The increase in numbers could result from additional spectators which if estimated as 20 per team, would result in an additional 40 people on-site, i.e. a total of up to 144 people.
- Traffix group conducted car parking surveys at various sports ground and identified a car parking rate of 0.45 cars per person, or a car parking occupancy rate of 2.2 people per car for soccer.
- Therefore, an increase of 40 people at Willsmere Park on game day to accommodate concurrent senior matches being held on both ovals would result in an increase in the parking demand of 18 spaces.

- It is proposed to introduce 16 additional 90-degree parking spaces adjacent to the Willsmere Park along Willow Grove.
- The availability of on-street parking nearby and the increase in the provision of on-street parking immediately adjacent to the facility are considered sufficient to support the proposed car parking provisions.
- It is also noted that the increase in the number of on-street spaces to be provided on Willow Grove immediately adjacent to the change room facilities will result in reduced demand for on-street parking further away under normal Willsmere Park usage.

Car Parking Layout and Potential Issues

- Further details are required regarding shared path link to Willow Grove to fully assess the revised shared path link. Please refer the revised layout to Bhushan Jani, Co-ordinator Transport Management to assess the revised layout.
- Currently there is a larger turning area at the end of Willow Grove allowing vehicles to turn around without reversing. The revised turning bay is significantly reduced. There is on-street parking permitted along the west side of Willow Grove, where 'Permit Zone' restrictions apply. The swept path assessments for a turning bay indicates that there will be a conflict between a turning vehicle and vehicle parked opposite the turning bay outside no. 20 Willow Grove.
- There will likely be issues with waste collection vehicles or other service vehicles to turn around at the end of the street. It is recommended to design the turn around bay considering service vehicles.
- The current traffic assessment considers same number of matches will be played at Willsmere Park. However, with additional change rooms, there will be additional capacity to play two matches simultaneously at 1pm and at 3pm. In this case, there will be significantly higher car parking demand in the area. Please note that revised car parking assessment will be required if there is a proposal to increase the number of matches being played at the park.

Wednesday 4 October 2023

It is understood based on the revised turning area layout and swept paths that all proposed 16 new parking spaces will be retained. The revised turning area will assist waste collection vehicles to turn around without encroaching onto private properties.

As there are no changes in the proposed car parking spaces, the concept plan and proposed car parking provisions are considered sufficient as per our previous comments. However, appropriate full feature survey and detailed civil design drawings would be required to confirm that the proposed car parking layout is feasible considering significant grade changes and potential drainage issues as highlighted earlier.

Environmental Sustainability and Open Space Department

Council's Environmental Sustainability and Open Space Department have supported the findings of the independent Arborists Reports submitted with the application. The proposed removal of trees is supported.

EXTERNAL REFERRALS

The application was referred externally to:

Melbourne Water

Melbourne Water, pursuant to Section 56(1) of the Planning and Environment Act 1987, does not object to the proposal, subject to the following conditions:

1. Prior to the endorsement of plans under this permit, amended plans to the satisfaction of Melbourne Water and Council must be submitted to and approved by Melbourne Water and Council. The plans must be generally in accordance with the plans submitted with the application but modified to include:
 - a) The building(s) / pavilion(s) must be constructed with finished floor levels set no lower than 18.82 metres to Australian Height Datum (AHD), which is 600 mm above the applicable flood level of 18.22 metres to AHD.
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3. Imported fill must be kept to a minimum on the property and only be used for the sub floor areas of the building(s) / pavilion(s) and ramps.
4. Any new or modified stormwater connection to Melbourne Water's drainage system must obtain separate approval from Melbourne Water.
5. All decking including stairs must be constructed with unenclosed foundations to allow for the passage of overland flows. Stairs up to the decking must contain no vertical risers.

Advice

Data available at Melbourne Water indicates that the above property is subject to flooding. For a storm event with a 1% chance of occurrence in any one year, the

applicable flood level for the property is 18.22 metres to Australian Height Datum (AHD).

Freeboard is the difference between the floor level of a building and the 100-year flood level. Freeboard requirements are designed to ensure that valuable buildings, their contents and the people in them are safely above the 100-year flood level.

Melbourne Water requires the building to be constructed with finished floor levels set minimum of 600mm above the applicable flood level. This is consistent with State Floodplain Management Policy and the Victorian Building Regulations 2018.

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Drawing Status

TOWN PLANNING

Revisions

- 1 30.06.2023 Town Planning Coordination
- 2 10.07.2023 Town Planning Issue
- 3 28.07.2023 Town Planning Issue
- 4 13.10.2023 Town Planning Amendment

Notes

4
13.10.2023

DRAWING LIST - TOWN PLANNING	
DWG NO.	NAME
TP.00	COVER SHEET
TP.01	SITE SURVEY
TP.02	EXISTING CONDITIONS & DEMOLITION
TP.10	CONTEXT PLAN
TP.11	SITE PLAN
TP.20	PROPOSED FLOOR PLAN
TP.21	PROPOSED LOWER GROUND LEVEL
TP.22	PROPOSED ROOF PLAN
TP.30	PROPOSED ELEVATIONS
TP.31	PROPOSED ELEVATIONS - COLORED
TP.40	NEIGHBOURHOOD VIEW LINE SECTIONS
TP.41	YARRA RIVER VIEW LINE SECTION
TP.50	SHADOW ANALYSIS
TP.51	SHADOW ANALYSIS 2
TP.60	EXTERNAL FINISHES

CITY OF BOROONDARA
27 WILLOW GROVE, KEW EAST
WILLSMERE PARK PAVILION
TOWN PLANNING



ARTISTS IMPRESSION FOR
ILLUSTRATIVE PURPOSES ONLY

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Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

COVER SHEET

Drawn	Checked	Approved
JJ	RP	RP
Job Number	Date	Scale
2022012	13.10.2023	
Drawing Number	Revision	

TP.00

4

11/10/2023 3:51:46 PM



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Revisions

- 1 30.06.2023 Town Planning Coordination
- 2 10.07.2023 Town Planning Issue
- 3 28.07.2023 Town Planning Issue

Notes

VERSIONS

01	08.12.2020	INITIAL ISSUE OF DRAWING.
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HEAD & HUMPHREYS
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Fax : +61 3 9875 8778
e-mail: contact@hthsurvey.com.au
ABN 60 008 515 189

NOTATIONS

LEVEL DATUM
THE LEVELS SHOWN HEREON ARE TO A.H.D. (AUSTRALIAN HEIGHT DATUM). LEVEL DATUM VIDE BOROONDARA PM 89 (BL 36.17).

BEARING DATUM
THIS PLAN IS ON APPROX. M.G.A. IN ZONE 5 HORIZONTAL DATUM (MAP GRID AUSTRALIAN DATUM VIDE MCGILLAND GROUP SURVEY 121118).

CONTOURS
THE CONTOURS SHOWN ARE PROVIDED AS AN INDICATION OF GRADES ONLY. NO VARIATIONS MAY OCCUR BETWEEN ACTUAL LEVEL POINTS SHOWN.

PURPOSE
THIS PLAN HAS BEEN PREPARED EXCLUSIVELY FOR BOROONDARA COUNCIL.
THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF EXISTING FEATURES ON SITE AS REQUESTED AT THE TIME OF SURVEY FOR DESIGN. THIS PLAN SHOULD NOT BE USED FOR ANY OTHER PURPOSES.

TITLE BOUNDARIES
TITLE BOUNDARIES HAVE NOT BEEN DETERMINED BY THIS SURVEY.

SERVICES
THE LOCATION OF SERVICES HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY BY HEAD & HUMPHREYS, RECORD AND RECORD AND RECORDS FROM RELEVANT AUTHORITIES. HEAD & HUMPHREYS ACCEPTS NO RESPONSIBILITY FOR THE LOCATION OR COMPLETENESS OF DATA SUPPLIED BY SERVICES AUTHORITIES.

MISCELLANEOUS
DRAWING REFERENCE NO. 8032-00-PEA-0101
LAYER STATE: N/A
DATE OF FIELD SURVEY: 07/2020

CLIENT

WILLSMERE PARK PAVILION

PROJECT

WILLSMERE PARK PAVILION

TITLE

WILLSMERE PARK EXISTING CONDITIONS

PROJECT No	8032	DATE	09/12/20
DRAWN	MB	CHECKED	SM
ORIGINAL	A1 SCALE	1:250	VERSION 01
A3 SCALE	1:500		
SHEET No	SHEET No. 1 OF 1		

LAYER STATE: N/A DRAWING REF: 8032-00-PEA-0101.DWG

Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

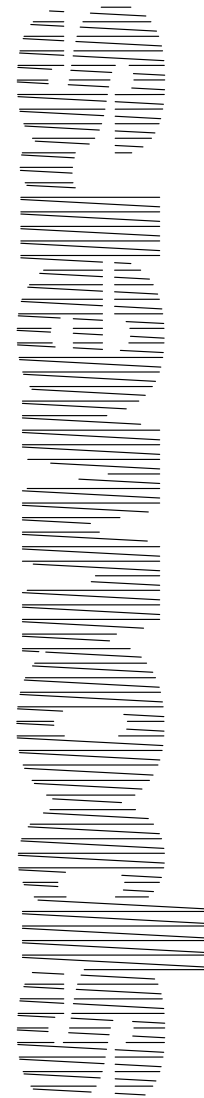
SITE SURVEY

Drawn	Checked	Approved
JJ	RP	RP
Job Number	Date	Scale
2022012	13.10.2023	
Drawing Number	Revision	

TP.01

3

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1 PROPOSED CONTEXT PLAN
A10.00 1:500

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Drawing Status

TOWN PLANNING

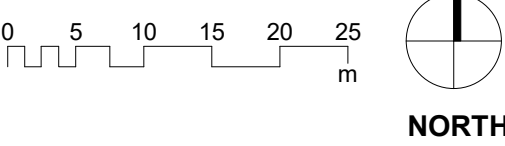
Revisions

- 30.06.2023 Town Planning Coordination
- 10.07.2023 Town Planning Issue
- 28.07.2023 Town Planning Issue
- 13.10.2023 Town Planning Amendment

Notes

ALL CARPARK TO BE SUPPLIED BY COUNCIL.
ALL CARPARK INFORMATION TO BE READ IN CONJUNCTION WITH THE ARBORIST'S REPORT (DATED 26 JULY 2023).

IN ACCORDANCE TO THE CITY OF BOROONDARA'S TREE STRATEGY 2017-2027, UNSUITABLE TREES DEEMED AS DETERIORATING ARE TO BE REMOVED AND REPLACED.



Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

CONTEXT PLAN

Drawn	Checked	Approved
JJ	RP	RP
Job Number	Date	Scale
2022012	13.10.2023	1 : 500
Drawing Number	Revision	

TP.10

4

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Drawing Status

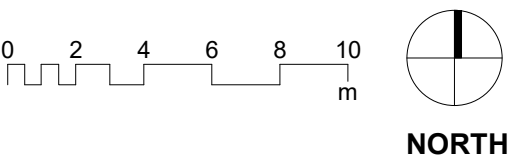
TOWN PLANNING
PRELIMINARY

Revisions

- 1 30.06.2023 Town Planning Coordination
- 2 10.07.2023 Town Planning Issue
- 3 28.07.2023 Town Planning Issue
- 4 13.10.2023 Town Planning Amendment

Notes

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Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

SITE PLAN

Drawn

JJ

Job Number

2022012

Drawing Number

TP.11

Checked

RP

Date

13.10.2023

Revision

Approved

RP

Scale

1 : 200

Revision

4

11/10/2023 3:53:30 PM



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Drawing Status

TOWN PLANNING

Revisions

- 30.06.2023 Town Planning Coordination
- 10.07.2023 Town Planning Issue
- 28.07.2023 Town Planning Issue
- 13.10.2023 Town Planning Amendment

Notes

LEGEND

CHANGEROOM PAVILION

NEW CARPARK SPACES

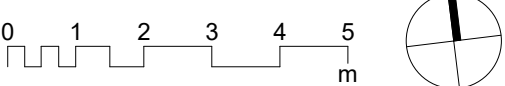
SOCIAL PAVILION

EXTERNAL AREAS/CIRCULATION

EXISTING WALLS

PROPOSED WALLS

NOTE: ALL RL LEVELS SHOWN HEREON ARE TO A.H.D. (AUSTRALIAN HEIGHT DATUM).



Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

PROPOSED FLOOR PLAN

Drawn

JJ

Checked

RP

Approved

RP

Job Number

2022012

Date

13.10.2023

Scale

1 : 100

Drawing Number

TP.20

Revision

4

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2 PROPOSED FLOOR PLAN
A10.00 1:100



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Drawing Status

TOWN PLANNING

Revisions

- 1 30.06.2023 Town Planning Coordination
- 2 13.10.2023 Town Planning Amendment

Notes

LEGEND

CHANGEROOM PAVILION

NEW CARPARK SPACES

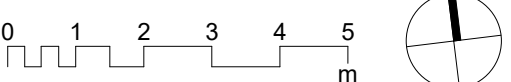
SOCIAL PAVILION

EXTERNAL AREAS/CIRCULATION

EXISTING WALLS

PROPOSED WALLS

NOTE: ALL RL LEVELS SHOWN HEREON ARE TO A.H.D. (AUSTRALIAN HEIGHT DATUM).



Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

PROPOSED LOWER GROUND LEVEL

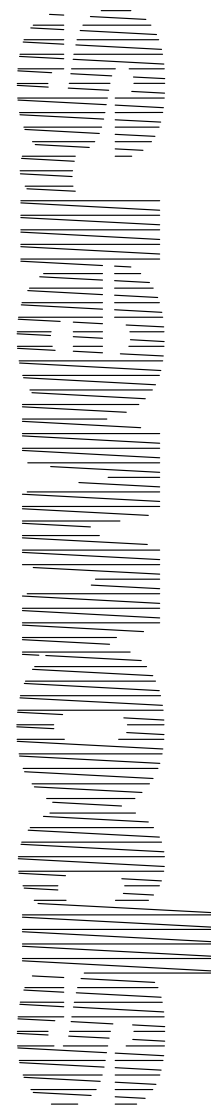
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JJ	PS	RP
Job Number	Date	Scale
2022012	13.10.2023	1 : 100
Drawing Number	Revision	

TP.21

2

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Drawing Status

TOWN PLANNING

Revisions

- 1 30.06.2023 Town Planning Coordination
- 2 10.07.2023 Town Planning Issue
- 3 13.10.2023 Town Planning Amendment

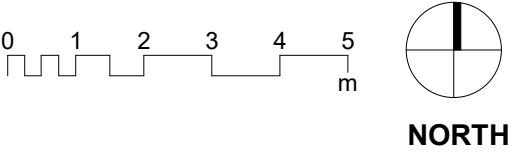
Notes

LEGEND

RF01	COLORBOND CORRUGATED ROOFING - PALE EUCALYPT
RF02	COLORBOND CORRUGATED ROOFING - DUNE
RF03	COLORBOND CORRUGATED ROOFING - SURFMIST
MC02	STANDING SEAM CLAD - WOODLAND GREY
RF04	EXISTING PAVILION ROOF

NOTE: ALL RL LEVELS SHOWN HEREON ARE TO A.H.D. (AUSTRALIAN HEIGHT DATUM).

WILLOW GROVE



Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

PROPOSED ROOF PLAN

Drawn	Checked	Approved
JJ	PS	RP
Job Number	Date	Scale
2022012	13.10.2023	1 : 100
Drawing Number	Revision	

TP.22

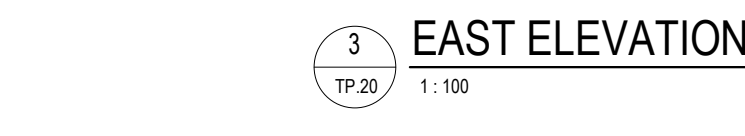
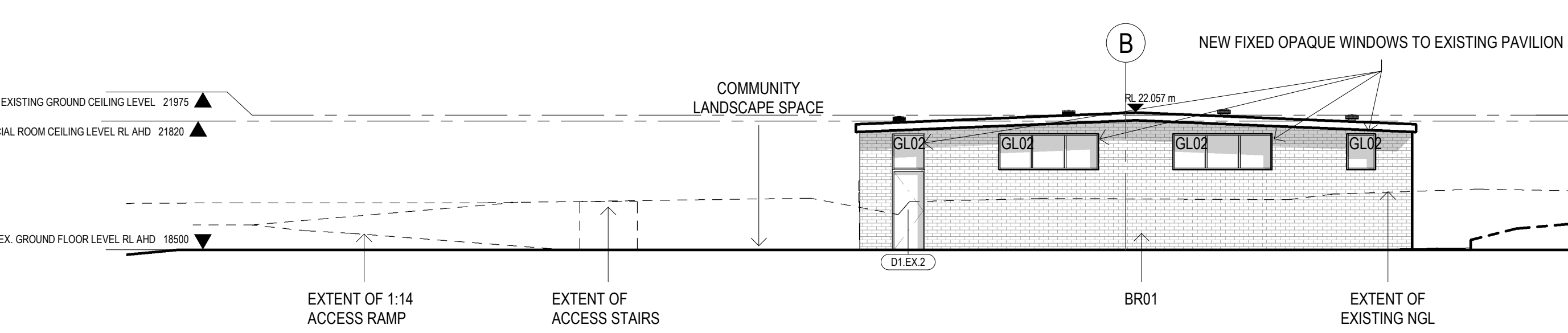
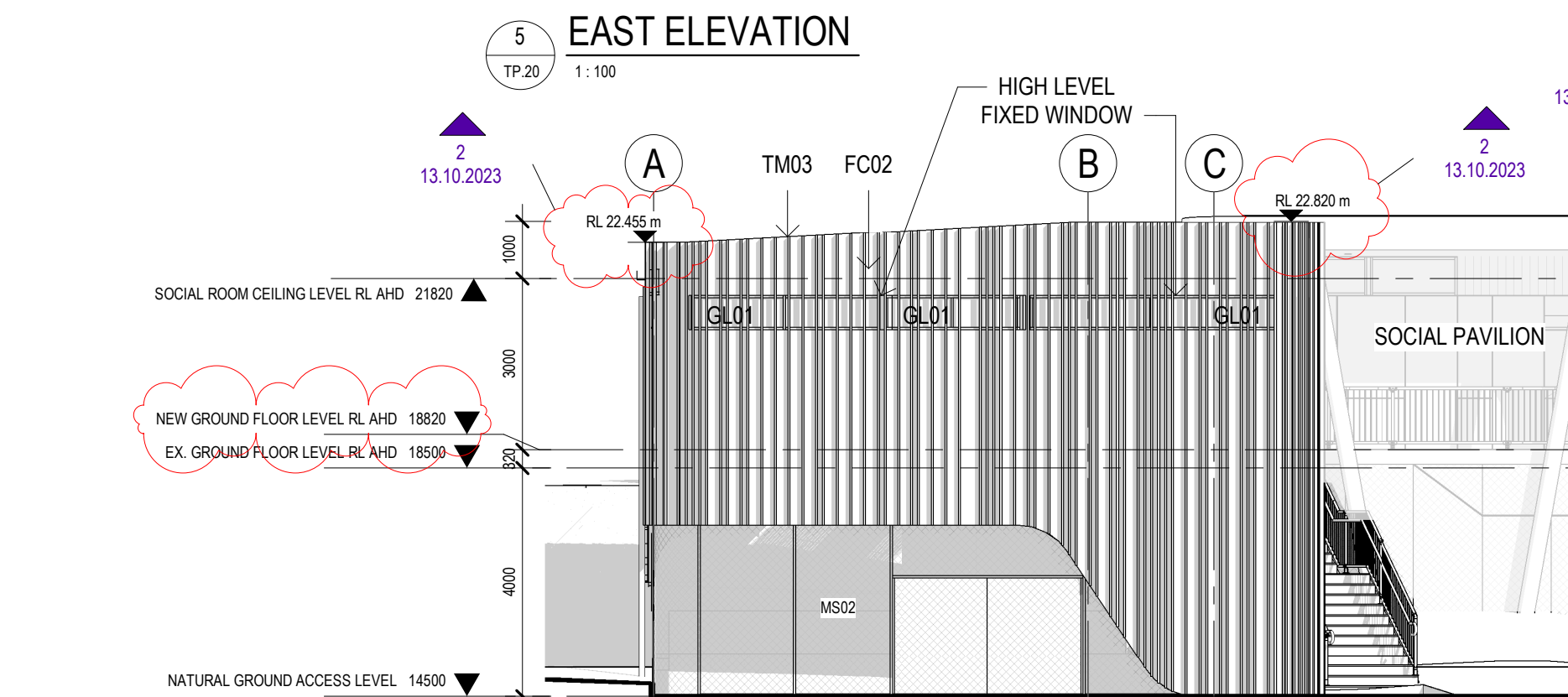
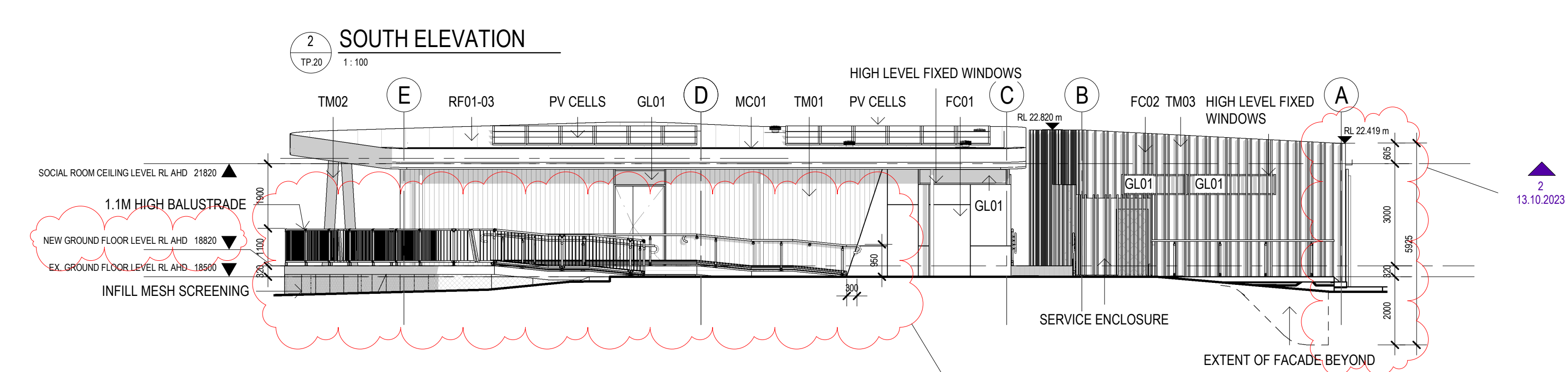
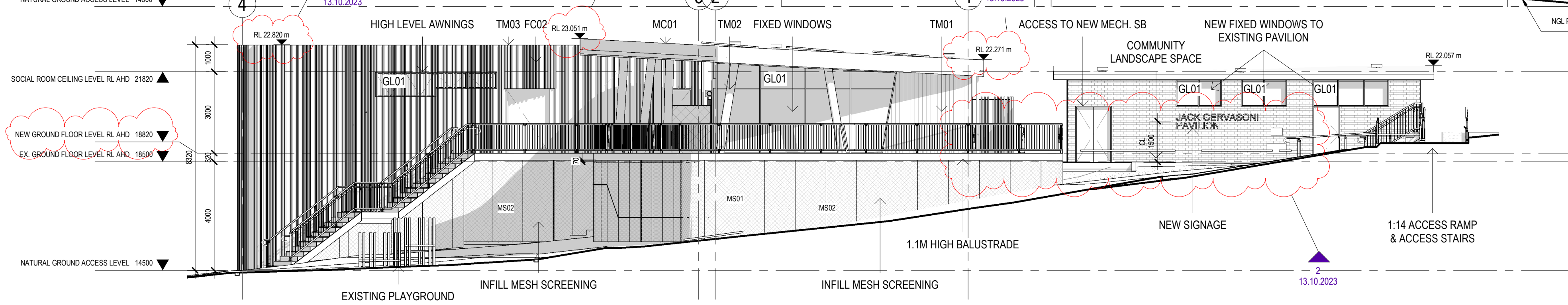
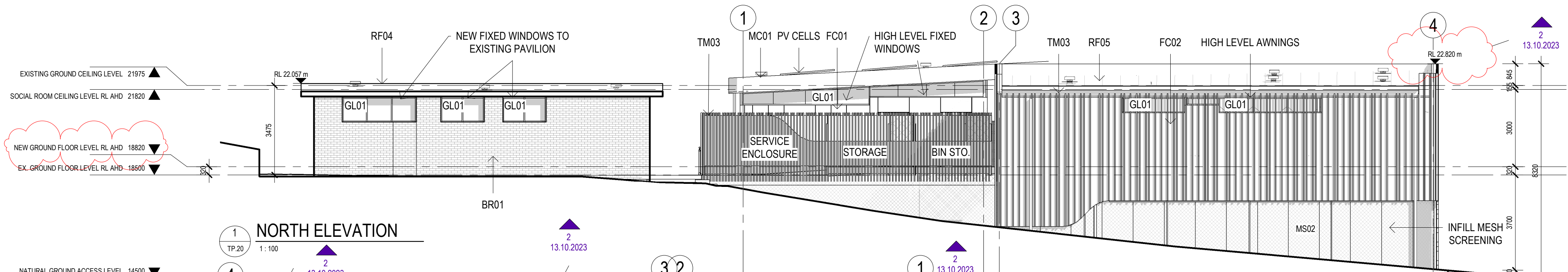
3

