3.2 PP15/00645.01 - Child care centre - 123-125 Greythorn Road & 10-12 Hedderwick Street BALWYN NORTH

123-125 Greythorn Road and 10-12 Hedderwick Street, Balwyn North - Amendment to Plans for a child care centre and sign

Application no.:	**PP15/00645.01**
Responsible director:	**Scott Walker, Director Urban Living**
Authorised by:	**David Cowan, Manager Planning and Placemaking**
Report officer:	**Chiara Lorini, Senior Urban Planner**

Executive Summary

Proposal
The proposal seeks to amend a previously approved development and use of the site for a child care centre. It includes a reduction in the number of children in care from 154 to 132, and removal of the uppermost level of the development. It also seeks to reduce the provision of carparking by two spaces (however it remains in excess of the standard carparking requirements) and to alter the previously approved buildings and works, landscaping, and material finishes.

Issues
Fifteen (15) objections to the amendment application have been received, raising the following concerns:

- Centre is unnecessary as there are other centres in the area;
- Impact on parking in the street and traffic in the area;
- Built form inconsistent with neighbourhood character;
- Lowering of front fence allows visibility of the centre from the street; and
- Airconditioning units will be unsightly.

Officer's response
The application seeks an amendment to an existing approved permit and endorsed plans. Key matters such as the use as a child care centre have already been determined through the previous application and review at the Victorian Civil and Administrative Tribunal and accordingly are not matters for consideration in this amendment request.

Broadly, the amendment application seeks an overall reduction in the development (reduction in one level) and reduction in number of children in care.

The proposed built form is generally consistent with the previously approved development. The proposed amendment materials palette is consistent with the surrounding neighbourhood character, and the scale and massing of the proposal is consistent with the previously approved design.

Details of the proposal, discussion of all objections and assessment against relevant planning controls and policies are contained in the attachment to this report.

Officers' recommendation

That the Urban Planning Delegated Committee resolve to issue a Notice of Decision to Grant an Amendment to Planning Permit No. PP15/00645. The amended permit allows:

In accordance with the endorsed plans:
- Use and development of land for a child care centre; and
- The display of a Business Identification sign

in the Neighbourhood Residential Zone Schedule 3.

The amended permit amends the previously issued permit at 123-125 Greythorn Road and 10-12 Hedderwick Street, Balwyn North as follows:
  - Updated plans with modified building envelope and sign;
  - Updated condition 1 requirements to reflect the amended plans:
  - Update reference to landscaping plans;
  - Update reference to tree management plan;
  - Update reference to arborist report in tree protection permit;
  - Number of children in care reduced from 154 to no more than 132 children; and
  - Update to the number of car parking spaces, and update to car parking management condition.

The amended permit is subject to the following conditions:

[*Strikeout to show words deleted from previous permit and italics to show insertion of new words]

Amended plans required

1. Before the development starts, amended plans must be submitted to the satisfaction of the Responsible Authority. When the plans are to the satisfaction of the Responsible Authority they will be endorsed and will then form part of the Permit. The plans must be drawn to scale with dimensions and three (3) copies provided, substantially in accordance with the plans advertised in *July 2023* but modified to show:

   a. *The removal of the business identification signage to the Hedderwick Street frontage in accordance with discussion plan received 29 August 2023 and advertised in October 2023;*
   b. *Notation that the basement carpark is for staff parking in accordance with notation to discussion plan received 29 August 2023 and advertised in October 2023;*
   c. *Any air conditioning units proposed to the roof area to be clearly shown to plans and including details of any screening;*
   d. *The waste management plan dated 24 February 2023 prepared by Leigh Design amended to include provision for separate glass recycling;*
   e. *The materials schedule updated to include glass screening details, retaining walls, and car parking surface treatment;*
   f. *A physical samples board containing samples of all construction materials, external finishes and colours;*
   g. *An updated Landscape Plan in accordance with Condition 5 of this permit;*
   h. *An updated Tree Management Plan in accordance with Condition 8 of this permit;*

i. An updated Noise Management Plan in accordance with Condition 17 of this permit;
j. An updated Car Parking Management Plan in accordance with Condition 21 of this permit;
k. An updated Waste Management Plan in accordance with Condition 29 of this permit, and
l. A Construction Management Plan in accordance with Condition 31 of this permit;

Layout not to be altered

2. The layout of the site and the size, levels, design and location of buildings and works shown on the endorsed plans must not be modified for any reason (unless the Boroondara Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.

Acoustics report

3. Concurrent with the submission of amended plans under Condition 1, an acoustics report must be submitted to and approved to the satisfaction of the Responsible Authority. The report must be completed by a suitably qualified Acoustic Engineer. The report must confirm the detailed specifications of the acoustic treatment of the building and the external play areas as shown on the endorsed plans to the satisfaction of the Responsible Authority.

4. Prior to the use commencing, an updated acoustics report completed by a suitably qualified Acoustic Engineer must be submitted to the Responsible Authority confirming that the works to achieve the acoustic treatment of the building and the external play areas as shown on the endorsed plans have been undertaken in accordance with the detailed specifications set out in the Acoustic Report required under Condition 3.

Landscape plan

5. A landscape plan must be submitted to the satisfaction of the Responsible Authority and endorsed by the Responsible Authority. The plan must be generally in accordance with the Landscape Plan ~~for VCAT~~ prepared by John Patrick Landscape Architects Pty Ltd Job ~~16-1058~~ *23-139*, Drawing No ~~VCAT01~~ *TP01 and TP02* dated ~~January 2017~~ *April 2023* as modified to incorporate the requirements of Condition 1 of this permit. The plan drawn to scale with dimensions and three (3) copies provided. When endorsed, the plan will form part of the permit.

The landscape plan must show:

a. A survey (including botanical names) of all existing trees to be retained (including the Tree Protection Zones of the Trees) and of those to be removed. The intended status of the trees shown on the landscape plan must be consistent with that depicted on the development layout plan;
b. Details of the surface finish of all pathways, paved areas and accessways;
c. A planting schedule of all proposed trees, shrubs and ground covers including botanical names, common names, pot sizes, sizes at maturity and the quantities of each plant;
d. Incorporation of any relevant acoustic screening measures into the landscaping plan;

e. Unless otherwise agreed to by the Responsible Authority, planting of a continuous row of evergreen screen planting, other than in the location of structures to be built on the southern title boundary. The evergreen screening vegetation must be capable of reaching a height of four (4) to six (6) metres at maturity, able to be maintained at this height and planted at two (2) metres high at time of planting and be of a species with a shallow root system suitable for planting over an easement; and
f. Planting required by any other condition of this permit.

Completion of landscaping works

6. Landscaping as shown on the endorsed landscape plan/s must be carried out and completed to the satisfaction of the Responsible Authority prior to the occupation of the development.

Landscaping maintenance

7. All landscaping works shown on the endorsed landscape plan/s must be maintained and any dead, diseased or damaged plants replaced, all to the satisfaction of the Responsible Authority.

Tree Management Plan

8. Prior to the endorsement of the plans referred to in Condition 1 of this permit or the commencement of any works including levelling of the site, a Tree Management Plan prepared by a suitably qualified and experienced arborist must be submitted to and endorsed by the Responsible Authority. Three (3) copies of the tree management plan must be provided. When the tree management plan is endorsed it will then form part of the permit. The tree management plan must specify actions for the management and maintenance of Trees 19 and 20 as detailed in the submitted Arborist Report by Treemap Arboriculture (Dated ~~November 2015~~ *May 2023)* to be retained, making specific comment on the following matters to the satisfaction of the Responsible Authority to ensure that the tree remains healthy and viable on site.
   a. A minimum setback of 2.0 metres must be achieved from the riding space of the proposed crossover within the Hedderwick Street frontage to the existing street tree;
   b. The use of appropriate foundations within the TPZ of the trees;
   c. The foundation type and method will need to be specified by the arborist in conjunction with engineering specifications;
   d. The mapping of the foundation excavation points on a site plan;
   e. Reporting on the presence of any exposed roots over 50 mm diameter and management of these roots e.g. how they were pruned, fertilisation, watering regime etc;
   f. When supervision by an arborist will be required on-site and time frames specified for supervision;
   g. The establishment of a fixed Tree Protection Zone and where it will be located in relation to the tree and proposed buildings. This TPZ should be clearly identified on a site plan and have specific recommendations stipulated on these plans referenced from the Tree Management Plan;
   h. Specifications that the permeable pavers and wheel stops of the car parking spaces are to be crowned/angled to allow runoff to the landscaped areas;
   i. Specifications that the car parking spaces are to be constructed above existing grade level with no site scrape/excavation greater than 100mm to occur over the car parking area;

j. Any remedial pruning works that are required to be performed on the tree before, during and post development of the site. The pruning comments must reference Australian Standards 4373:2007, Pruning of Amenity Trees and a detailed photographic diagram specifying what pruning will occur.

The recommendations contained in the approved tree management plan must be implemented to the satisfaction of the Responsible Authority.

Supervision of works by arborist

9. All buildings and works within the Tree Protection Zone and Critical Root Zone as specified in the endorsed Tree Management Plan must be supervised by a suitably qualified and experienced arborist, to the satisfaction of the Responsible Authority. Any person acting on the permit must advise Council's Arborist (Statutory Planning) in writing at least 48 hours prior to the commencement of the works to be supervised.

Tree protection during construction

10. Before any development (including demolition) starts on the land, a tree protection fence must be erected around the Trees 19 and 20 as well as the Melaleuca located in the centre of the nature strip, as detailed in the submitted Arborist Report by Treemap Arboriculture (Dated ~~November 2015~~ *May 2023*) to define a "Tree Protection Zone" as detailed in the endorsed Tree Management Plan. The tree protection fence must remain in place until all construction is completed on the land, except with the prior written consent of the Responsible Authority.

Contractors to be advised of trees to be retained

11. The owner and occupier of the site must ensure that, prior to the commencement of buildings and works, all contractors and tradespersons operating on the site are advised of the status of trees to be retained as detailed in the endorsed arborist report and are advised of any obligations in relation to the protection of those trees.

Regulation of activities in Tree Protection Zone

12. No vehicular or pedestrian access, trenching or soil excavation is to occur within the Tree Protection Zone as detailed in the endorsed Tree Management Plan without the prior written consent of the Responsible Authority. No storage or dumping of tools, equipment or waste is to occur within the Tree Protection Zone.

Hours of operation

13. The use allowed under this permit must operate only during the following hours, except with the further written consent of the Responsible Authority:

    Monday to Friday (excluding public holidays) – 7:00am and 7:00pm

    Saturdays – Closed

    Sundays – Closed

    Public holidays – Closed.

Loading and unloading

14. Except for food and drink deliveries to the premises, all loading and unloading of vehicles, including for the collection of waste, must be carried out within the garage basement and must be conducted in a manner that does not cause any interference with the circulation and parking of vehicles on the land, to the satisfaction of the Responsible Authority. Loading and unloading of vehicles associated with food and drink deliveries must occur within the Greythorn Road frontage.

Number of children in care restricted

15. No more than ~~154~~ *132* children in care must be present on the subject land without the further written consent of the Responsible Authority.

Soundproofing of plant and equipment

16. All external plant and equipment must be acoustically treated or placed in soundproof housing to reduce noise to a level satisfactory to the Responsible Authority.

Noise Management Plan

17. Prior to the commencement of the use, a noise management plan (NMP) must be submitted to and approved by the Responsible Authority. The NMP must address, but not be limited to:
    a. All children required to be indoors after 6.30pm;
    b. Behaviour of children to be monitored by staff and action taken to ensure that:
        i. Crying babies and children are taken indoors and comforted; and
        ii. Screaming or high pitched squealing is discouraged.
    c. Carers to be educated to control the level of their voice while outside;
    d. External doors to play rooms not to be held open;
    e. The centre has an indoor/outdoor program whereby indoor activities are offered during outdoor play times to provide an option to play indoors or outdoors;
    f. Group singing to occur indoors only;
    g. No amplified music outdoors;
    h. Amplified music indoors to be set at a low level;
    i. Musical instruments avoided wherever practical;
    j. If complaints are received, the use of any musical instruments or amplified music should cease and advice from an acoustic consultant should be obtained; and
    k. Routine inspection of the acoustic barriers and acoustic treatments of the building and immediate action taken to repair any defects.

Loudspeakers

18. No external sound amplification equipment or loudspeakers are to be used for the purpose of announcements, broadcasts, playing of music or similar purposes, to the satisfaction of the Responsible Authority.

Drainage

19. The site must be drained to the satisfaction of the Responsible Authority.

Driveways and car parking areas to be constructed

20. Before the use starts or any building is occupied, area/s set aside for car parking, access lanes and driveways shown on the endorsed plans must be:

a. Constructed;
b. Line marked to indicate each car space; and
c. Clearly marked to show the direction of traffic along the access lanes and driveways.

to the satisfaction of the Responsible Authority.

Car Parking Management Plan

21. Prior to the commencement of the use, a car parking management plan must be submitted to and approved by the Responsible Authority the CMP must address, but not be limited to:
    a. Allocation of spaces to parents and staff;
    b. No less than ~~33~~ *32* car parking spaces are to be provided on site;
    c. Measures to ensure that access is only to staff ~~and the disabled parking bay~~ within the basement garage to Hedderwick Street *with the exception of parents/carers requiring access to the disabled car parking bay*;
    d. Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose, to the satisfaction of the Responsible Authority;
    e. The areas set aside for car parking shown on the endorsed plans must be made available for use free of charge to employees and visitors at all times and must not be used for any other purpose; Sufficient on-site spaces must be allocated to serve visitors to the site, to the satisfaction of the Responsible Authority. And
    f. Low intensity lighting must be provided to ensure that car park areas and pedestrian accessways are adequately illuminated without any unreasonable loss of amenity to the surrounding area, to the satisfaction of the Responsible Authority.