11/10/2023 3:53:46 PM

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1 A10.00 PROPOSED ROOF PLAN 1:100



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Drawing Status

TOWN PLANNING

Revisions

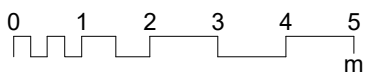
- 30.06.2023 Town Planning Coordination
- 13.10.2023 Town Planning Amendment

Notes

EXTERIOR FINISHES LEGEND		
CODE	MATERIAL	COLOUR
TM01	KD IRONBARK SHIPLAP CLADDING	IRONBARK
TM02	300 DIA. TIMBER POLES (IRONBARK/BLACKBUTT)	NATURAL, H5 TREATED
TM03	70x35 TIMBER BATTEN SCREENS	STAINED CHARCOAL
FC01	FIBRE CEMENT CLADDING - SOCIAL PAVILION	BLACK/GREY/GREEN
FC02	FIBRE CEMENT CLADDING - CHANGEROOM PAVILION	COLOURBOND MONUMENT
BR01	EXISTING PAVILION MASONRY WALL	EX.
RF01	COLORBOND CORRUGATED SHEET	PALE EUCALYPT
RF02	COLORBOND CORRUGATED SHEET	DUNE
RF03	COLORBOND CORRUGATED SHEET	SURFMIST
RF04	COLORBOND CORRUGATED SHEET	WOODLAND GREY
RF05	EXISTING PAVILION ROOFING	EX.
MC01	TYPICAL FASCIAS, GUTTERS, EXTERNAL WINDOWS	WOODLAND GREY
BAL01	TYPICAL HANDRAIL	POWDERCOAT BLACK
BAL02	TYPICAL STAIR HANDRAIL	POWDERCOAT BLACK
BAL03	TYPICAL RAMP BALUSTRADE	POWDERCOAT BLACK
HR1	TYPICAL STAIR HANDRAIL	POWDERCOAT BLACK
HR2	TYPICAL RAMP HANDRAIL	POWDERCOAT BLACK
GL01	DOUBLE GLAZED WINDOW - TRANSPARENT	CLEAR
GL02	DOUBLE GLAZED WINDOW - OPAQUE	OPAQUE
CO01	EXISTING CONCRETE PAVING	EXPOSED AGGREGATE
BP01	EXTERNAL BRICK PAVING	TO MATCH EX.
MS01/02	MESH SCREEN	BLACK

NOTE: ALL RL LEVELS SHOWN HEREON ARE TO A.H.D. (AUSTRALIAN HEIGHT DATUM).

2
13.10.2023



Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

PROPOSED ELEVATIONS

Drawn

JJ

Checked

RP

Approved

RP

Job Number

2022012

Date

13.10.2023

Scale

1:100

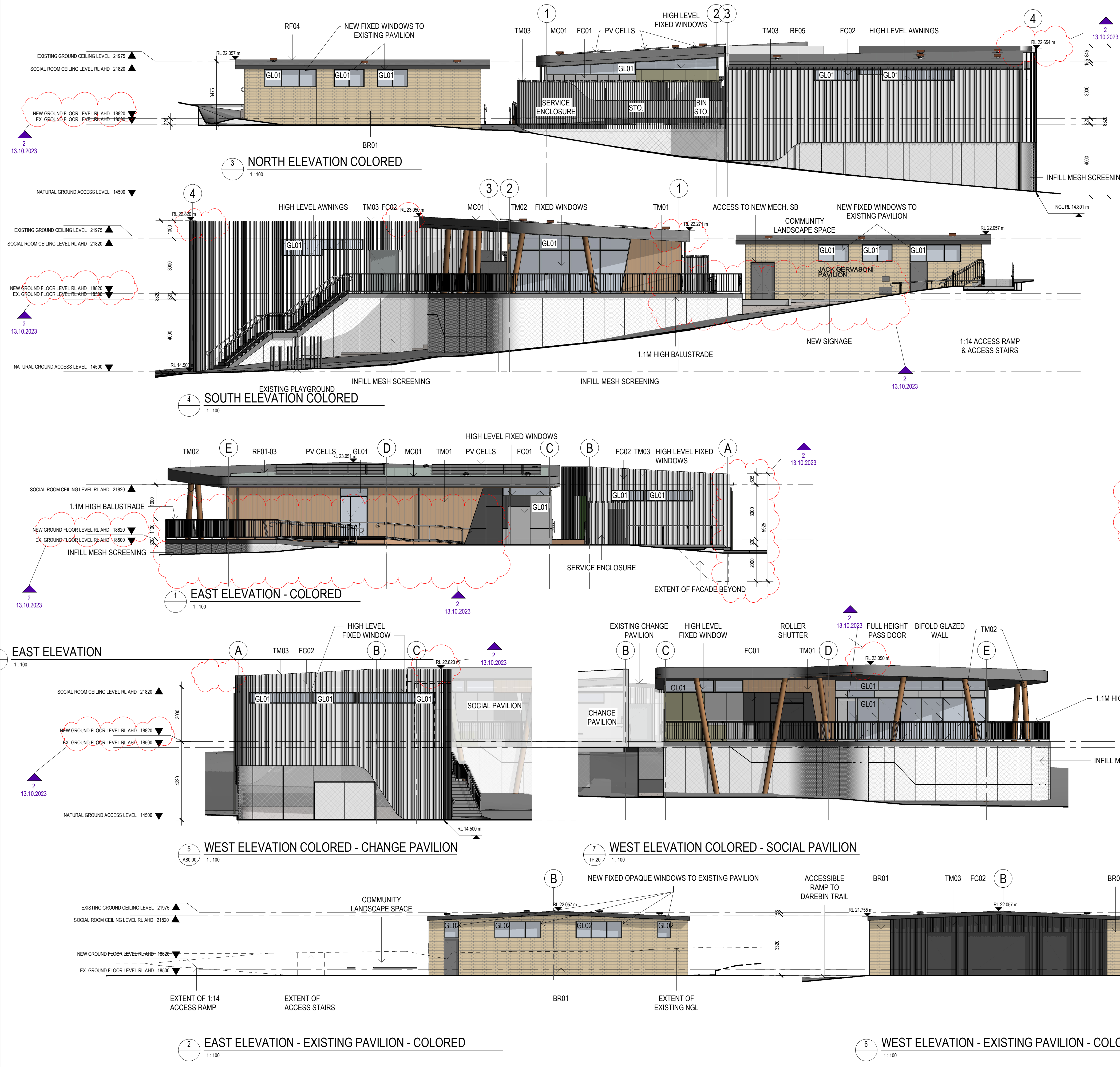
Drawing Number

TP.30

Revision

2

11/10/2023 3:53:58 PM



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Drawing Status

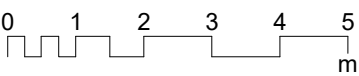
TOWN PLANNING

Revisions

- 30.06.2023 Town Planning Coordination
- 13.10.2023 Town Planning Amendment

Notes

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Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

PROPOSED ELEVATIONS - COLORED

Drawn

JJ

Job Number

2022012

Drawing Number

TP.31

Checked

RP

Date

13.10.2023

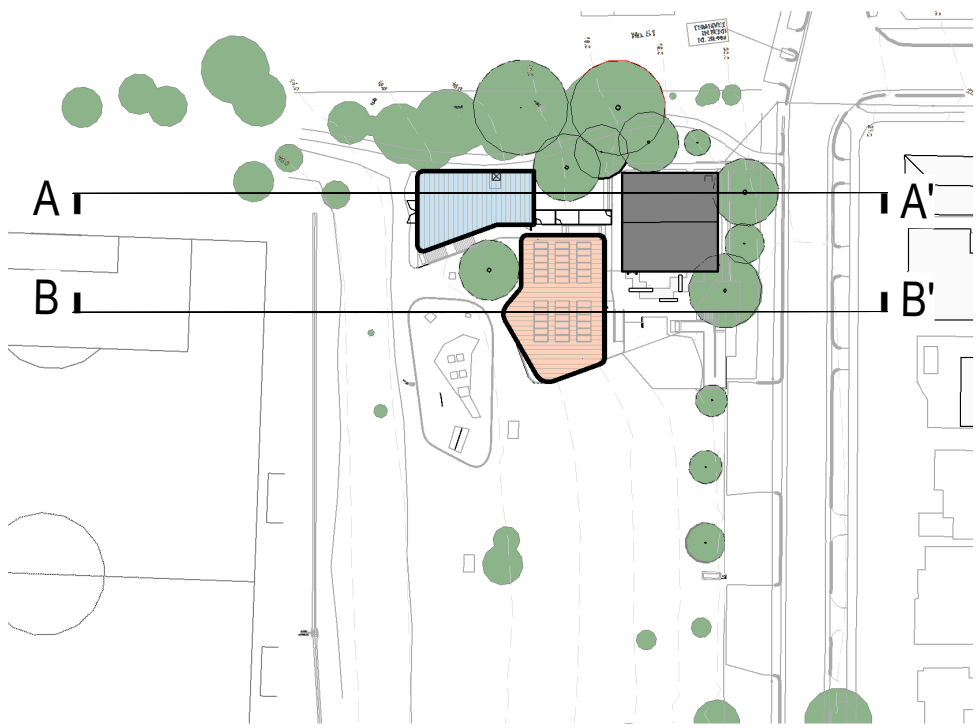
Scale

1:100

Revision

2

11/10/2023 3:54:16 PM



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Drawing Status

TOWN PLANNING

Revisions

- 30.06.2023 Town Planning Coordination
- 13.10.2023 Town Planning Amendment

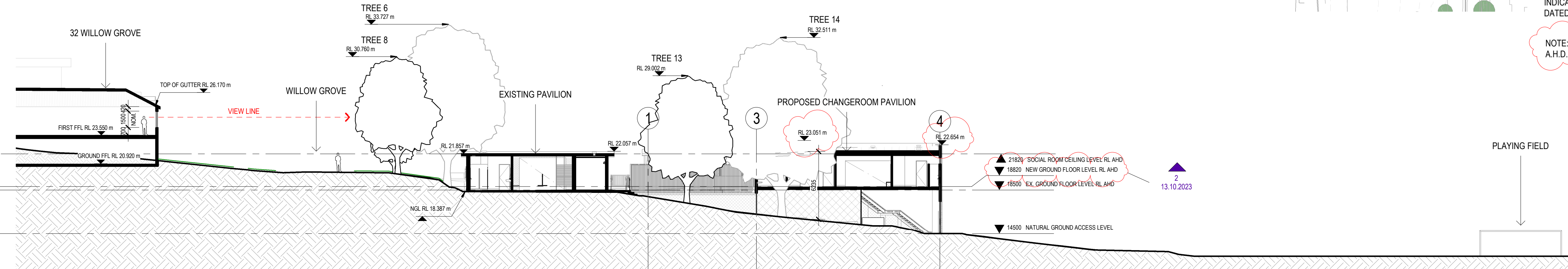
Notes

NOTE: HEIGHT OF MARKED EXISTING TREES INDICATED BASED ON ARBORIST'S REPORT DATED 16/08/2021

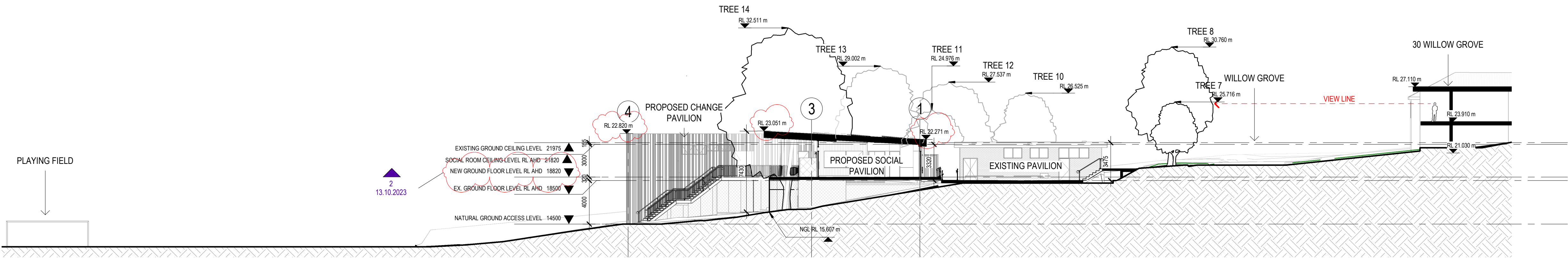
NOTE: ALL RL LEVELS SHOWN HEREON ARE TO A.H.D. (AUSTRALIAN HEIGHT DATUM).

2
13.10.2023

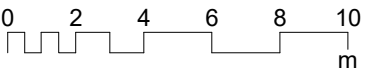
2
13.10.2023



1 Neighbourhood View Line AA' - 32 Willow Grove @1:200



2 Neighbourhood View Line BB' - 30 Willow Grove @1:200



Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

NEIGHBOURHOOD VIEW LINE SECTIONS

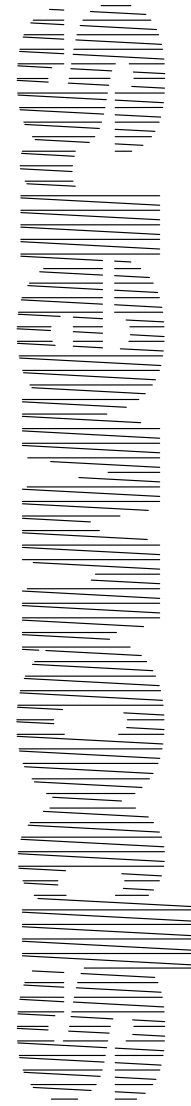
Drawn	Checked	Approved
JJ	RP	RP
Job Number	Date	Scale
2022012	13.10.2023	As indicated
Drawing Number	Revision	

TP.40

2

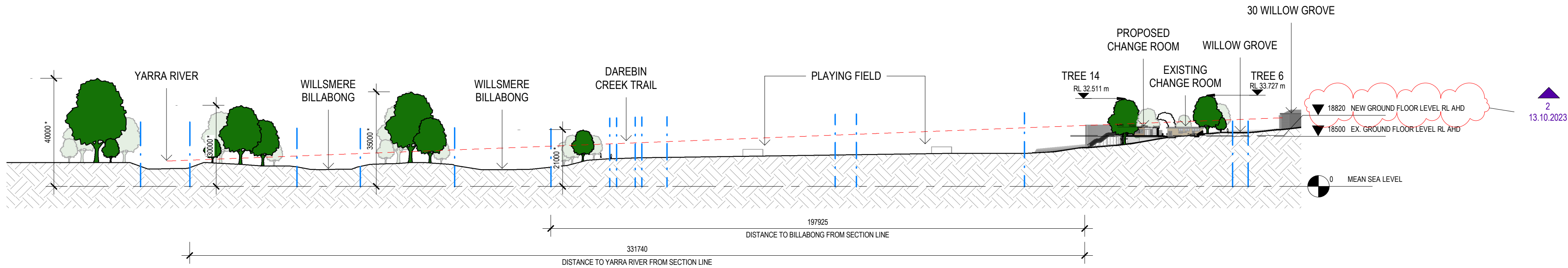
11/10/2023 3:54:23 PM

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1
A10.00
1:1000
PROPOSED CONTEXT PLAN - YARRA RIVER & WILLSMERE BILLABONG



2
SD.SK.12
1:1000
YARRA RIVER & WILLSMERE BILLABONG VIEW LINE SECTIONS

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Drawing Status

TOWN PLANNING

Revisions

- 1 30.06.2023 Town Planning Coordination
- 2 13.10.2023 Town Planning Amendment

Notes

NOTE: HEIGHT OF MARKED EXISTING TREES INDICATED BASED ON ARBORIST'S REPORT DATED 16/08/2021.

*: NOMINAL APPROXIMATE EXISTING TREE CANOPY HEIGHT BASED ON NEARMAP ELEVATION PROFILE DATED 29 APRIL 2021

NOTE: ALL RL LEVELS SHOWN HEREON ARE TO A.H.D. (AUSTRALIAN HEIGHT DATUM).