Vehicle crossovers

22. Any new vehicle crossover or modification to an existing vehicle crossover must be constructed to the satisfaction of the Responsible Authority.

Removal of redundant vehicle crossovers

23. All disused or redundant vehicle crossover sections must be removed and the area reinstated with footpath, naturestrip, kerb and channel to the satisfaction of the Responsible Authority.

Boundary walls

24. The external faces of walls on or facing boundaries must be cleaned and finished to an acceptable standard to the satisfaction of the Responsible Authority.

Security alarms

25. All security alarms or similar devices installed on the land must be of a silent type in accordance with any current standards published by Standards Australia International Ltd and must be connected to a registered security service, to the satisfaction of the Responsible Authority.

Concealment of pipes

26. All pipes (except down-pipes), fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from external view, to the satisfaction of the Responsible Authority.

Plant/equipment or features on roof

27. No plant, equipment, services or architectural features other than those shown on the endorsed plan/s are permitted above the roof level of the building/s without the prior written consent of the Responsible Authority.

External lighting

28. All external lighting must be designed, baffled and located so as to prevent light from the site causing any unreasonable impacts on the locality, to the satisfaction of the Responsible Authority.

Waste management plan

29. An *updated* waste management plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. Once satisfactory, such plan will be endorsed and must be implemented to the satisfaction of the Responsible Authority. The plan must provide the following details of a regular private waste (including recyclables) collection service for the subject land including:
    a. the type/s and number of waste bins;
    b. screening of bins;
    c. type/size of trucks;
    d. frequency of waste collection;
    e. plan showing the layout of the bins at collection time including sufficient clearances from all street services, features and infrastructure;
    f. specification that loading of the waste vehicles will occur within the basement level (i.e. bins are not removed from the basement to load into a truck parked on a road)
    g. Collection times must not be before 9:00am and not after 5:00pm Monday to Friday and not on weekends
    h. *waste management plan amended to include provision for separate glass recycling*

    to the satisfaction of the Responsible Authority.

Maintenance of waste storage area

30. All bins and receptacles used for the collection and storage of solid waste, recyclables and other wastes must be kept in a designated area, to the satisfaction of the Responsible Authority. This storage area must be:
    a. Properly paved and drained to a legal point of discharge;
    b. Screened from view with a suitably designed enclosure; and
    c. Maintained in a clean and tidy condition free from offensive odours

    to the satisfaction of the Responsible Authority.

Construction management plan

31. Prior to the commencement of any site works a construction management plan must be submitted to and endorsed by the Responsible Authority. No works are permitted to occur until the Plan has been endorsed by the Responsible Authority. Once endorsed, the construction management plan will form part of the permit and must be implemented to the satisfaction of the Responsible Authority. The plan must provide details of the following:
    a. Hours for construction activity in accordance with any other condition of this permit;
    b. Measures to control noise, dust, water and sediment laden runoff;

c. The location and design of a vehicle washdown bay for construction vehicles on the site;
d. The location of parking areas for construction and sub-contractors' vehicles on the site, to ensure that vehicles associated with construction activity cause minimum disruption to surrounding premises and traffic flows. Any basement carpark on the land must be made available for use by sub-constructors/tradespersons upon completion of such areas, without delay;
e. Measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the construction management plan;
f. Contact details of key construction site staff;
g. The location of any site sheds and the like; and
h. Any other relevant matters.

Hours for demolition and construction

32. All works including earthworks, demolition and construction activity associated with the approved development must take place only during the following hours, except with the prior written consent of the Responsible Authority:

Monday to Thursday:	7:00am to 6:30pm
Friday:	7:00am to 5:00pm
Saturday:	8:00am to 5:00pm
Sunday & Public Holidays: No construction	

Amenity of Area

33. The amenity of the area must not be adversely affected by the use or development as a result of:
    a. Transport of materials, goods or commodities to or from the land;
    b. appearance of any building, works, stored goods or materials;
    c. emission of noise, artificial light, vibration, smell, fumes, smoke, steam, soot, ash, dust, waste water, waste products or oil; or
    d. the presence of vermin;

    to the satisfaction of the Responsible Authority.

Signs not to be altered

34. The location, layout, dimensions, structures and features of the approved sign(s) (including the design, colours, materials, degree of illumination, wording and sign type) shown on the endorsed plans must not be altered (unless the Boroondara Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.

Sign maintenance

35. All signs must be constructed and maintained to the satisfaction of the Responsible Authority.

Signs within land boundary

36. All signs must be located wholly within the boundaries of the land.

No sign illumination

37. The sign(s) must not be illuminated by external or internal light, except with the prior written consent of the Responsible Authority.

No flashing light

38. No flashing, intermittent or changing colour light is permitted to be displayed, except with the prior written consent of the Responsible Authority.

Permit to expire:

39. This Permit will expire if:
    a. The development does not start within three (3) years of the issue date of this Permit; or
    b. The development is not completed within five (5) years of the issue date of this Permit; or
    c. The use does not commence within two (2) years of the completion of the development; or
    d. The advertising signs are not erected and displayed within two (2) years of the completion of the development.

In accordance with section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the responsible authority for an extension of the period referred to in this condition.

PLANNING ASSESSMENT REPORT
Urban Planning Delegated Committee

Application Number	PP15/00645.01
Date Application Received	17/04/2023
Planning Officer	Chiara Lorini
Applicant	DCA Design
Property Address	123- 125 Greythorn Road, Balwyn North and 10-12 Hedderwick Street, Balwyn North
Proposal	(Section 72) Amendment to a previously issued permit which allows for the development and use of the land for a childcare centre and the display of business identification signage in the Neighbourhood Residential Zone.
Ward	Maranoa
Zoning	Neighbourhood Residential Zone - Schedule 3 (NRZ3)
Overlays	None
Potential Overland Flow?	No
Advertised?	Public notice of the application was given in July and October 2023 by Council posting notices to abutting and nearby property owners and occupiers.
Number of Objections Received	15 Objections
Recommendation	Notice of Decision to Amend permit

PLANS ASSESSED IN THIS REPORT
Plans advertised in July 2023 and discussion plans advertised in October 2023

PERMIT HISTORY

Planning Permit PP15/00645 was issued on 28 April 2017 allowing:

'In accordance with the endorsed:

- *Use and development of land for a child care centre; and*
- *The display of a Business Identification sign*

In the Neighbourhood Residential Zone Schedule 3'

The Permit was issued by Order of the Victorian Civil and Administrative Tribunal dated 31 March 2017 pursuant to Section 85 (1) (b) of the *Planning and Environment Act* 1987.