2
13.10.2023

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0 10 20 30 40 50
m

Client
CITY OF BOROONDARA

Project
WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing
YARRA RIVER VIEW LINE SECTION

Drawn	Checked	Approved
JJ	RP	RP
Job Number	Date	Scale
2022012	13.10.2023	As indicated
Drawing Number	Revision	

TP.41

2

11/10/2023 3:54:34 PM

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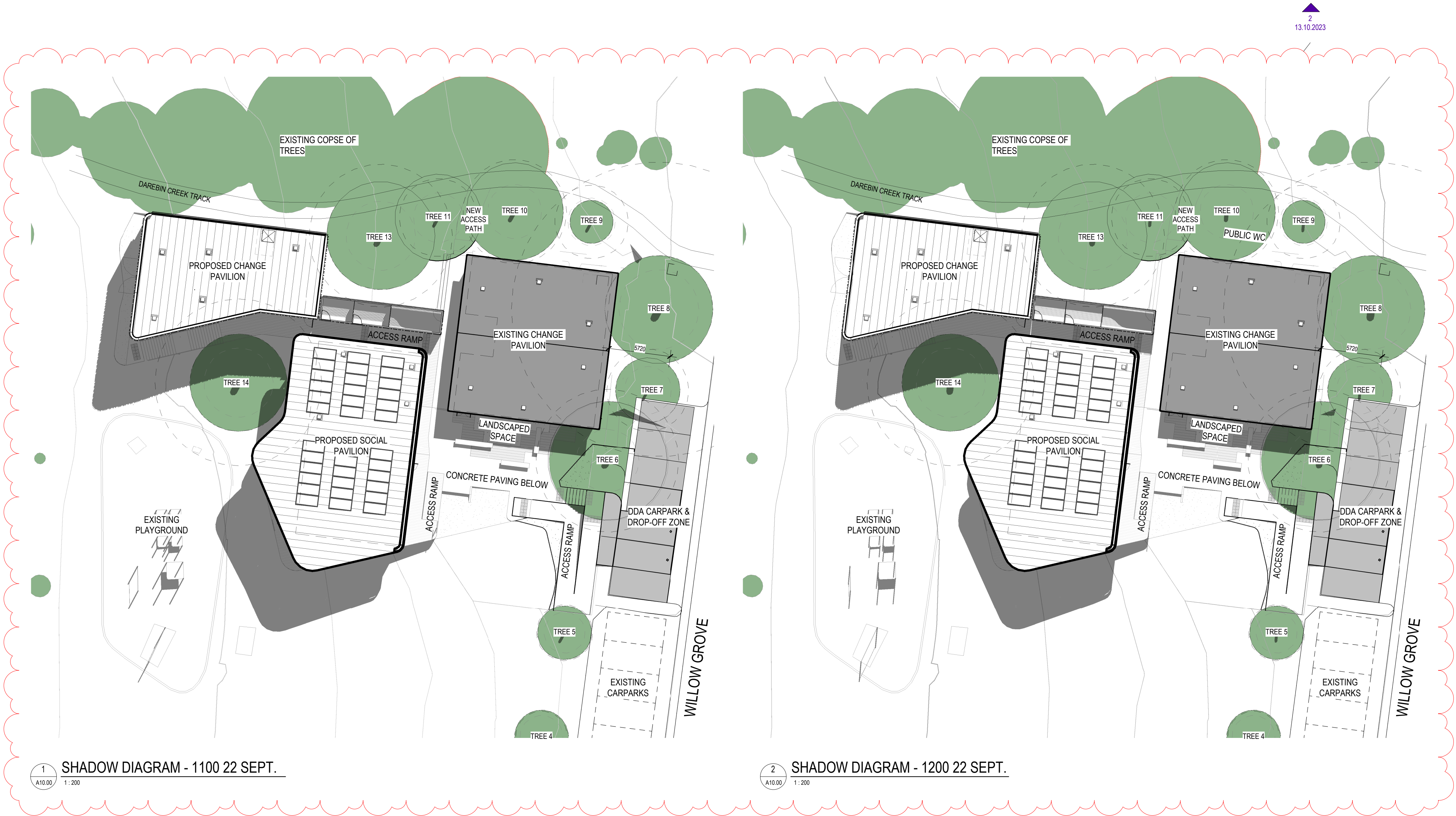
Drawing Status

TOWN PLANNING

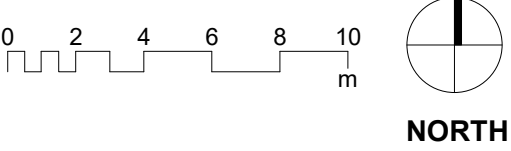
Revisions

- 1 30.06.2023 Town Planning Coordination
- 2 13.10.2023 Town Planning Amendment

Notes



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Client
CITY OF BOROONDARA

Project
WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing
SHADOW ANALYSIS

Drawn	Checked	Approved
JJ	RP	RP
Job Number	Date	Scale
2022012	13.10.2023	1 : 200
Drawing Number	Revision	

TP.50

2

11/10/2023 3:54:42 PM

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Drawing Status

TOWN PLANNING

Revisions

- 1
- 30.06.2023
- Town Planning Coordination

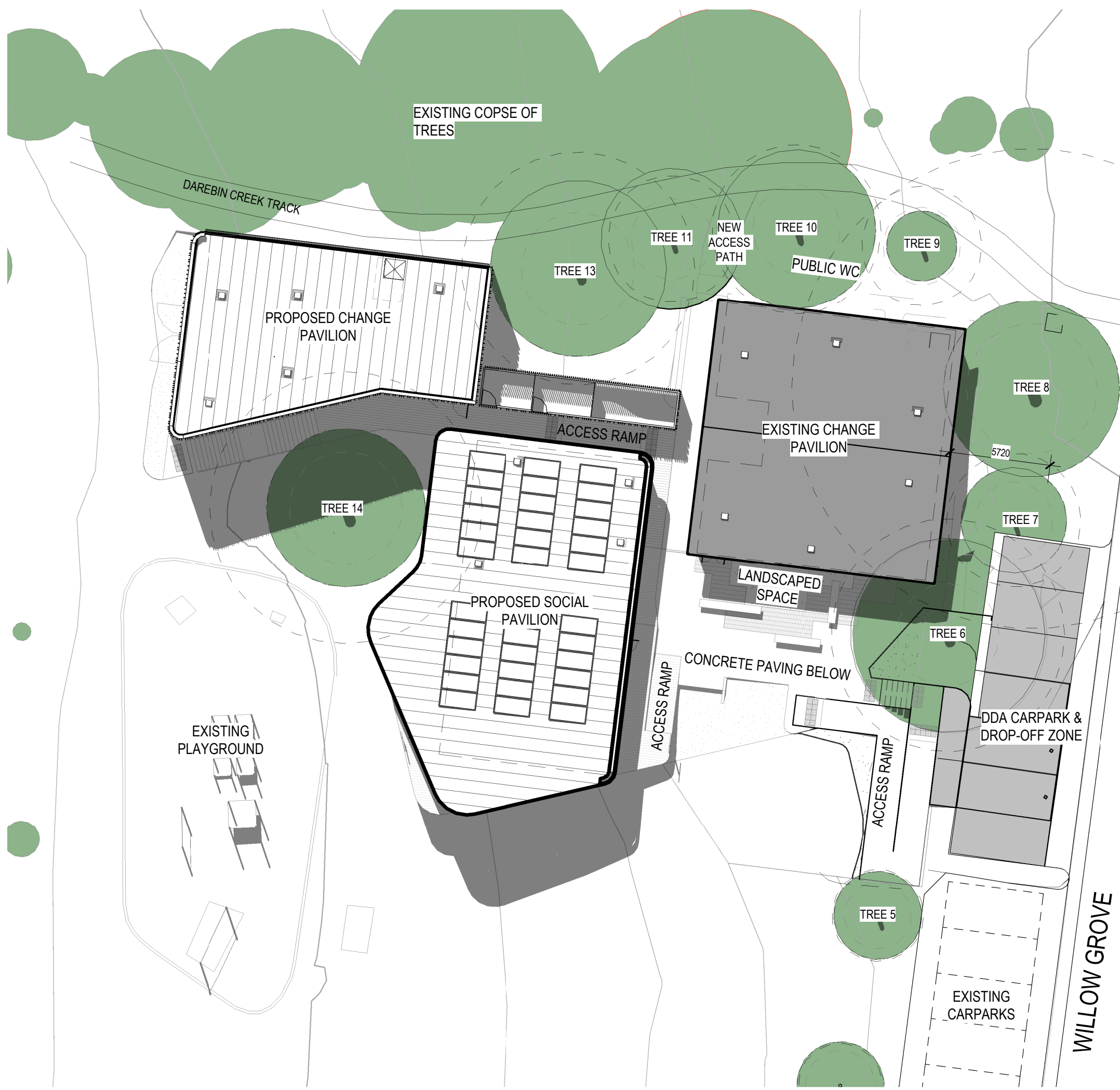
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13.10.2023

Town Planning Amendment

Notes

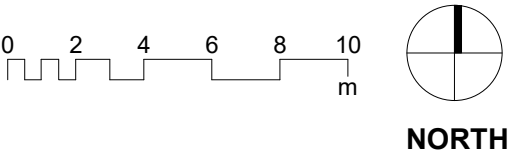
2
13.10.2023



1 SHADOW DIAGRAM - 1300 22 SEPT.
A10.00 1:200



2 SHADOW DIAGRAM - 1400 22 SEPT.
A10.00 1:200



Client
CITY OF BOROONDARA

Project
WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing
SHADOW ANALYSIS 2

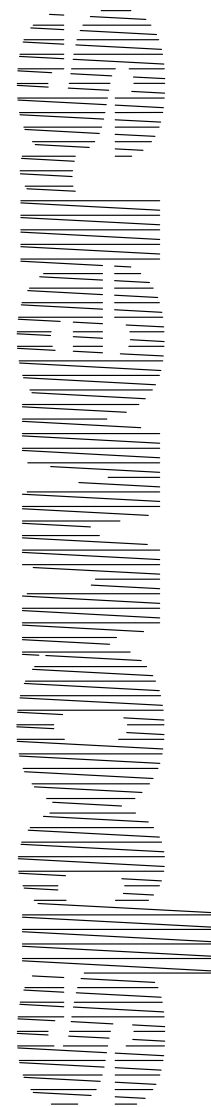
Drawn	Checked	Approved
JJ	RP	RP
Job Number	Date	Scale
2022012	13.10.2023	1:200
Drawing Number	Revision	