The Planning Permit has not previously been amended.

Plans were endorsed in accordance with Condition 1 the permit on 15 August 2018. This encompassed development plans, landscape plan, tree management plan, acoustic report, parking management plan, and waste management plan.

A construction management plan pursuant to the requirements set out in Condition 31 of the Planning Permit was endorsed on 6 September 2023.

<u>Endorsed Development Plans</u>

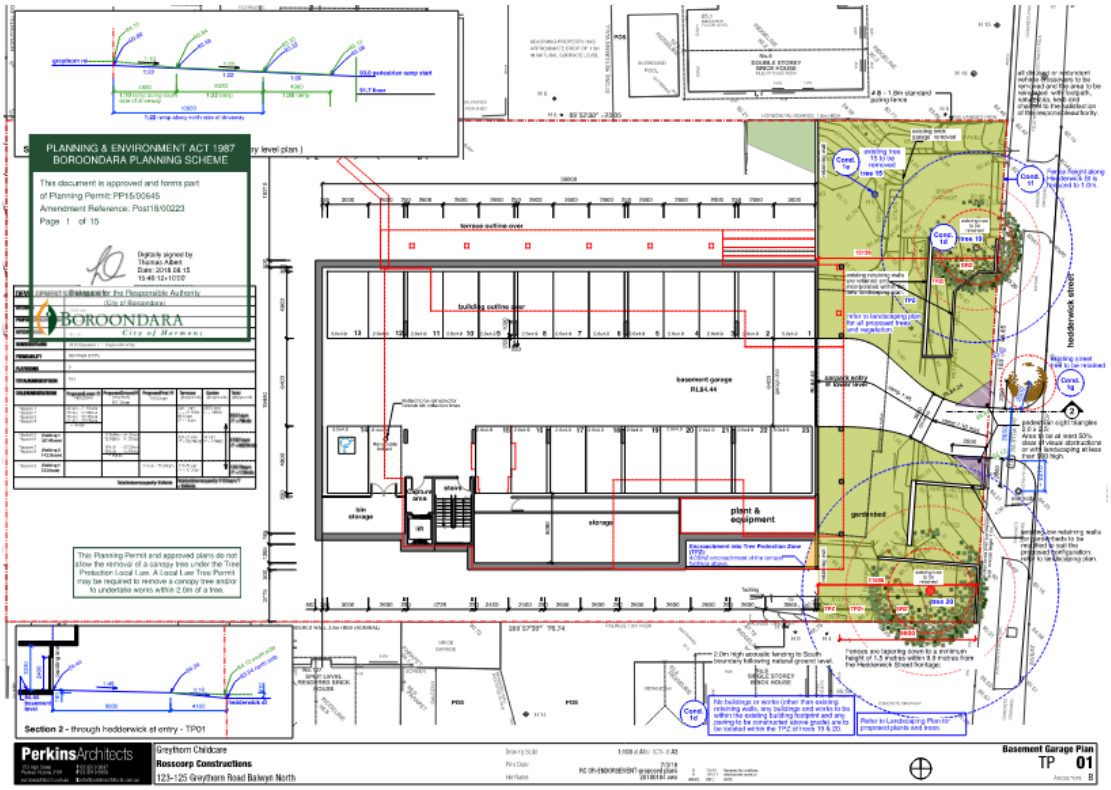

Figure 1 - Endorsed Basement Plan (Post18/00223 - 15/8/2015)

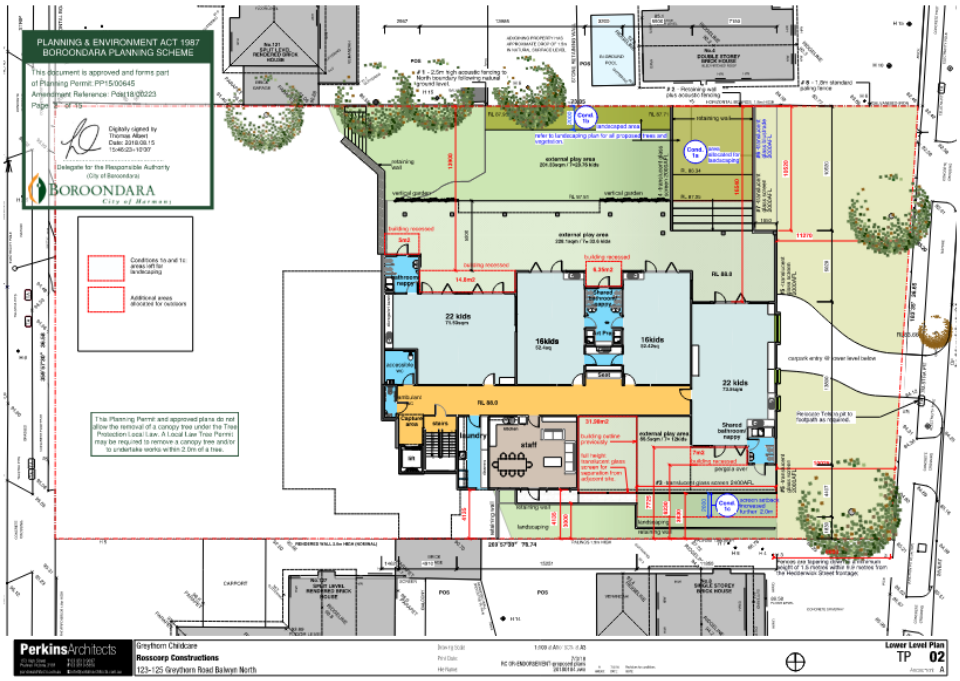

Figure 2 - Endorsed Lower Level Plan (Post18/00223 - 15/8/2015)

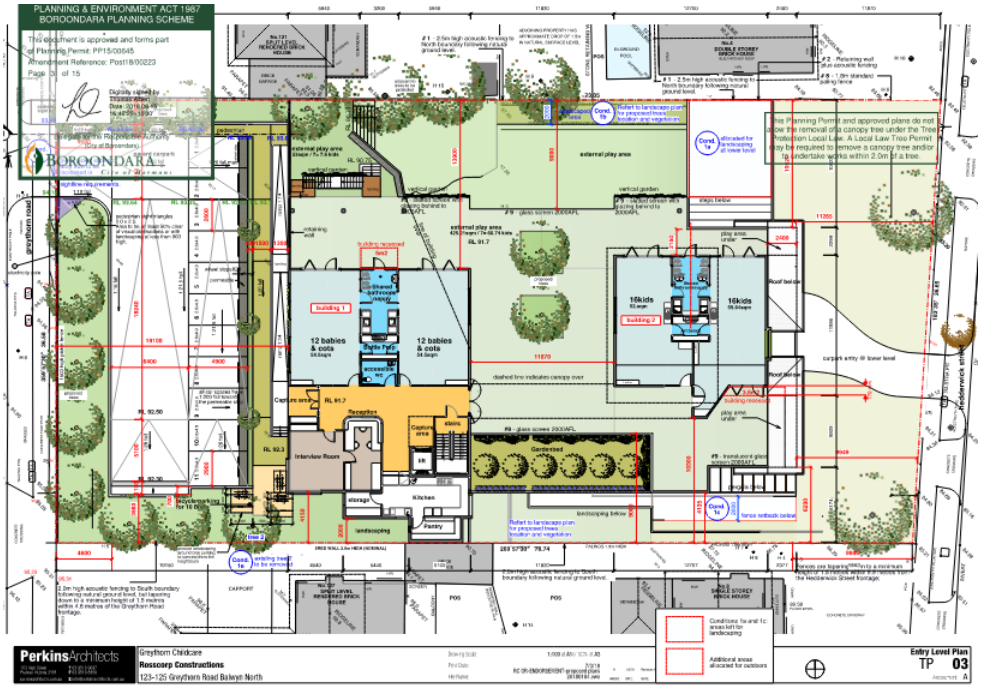

Figure 3 - Endorsed Entry Level Floor Plan (Post18/00223 - 15/8/2015)

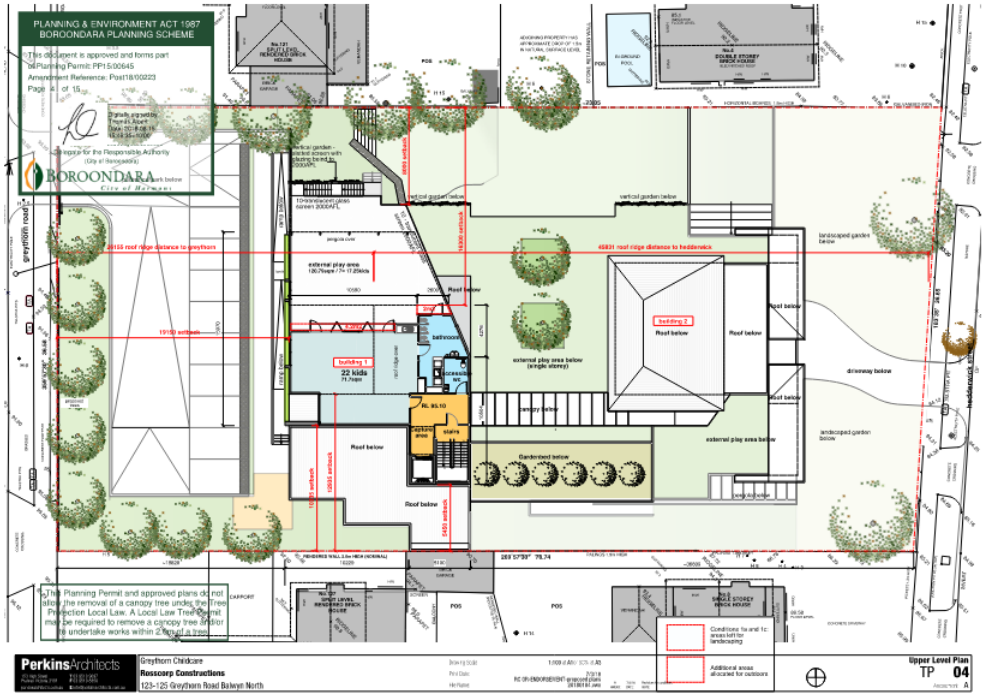

Figure 4 - Endorsed Upper Level Floor Plan (Post18/00223 - 15/8/2015)

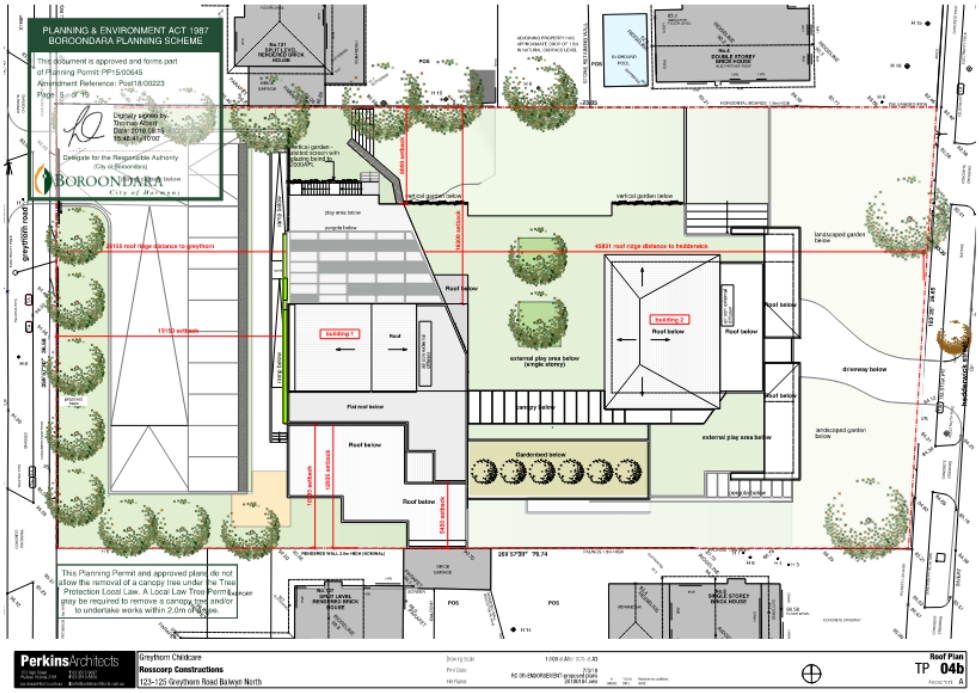

Figure 5 - Endorsed Roof Plan (Post18/00223 - 15/8/2015)