TP.51

2

11/10/2023 3:54:50 PM

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Drawing Status

TOWN PLANNING

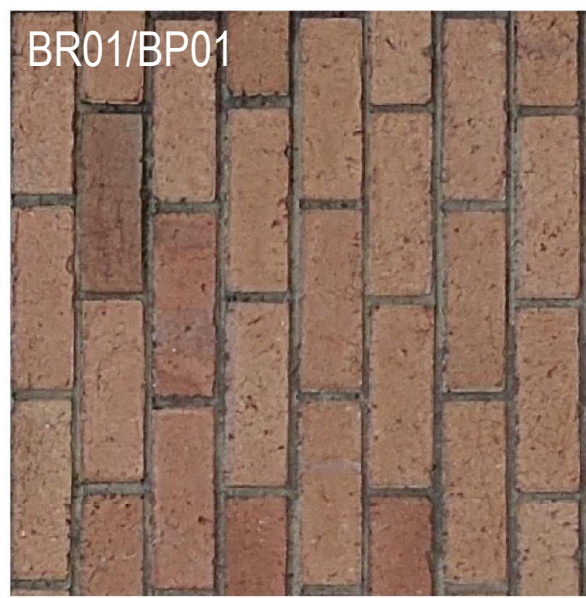
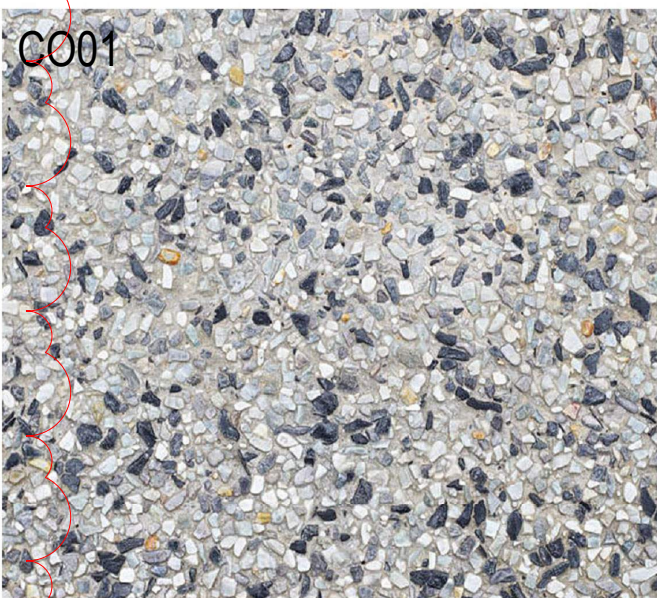
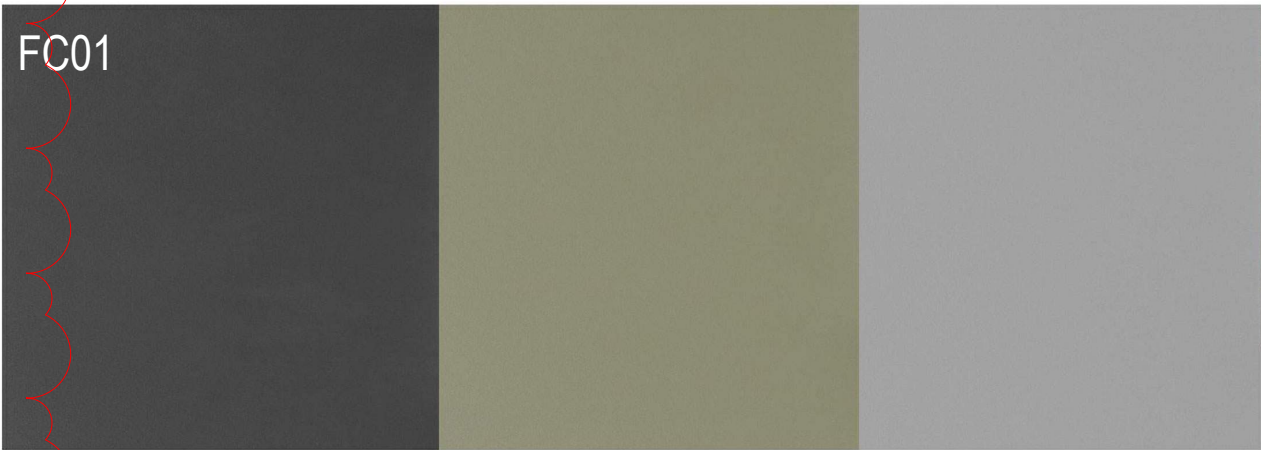
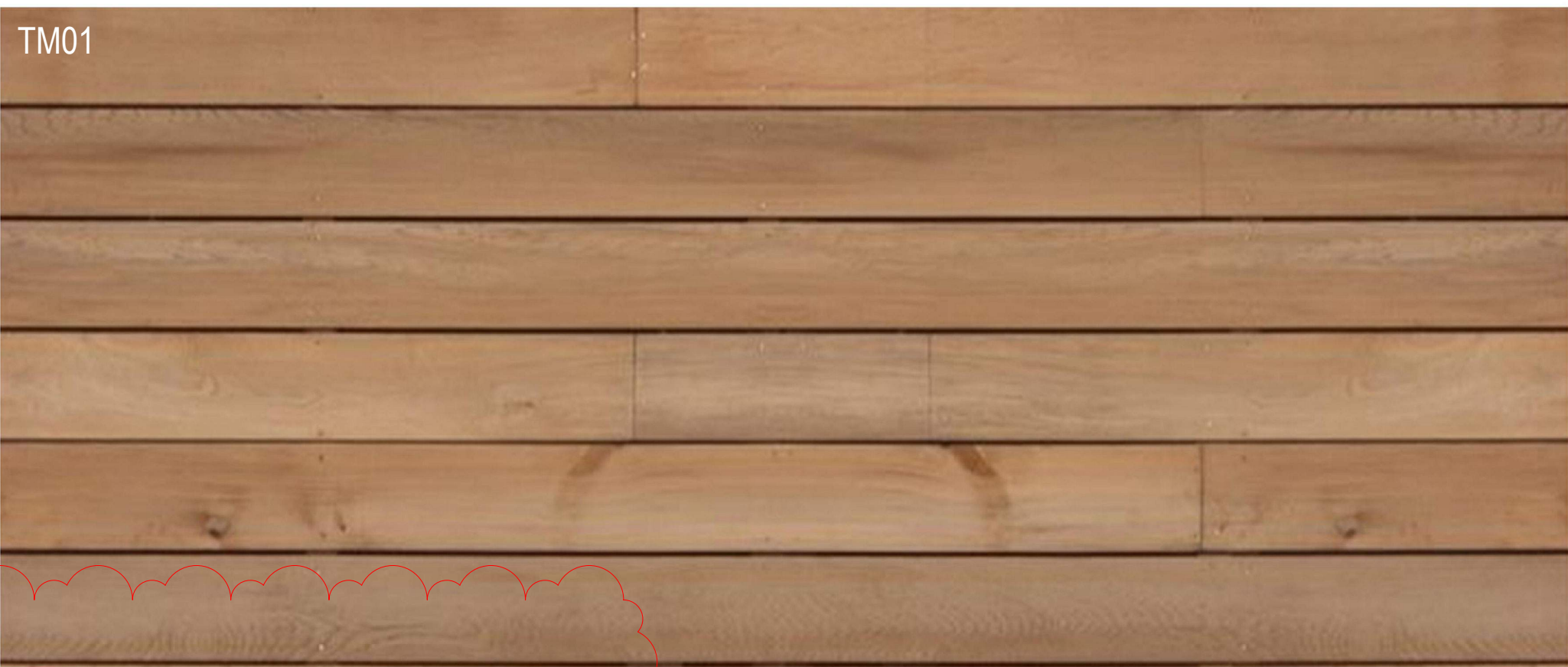
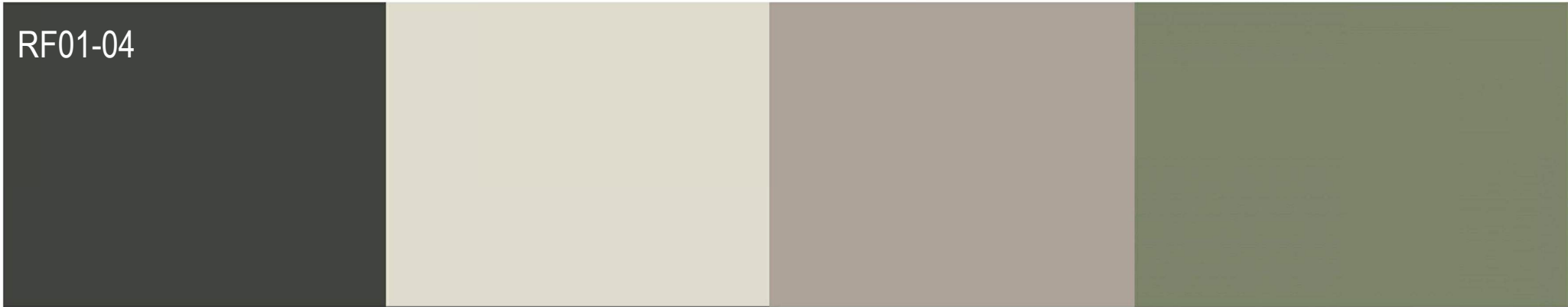
Revisions

- 1
- 30.06.2023
- Town Planning Coordination

- 2
- 10.07.2023
- Town Planning Issue

- 3
- 13.10.2023
- Town Planning Amendment

Notes



GL01

EXTERIOR FINISHES LEGEND		
CODE	MATERIAL	COLOUR
TM01	KD IRONBARK SHIPLAP CLADDING	IRONBARK
TM02	300 DIA. TIMBER POLES (IRONBARK/BLACKBUTT)	NATURAL, H5 TREATED
TM03	70x35 TIMBER BATTEN SCREENS	STAINED CHARCOAL
FC01	FIBRE CEMENT CLADDING - SOCIAL PAVILION	BLACK/GREY/GREEN
FC02	FIBRE CEMENT CLADDING - CHANGEROOM PAVILION	COLOURBOND MONUMENT
BR01	EXISTING PAVILION MASONRY WALL	EX.
RF01	COLORBOND CORRUGATED SHEET	PALE EUCALYPT
RF02	COLORBOND CORRUGATED SHEET	DUNE
RF03	COLORBOND CORRUGATED SHEET	SURFMIST
RF04	COLORBOND CORRUGATED SHEET	WOODLAND GREY
RF05	EXISTING PAVILION ROOFING	EX.
MC01	TYPICAL FASCIAS, GUTTERS, EXTERNAL WINDOWS	WOODLAND GREY
BAL01	TYPICAL HANDRAIL	POWDERCOAT BLACK
BAL02	TYPICAL STAIR HANDRAIL	POWDERCOAT BLACK
BAL03	TYPICAL RAMP BALUSTRADE	POWDERCOAT BLACK
HR1	TYPICAL STAIR HANDRAIL	POWDERCOAT BLACK
HR2	TYPICAL RAMP HANDRAIL	POWDERCOAT BLACK
GL01	DOUBLE GLAZED WINDOW - TRANSPARENT	CLEAR
GL02	DOUBLE GLAZED WINDOW - OPAQUE	OPAQUE
CO01	EXISTING CONCRETE PAVING	EXPOSED AGGREGATE
BP01	EXTERNAL BRICK PAVING	TO MATCH EX.
MS01/02	MESH SCREEN	BLACK