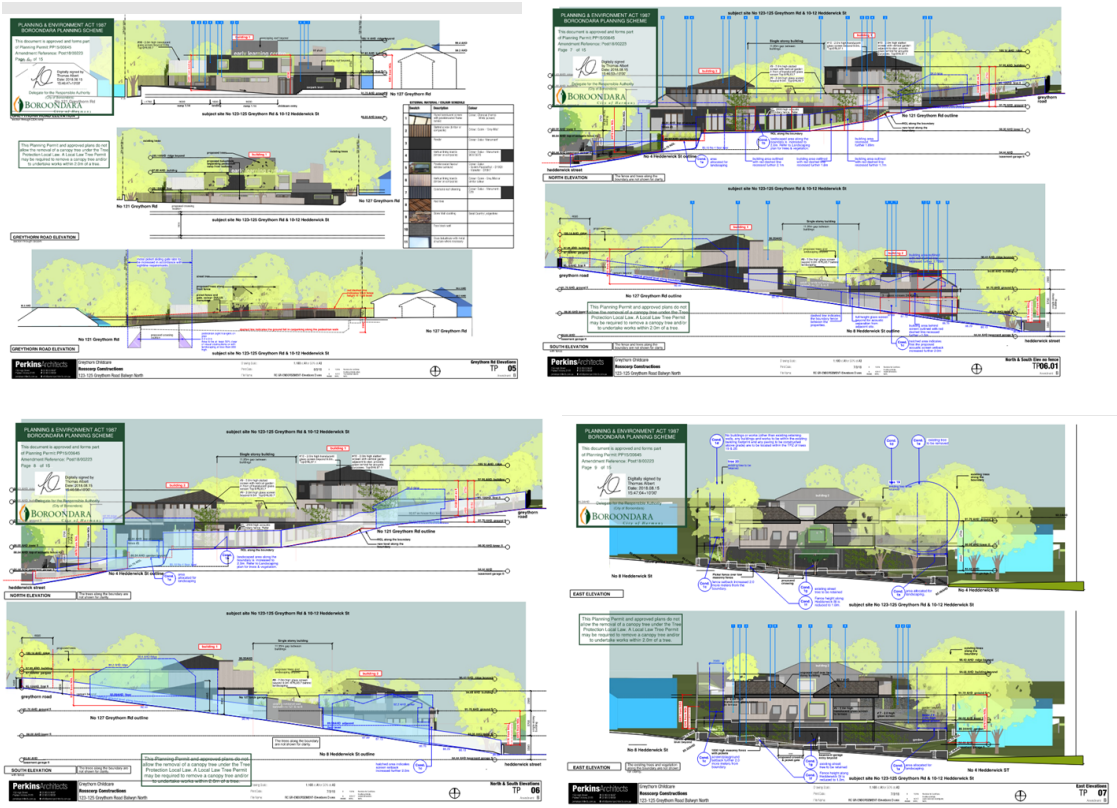

Figure 6 - Endorsed Elevations (Post18/00223 - 15/8/2015)

Expiry of Planning Permit

An extension of time (PEOT21/0254) was issued by Council on 5 November 2021.

This extended the expiry of the permit by three (3) years, and stated that it will expire if the development is not commenced by 28 April 2024, the development is not completed by 28 April 2026, the use does not commence within two years of the completion of the development, and finally if the advertising signs are not erected and displayed within two years of the completion of the development.

Demolition of the existing structures and preparatory site works as controlled within the endorsed Construction Management Plan and Tree Management Plan was undertaken earlier in the year. It is therefore considered that the development has commenced prior to 28 April 2024 and is a valid permit.

PROPOSAL

This request for amended plans has been made to Council pursuant to Section 72(1) of the *Planning & Environment Act* 1987 for an amendment to the planning permit. The reference to a permit includes any plans, drawings or other documents approved under the permit.

Details of the proposal are summarised as follows:

- Reduction of children in care from 154 to 132
- Reduction of two car parking spaces
- Built form and internal layout changes
- Uppermost level of proposal deleted
- External material changes

See Appendix A - Amendment Plans (advertised July 2023) and Appendix B Discussion plans (advertised October 2023)

Figure 7 - Proposed amended Greythorn Road façade.

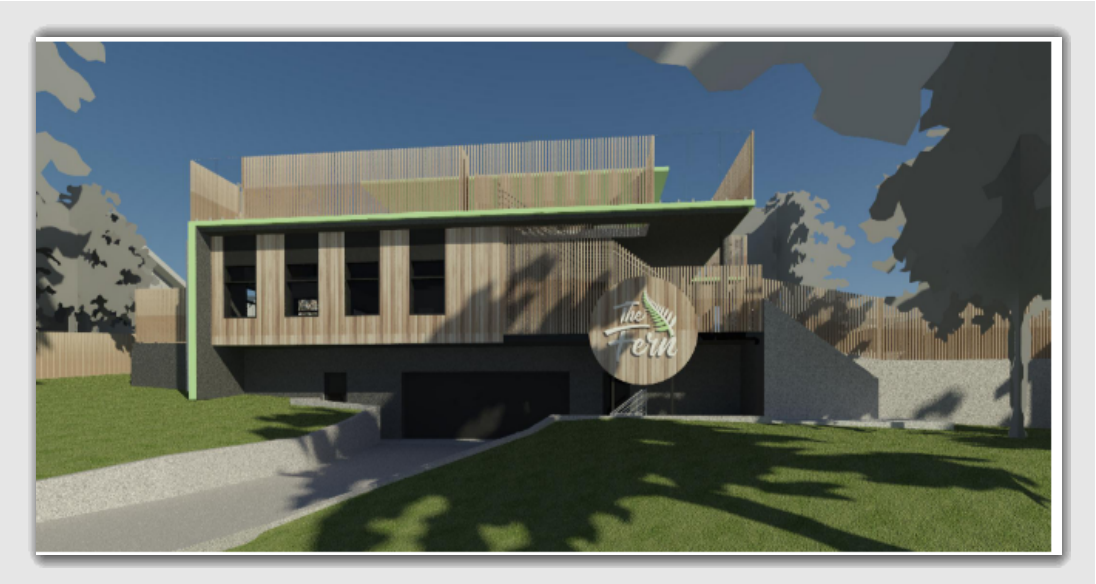

Figure 8 - Proposed amended Hedderwick Street façade.

THE SITE

Site Location	The subject site is located across two allotments that extend from the eastern side of Greythorn Road to the western side of Hedderwick Street.
Width of Frontage	36.58m (Greythorn Road),36.65m (Hedderwick Street)
Maximum Depth of Site	73.05m
Total Site Area	2,630m^2
Easements	The site is encumbered by a 2.44m wide drainage easement, situated along part of the northern boundary of the site and a 1.83m wide drainage easement along part of the southern boundary.
Fall of the Land	The site has a moderate to steep fall from the south west to the north east of approximately 12 metres.
Front Fencing Details	The site does not have front fencing.

**The subject site is currently vacant (demolition of the original dwelling to each site was undertaken earlier this year).

Figure 9 - Streetview 10-12 Hedderwick Street

Figure 10 - 125 Greythorn Road frontage.