Client

CITY OF BOROONDARA

Project

WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing

EXTERNAL FINISHES

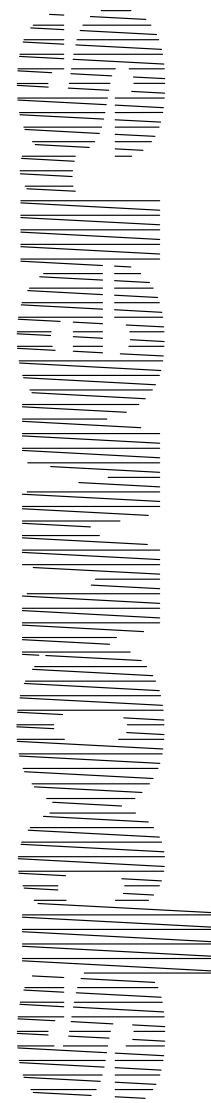
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JJ	RP	RP
Job Number	Date	Scale
2022012	13.10.2023	1 : 100
Drawing Number	Revision	

TP.60

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Drawing Creation Date: 09.08.2023

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Scale: 1:100 @ A1 / 1:200 @ A3

ISSUE STATUS

FOR COUNCIL ENDORSEMENT

NOT FOR CONSTRUCTION

Rev T3

WILLSMERE PARK PAVILION

LANDSCAPE WORKS PACKAGE

Drawing Schedule

L00 Overview/Cover Sheet

L11 Landscape Plan

L21 Landscape Planting Plan

L31 Landscape Details -1

L32 Landscape Details - 2

L41 Landscape Materials Schedule



SITE CONTEXT PLAN
NOT TO SCALE



The Contractor shall be totally responsible and at all times provide a safe working environment in the vicinity of the site of works in full compliance with the Occupational Health and Safety Regulations.

ENVIRONMENTAL MANAGEMENT PLAN
Prior to the commencement of any works the Contractor shall prepare a Site Management Plan for approval.

Items to be addressed shall include:

- Erosion and sediment control
- Flora and fauna conservation
- Water Quality Management
- Dust control
- Noise control
- Access management
- Waste management
- Pollution control
- Monitoring and reporting
- Corrective Action

HEALTH AND SAFETY

1. The obligation of Outlines Landscape Architecture Pty Ltd as the designer of the landscaped areas is limited to ensuring that those parts of the building or structure that are to be used as a workplace are, as far as reasonably practicable, designed to be safe and without risks to the health of those persons using the building or structures as a workplace for the purpose for which it was designed in accordance with Section 28 of the Occupational Health and Safety Act 2004 (VIC).
2. Outlines Landscape Architecture Pty Ltd is not responsible for the occupational health and safety of persons at the site as those obligations reside with the contractors and/or sub-contractors who occupy or have control of the site in accordance with applicable occupational health and safety legislation, codes or practice, guidance notes, Australian Standards and the relevant documentation.
3. Any advice or guidance concerning occupational health and safety issues arising at the site should be directed to the health and safety executive or officer nominated for the project.

ATTENTION TO CONTRACTOR

1. In accordance with Clause 15 of AS2124-1992, the Contractor must ensure the safety of the Contractor's employees and all other people who are on or adjacent to the site. The Contractor must comply with the Victorian Occupational Health and Safety Act.
2. The Contractor must ensure that all people employed on the site wear approved safety apparel. This includes safety helmets, safety boots, ear and eye protection, where appropriate.
3. The Contractor is not permitted to break in to an existing live pipeline, enter a live access chamber or remove the cover to a live access chamber.
4. The Contractor is responsible for locating all existing services in works-affected areas prior to commencing work.

NOTES:

General

1. Site compound location to be agreed on site.
2. Trees on site to be removed are to be identified in accordance with the landscape specification prior to removal works and approved by the superintendent.
3. All trees outside extent of works, and / or identified to be retained are bound by the tree protection specification.
4. Refer to landscape specification for comprehensive tree protection requirements and damages formula.
5. All works requiring an arborist shall be at the contractor's expense and appointment.
6. All items not noted to be demolished will be retained and protected, subject to the direction by the superintendent.
7. All edges, kerbs and channels associated with pavements proposed for demolition are to also be demolished.
8. Refer to landscape specification for further demolition requirements.

Protection of existing trees

1. No persons, vehicles, or machinery are to enter the Tree Preservation Zone without the consent of the Superintendent. If access of any kind is required through a TPZ contact the Superintendent. Removal of plant material of any kind requires approval of Superintendent.
2. Keep area within drip line free of all equipment, building materials and debris. Do not lean materials, equipment or debris against trunks. No building materials whatsoever, including fuel, oil dumps, paints or chemicals is allowed within or to be stored on the Tree Preservation Zone and the servicing and re-fuelling of equipment and vehicles is to be carried out away from the root zones. No storage of material, equipment, or temporary building should take place over the root zone of any tree, including areas that have been mulched to protect trees.
3. Do not carry out cut and fill operations within the drip line of any trees to be retained other than those specifically nominated on the final grading plan.
4. Do not rip out roots of nominated trees. Obtain the Superintendent's permission for removal of tree roots greater than 40mm in diameter.
5. Provide a breathing layer around the collar of trees in more than 300mm of fill.
6. When excavations are carried out in the vicinity of trees to be retained, use hand excavation to locate any roots. Clean cut with a saw, roots which need to be removed before commencing machine excavation. Do not use an axe to cut roots. Seal tree root cuts with "Steriprune" or equivalent approved tree wound sealant. Open up excavations under tree canopies for as short a period as possible. Backfill to excavations around tree roots with a mixture consisting of three parts by volume of topsoil and one part of well rotted compost with a neutral pH value, free from weed growth and harmful materials. Place the backfill layers, each of 300 mm maximum Depth, compacted to a dry density similar to that of the original or surrounding soil. Do not backfill around tree trunks to a height greater than 100mm above the original ground surface. Immediately after backfilling, thoroughly water the root zone surrounding the tree.
7. Any underground service installations should be bored and utility authorities should common trench where possible.
8. If it is proposed to perform work on trees or any work of any trade within the TPZ, give notice and obtain instructions.
9. If a tree is damaged, give notice and obtain instructions.
10. Should any trees nominated to be retained, be removed or damaged in error by the Contractor, damage shall be applied in accordance with the landscape specification and deducted from the Contract Sum.
11. All trees outside of the extent of works are to be retained and protected in accordance with the the above tree protection notes and in accordance with the landscape specification.

NOTES ON RECYCLING:

1. All items to be demolished are to be recycled in accordance with recycling in specification.
2. Trees are to be mulched / chipped & reused on site where directed.

NOTES ON THE PROTECTION OF ASSETS & SERVICES:

1. Contractor to locate all services & rectify all damage resulting from construction works.
2. Contractor to undertake dilapidation survey (including photographs) and submit to the Superintendent for approval / agreement prior to commencing the works. On completion of construction works, all damages not recorded within the dilapidation survey will be rectified at the Contractors expense.
3. The Contractor is to ensure protection to adjacent structures, built elements, facades, buildings and adjoining properties.
4. Refer specification for comprehensive demolition requirements.
5. Site security to be maintained at all times.



S:\Projects\2020\2023 Willsmere Pavilion\2 Drawings\01-0001 Willsmere Pavilion Landscape Plan_ACTIVE.dwg

File Location:

11.10.2023

Plot / Issue Date:

Drawing Creation Date09.08.2023

11.10.23	TOWN PLANNING AMENDMENT	T3							
13.09.23	For Tender	T2							
31.08.23	For Tender	T1							
DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION	REVISION	STATUS

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Scale: 1:250 @ A1 / 1:500 @ A3



ISSUE STATUS

FOR COUNCIL ENDORSEMENT

NOT FOR CONSTRUCTION

PROJECT NAME **Willsmere Park Pavilion**

DRAWING NAME **Overview / Coversheet**

DRAWING NO. **L00**

PHASE DD
DRAWN BH / YS
CHECKED DC
PROJ NO. 2032
DATE OCT-23

Rev T3



Drawing Creation Date: 09.08.2023

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ISSUE STATUS

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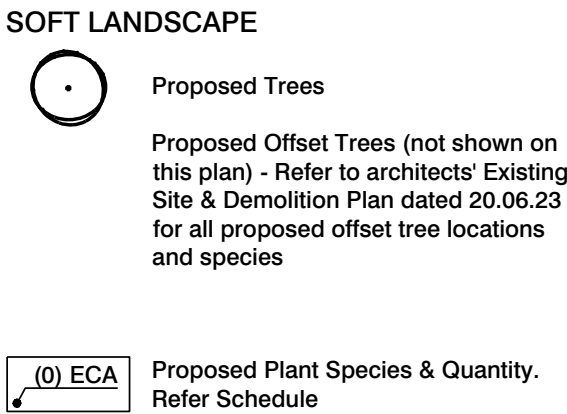
ISSUE STATUS

FOR COUNCIL ENDORSEMENT

NOT FOR CONSTRUCTION

PROJECT NAME	Willsmere Park Pavilion
DRAWING NAME	Landscape Plan
DRAWING NO.	L11

Rev T3



11.10.23	TOWN PLANNING AMENDMENT	T3					
13.09.23	For Tender	T2					
31.08.23	For Tender	T1					
DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION
		REVISION STATUS			REVISION STATUS		

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PHASE	DD
DRAWN	BH / YS
CHECKED	DC
PROJ NO.	2032
DATE	OCT-23






DRAWING NO. **L21**

Rev T3

Project No: 2032

OUTLINES LANDSCAPE ARCHITCTURE

TENDER ISSUE
NOT FOR CONSTRUCTION

WILLSMERE PARK PAVILION - LANDSCAPE MATERIALS SCHEDULE			
To be read in conjunction with Landscape Documentation and Landscape Technical Specification			
Item	Code	Description	Image
Demolitions and Retentions			
Existing Trees	-	All trees and vegetation to be removed are to include grubbing out existing roots and removing all material from site. The contractor is to allow for the protection of all existing trees in accordance with Australian Standard AS 4970-2009. 'Protection of trees on development sites' incorporating Amendment No. 1 (March 2010). Refer to arborist's report for further information.	
Existing Bluestone Retaining wall	-	Retain & protect / make good existing bluestone retaining wall. Contractor to make good any damages	
Hard Landscape			
Pedestrian-Grade Plain Concrete Pavement	HPPC	Plain grey concrete paving with compacted FCR sub-base to engineers detail. Slip rating to meet P4 standards.	
Pedestrian-Grade Exposed Aggregate Concrete Pavement	HPEA	Exposed aggregate concrete paving with compacted FCR sub-base to engineers detail. Slip rating to meet P4 standards. Product: Baltic Delta 91 Ivory by Vic Mix or similar approved.	
Pedestrian-Grade Brick Paving	HPU	Standard single-course clay bricks (recycled cream or similar approved) in stack bond arrangement. Bricks shall be fully bedded in a sand / cement mortar mix on concrete sub-base to engineers detail.	
Pedestrian-Grade Compacted Gravel Pavement	HPG	Cement stabilised Tooborac toppings or approved similar with FCR sub-base and compaction rates to engineers detail. Supply and install ACQ Treated Pine edge with stakes at regular intervals at grass interfaces.	
Bench Seats	S1	Product: Draffin 'Wandin' straight timber seat or approved similar. Material: Spotted Gum Frame: Powdercoated Gal Mild Steel Colour: Monument Fixing: Bolt Down Install armrests to 3 no. bench seats All installation and assembly in accordance with manufacturers specifications. Shop drawings required for approval	
Soft Landscape			
Proposed Evergreen and Deciduous Trees	-	45L Advanced Tree from reputable supplier. Allow for approved imported topsoil, mulch, fertilizer and all stakes and ties. Refer plant schedule.	
Maintenance	-	The contractor is to allow for a maintenance and establishment period on all soft landscape for a period of 13 weeks, whereby the landscape is to be regularly maintained in accordance with industry standard horticultural practices including weed removal, mowing, litter removal, pruning, fertilising and the replacement of any failed or damage vegetation. If the planted trees fail due to poor stock or maintenance, it must be replaced to the satisfaction of the Superintendent prior to handover.	