THE SURROUNDING AREA

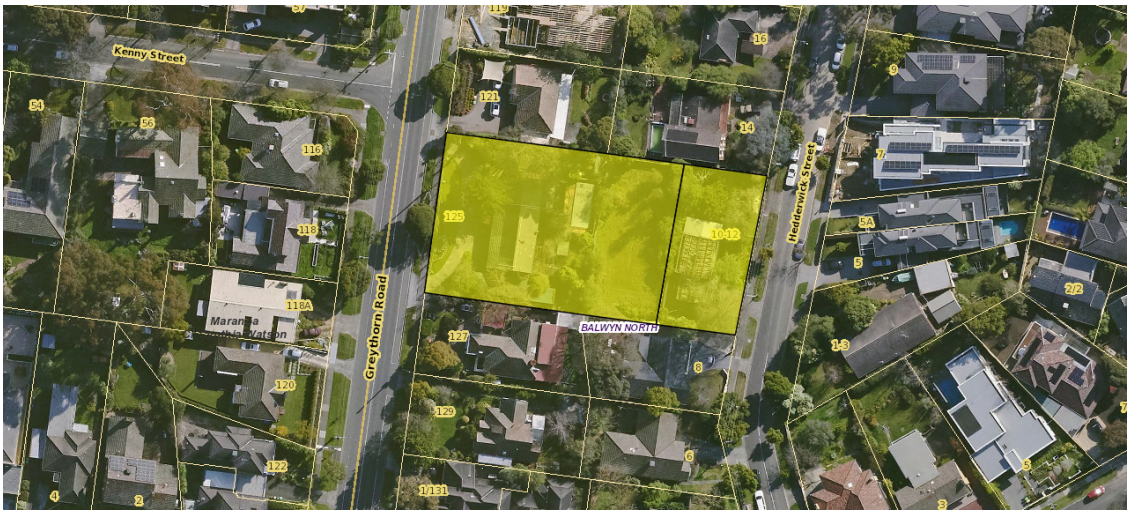

Figure 11 - Aerial View of subject site

North:
121 Greythorn Road
The land is developed with a two-storey split level rendered brick house with a pitched tiled roof. The dwelling is setback 12 metres from Greythorn Road. Vehicle access is via a crossover and driveway along the southern boundary of the site adjacent to the subject land. A garage is located on the southern boundary. A high timber fence is located along the frontage of the site with a steel picket gate across the driveway. A number of smaller canopy trees are located in the front and rear setbacks.

14 Hedderwick Street
The land is developed with a two storey red brick dwelling with a pitched tiled roof. The dwelling is setback 11.06m from Hedderwick Street. Vehicle access is via a crossover and driveway along the northern boundary. Two large canopy trees are located in the frontage of the site. A low brick fence is located along the frontage, which is concealed beneath manicured creeper planting.

South:
127 Greythorn Road
The land is developed with a split level two storey brick dwelling with a pitched tiled roof. The dwelling is setback 10.2m from Greythorn Road and 2.76m from the side boundary with the subject land. Vehicle access is via a crossover and driveway along the northern boundary of the site. An open carport and also a brick garage is located on the boundary with the subject land. A 1.8m-2m high timber fence is located across the frontage. A small canopy tree is located within the frontage.

8 Hedderwick Street
The land is developed with a two-storey white painted brick dwelling with a pitched tiled roof. The dwelling is setback 12.2m from Hedderwick Street. Vehicle access is via a

driveway and crossover near the northern boundary of the site. A 1.3m high timber picket fence is located along the frontage. A number of canopy trees are located in the front and rear setbacks.

West:
The land on the opposite side of Greythorn Road is developed with single dwellings, predominantly double storey in scale. The dwellings sit elevated from the road in comparison to dwellings on the east side which sit lower. Prominent retaining walls are located along the frontages. Materials within the streetscape are predominantly brick, weatherboard, render and some discrete stonework.

East:
The land on the opposite side of Hedderwick Street is developed with a combination of newer infill townhouse style multi dwellings and single dwelling developments. Most dwellings are two storey, with large porticos within their facades. Materials within the streetscape are predominantly brick, weatherboard, render and some discrete stonework.

RESTRICTIVE COVENANT/AGREEMENTS

No covenant or restriction has been registered on Title for this property.

ABORIGINAL CULTURAL HERITAGE

Is the site within an area of Aboriginal cultural heritage sensitivity?	No
Is a Cultural Heritage Management Plan required?	No

NOTICE OF APPLICATION

Pursuant to Section 52 of the *Planning & Environment Act 1987*, the amendment application was advertised by sending notices to the owners and occupiers of adjoining land.

15 objections have been received to the proposal. The grounds of objection are summarised as follows:

- Impact on parking in the street and traffic in the area;
- Impact on pedestrian safety;
- Access for parents via Hedderwick Street basement car park inconsistent with previous VCAT proceedings

- Visual bulk and scale of the building;
- Commercial building not appropriate in a residential area;
- Built form inconsistent with neighbourhood character;
- Inappropriate use for a local street like Hedderwick Street;
- Advertising signage to Hedderwick Street inappropriate;
- Waste collection via Hedderwick Street inappropriate;
- Number of bins required to the street would be unsightly;
- Airconditioning units will be unsightly;
- Lowering of front fence allows visibility of the development to the streetscape which is inappropriate;
- Inadequate protections for canopy trees;
- Noise;
- Impact of traffic, noise and disruption during construction;
- Loss in property value; and
- Centre is unnecessary as there are other centres in the area.

AMENDMENTS TO THE PROPOSAL

An amendment to the Section 72 planning application was lodged with Council after notification. The amendments to the application are in response to objector concerns and are as follows:

- Removing advertising signage to the rear elevation (Hedderwick Street); and
- Limiting basement car parking to staff only and removing reference to its availability for 'parent overflow' (as per original permit and VCAT discussions).

While the proposed changes were considered minor in nature re-notification (via letters) to the owners and occupiers of adjoining land and all objectors to the amended application was undertaken.

INTERNAL REFERRALS

The application was referred to the following:

Arborist

The application was discussed with Council's Arborist and the revised plans reviewed. Council's Arborist was satisfied that the revised development with regard to impact on trees to the site and adjoining properties.

Council's Arborist also reviewed the revised Tree Management Plan (in accordance with Condition 8 of the originally issued permit) and provided feedback that it complied and was suitable for endorsement.

Transport Engineers

In regard to the Section 72 Amendment Application proposal, the Traffic Engineering Department advises as follows:

A Planning Permit (PP15/00645) was issued previously for a child care centre on the site which accommodated 154 places. The previously-approved scheme comprised two on-site car parks accessed via Greythorn Road and Hedderwick Street, which accommodated 11 spaces and 23 spaces, respectively.

It is proposed to reduce the capacity of the child care centre from 154 places to 132 places. A total of 32 car parking spaces, including one (1) disabled car parking space, are to be provided on the site. These are to be provided across two on-site car parks including:

- *a basement car park, accessed via Hedderwick Street, will provide 22 on-site parking spaces which will be primarily allocated to staff, in addition to any overflow parent/carer parking, and*
- *an at-grade car park, accessed via Greythorn Road, will provide 10 car parking spaces and will be for parents/carers.*

Vehicle access is proposed via the relocation of the existing crossovers on Greythorn Road and Hedderwick Street to the northwest corner and approximately the centre of the site, respectively.