11.10.23	TOWN PLANNING AMENDMENT	T3			
13.09.23	For Tender	T2			
31.08.23		T1			
DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION	REVISION
		REVISION STATUS			REVISION STATUS

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ISSUE STATUS

FOR COUNCIL ENDORSEMENT

NOT FOR CONSTRUCTION

PROJECT NAME

Willsmere Park Pavilion

DRAWING NAME

Landscape Materials Schedule

DRAWING NO.

L41

PHASE

DD

DRAWN

BH / YS

CHECKED

DC

PROJ NO.

2032

DATE

OCT-23

Rev T3

City of Boroondara

Attachment 3.5.3

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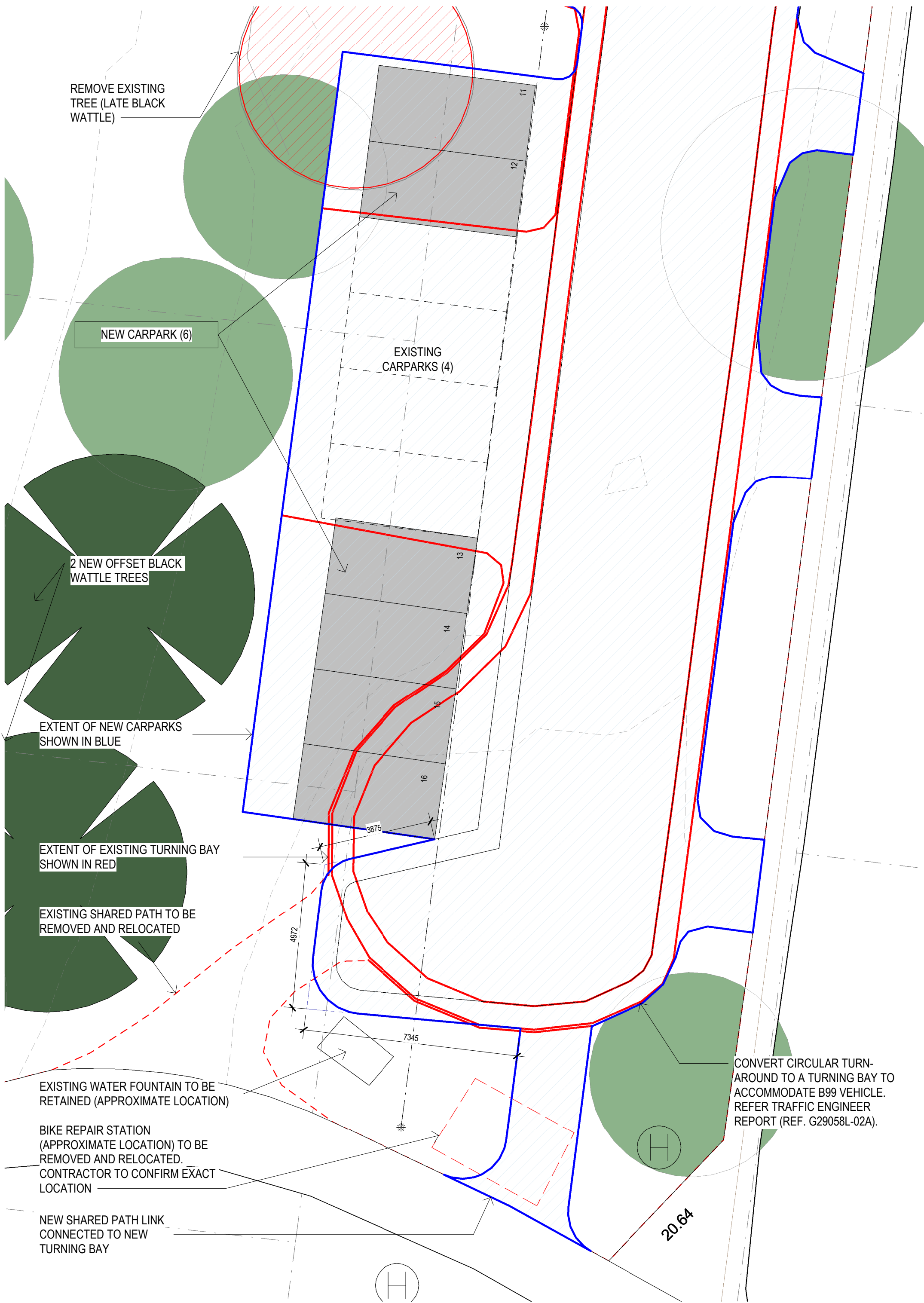
Disclaimer: This drawing and design is subject to copyright and may not be reproduced without prior written consent. Contractor to verify all dimensions on site before commencing work. Report all discrepancies to the Spowers prior to construction. Figured dimensions take precedence over scaled dimensions.

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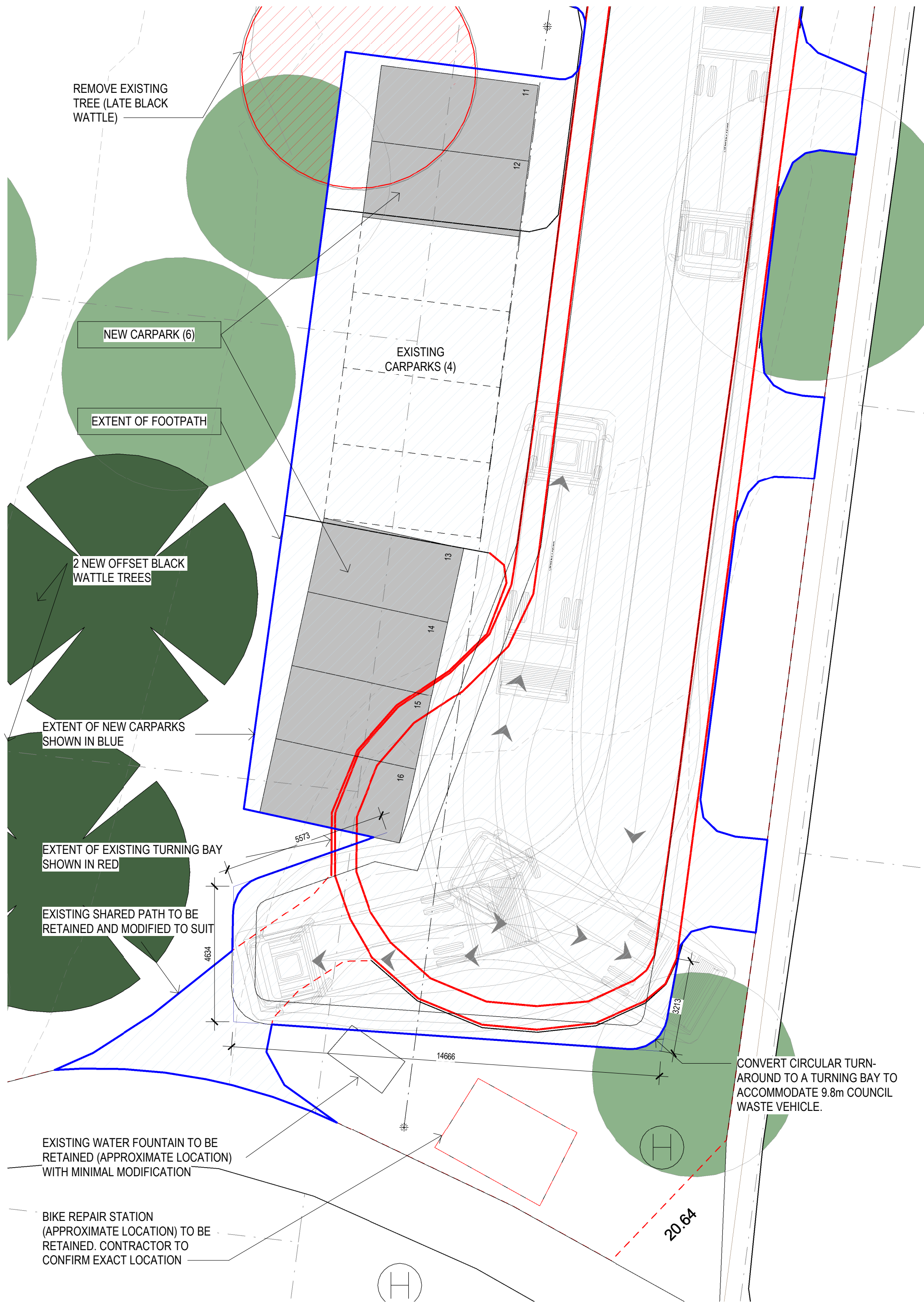
Revisions

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Notes



1 PROPOSED TURNING BAY - TOWN PLANNING
A10.00 1:100



2 PROPOSED TURNING BAY - CURRENT
A10.00 1:100

Client
CITY OF BOROONDARA

Project
WILLSMERE PARK PAVILION
27 WILLOW GROVE, KEW EAST

Drawing
TURNING CIRCLE DIAGRAM

Drawn	Checked	Approved
Author	Checker	Approver
Job Number	Date	Scale
2022012	13.10.2023	1:100
Drawing Number		Revision

A-SK.01

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