The following assessment has reviewed the submitted plans prepared by DCA Design, dated 21 March 2023 and a traffic engineering assessment prepared by Traffix Group, dated 3 April 2023. I provide the following advice regarding the proposed on-site parking provision and car park layout as a result of the modification only.

- *Based on the Child Care Centre land use there is a statutory parking requirement to provide 0.22 parking spaces per child as per Clause 52.06. As a result of the proposed amendments to the existing kindergarten, the reduction in capacity at the site from a maximum of 154 places to 132 places results in an overall statutory parking requirement of 29 parking spaces, as per Clause 52.06. Given the proposed retention of a total of 32 on-site parking spaces as part of the modification, this results in an on-site parking surplus of three spaces, compared with the statutory requirement and is considered acceptable.*

- *All proposed parking spaces achieve minimum dimensions of 2.6m wide x 4.9m long accessed from a minimum 6.4m aisle width or variations of this dimension in accordance with Clause 52.06, which is acceptable.*

- *The disabled parking space and adjacent shared area are measured to be at least 2.4m wide and 5.4m long, in accordance with AS/NZS2890.6-2009.*

- *A 6.1m wide x 7m long passing area has been provided at the interface with Greythorn Road in accordance with Clause 52.06. Simultaneous two-way movement is maintained throughout the Greythorn Road car park, to be utilised by parents/carers.*

- *A minimum height clearance of 2.2m is provided throughout both car parks and a minimum of 2.5m height clearance is provided above the disabled parking space and adjacent shared space as per AS/NZS2890.6-2009.*

- *All ramp grades are provided in accordance with Clause 52.06 and are considered acceptable.*

- *A total of four bicycle parking spaces are provided and are designed in accordance with AS/NZS2890.3-2015. There is no formal requirement for the provision of bicycle parking.*

- *Waste collection is to occur on-site via a 6.4m waste collection vehicle. Collection is to occur outside of peak operating periods or after hours to minimise impact.*

- *Swept path assessments have been submitted demonstrating suitable access for both car parks and also on-site waste collection.*

- *Given that there is proposed a minor reduction in on-site parking, there will also be a minor reduction in the traffic generation for the site.*

Planner Comment:

Council's Transport Engineer is satisfied with the revised car park layout and the provision of car parking for the reduced capacity child care centre.

Waste Services Team

The Waste Services Team has advised as follows:

There is no mention of the planned glass bin. Waste management plan needs to be amended to include provision for separate glass recycling.

Planner Comment:

There have been changes in waste management since the original issue of the permit and also changes soon forthcoming (separation of glass recycling). It is the position of Council's Waste Services Team that the submitted Waste Management Plan (WMP) be amended to accommodate upcoming changes with regard to separation of glass recycling. This is considered reasonable in ensuring that the proposal is well positioned with regard to upcoming best practice and will be included as a permit condition.

Proposed condition:

- Waste management plan amended to include provision for separate glass recycling

GOVERNANCE ISSUES

The implications of this report have been assessed and are not considered likely to breach or infringe upon the human rights contained in the *Victorian Charter of Human Rights and Responsibilities Act 2006*.

The officers responsible for this report have no direct or indirect interests requiring disclosure.

CONSIDERATIONS

In assessing this application, consideration has been given to the following:

- The objectives of planning in Victoria as detailed in Section 4 of the *Planning & Environment Act* 1987;
- Section 60 of the *Planning & Environment Act* 1987;
- The relevant provisions and decision guidelines of the Boroondara Planning Scheme including the decision guidelines of Clause 65;
- The objections received.

This amended proposal does not raise any significant adverse social or economic impacts. General social and economic impacts are addressed by the planning policy assessment below.

BOROONDARA PLANNING SCHEME

ZONING & OVERLAYS

Appendix C - Zoning Map

Neighbourhood Residential Zone (Schedule 3)

Pursuant to Clause 32.09-2 of the Boroondara Planning Scheme, a child care centre is a section 2 use - permit required. Pursuant to Clause 32.09-9, a permit is required to construct a building/construct or carry out works for a section 2 use. A planning permit has been previously granted for the use and development of a child care centre.

PARTICULAR PROVISIONS

Clause 52.05 – Advertising Signs

Pursuant to Clause 52.05-13 (Medium limitation – Category 3 High Amenity Areas) of the Boroondara Planning Scheme, a planning permit is required to display a business identification sign.

Clause 52.06 - Car Parking

Pursuant to Clause 52.06 of the Boroondara Planning Scheme, prior to the commencement of a new use, or the floor or site area of an existing use being increased, or the increase of an existing use by the measure specified in column C of Table 1 in Clause 52.06-5 the car parking spaces required under Clause 52.06-5 must be provided on the land.

A permit may be granted to reduce (including reduce to zero) the requirement to provide the number of car parking spaces required under this clause.

OFFICER ASSESSMENT

The application seeks an amendment to an existing permit and approved plans. The assessment scope is limited only to the matters sought to be changed (i.e. built form, car parking and signage). The proposal does not seek to alter the use (childcare) proposed and therefore the merits and impacts of the proposed use will not be revisited in the below assessment as these have already been determined.

PLANNING POLICY FRAMEWORK

The following policies are relevant to the assessment of the current amendment application:

- Clause 15.01 – Built Environment
- Clause 18.02 - Car Parking
- Clause 19.02 - Community Infrastructure

The relevant objectives of Clause 15.01 are:

- *To create urban environments that are safe, functional and enjoyable and that contribute to a sense of place and cultural identity.*

- *To achieve high quality urban design and built form outcomes which enhance streetscapes, maintain amenity and cater to a diversity of user needs.*
- *To ensure signage is sensitively integrated into use and development and streetscapes.*
- *To ensure the extent, design and location of signage does not result in unreasonable character or amenity impacts on adjoining properties or public open space, including through illumination.*
- *To ensure the number of signs reflects the nature and intensity of the land use of the area.*
- *To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.*
- *To ensure development retains and enhances the key character attributes that contribute to a precinct's preferred character.*

The relevant objectives of Clause 18.02 are:

- *To ensure adequate user and visitor car parking is provided with use and development.*

The relevant objectives of Clause 19.02 are:

- *To assist the integration of education and early childhood facilities with local and regional communities.*

Officer Comment:

It is considered that the proposed amendment is consistent with the objectives of the relevant planning scheme policies. The overall revised built form and layout of the development contributes positively to the local urban character and impacts to adjoining properties are adequately minimised.

Built Form

Basement level

Proposed Amendment	Officer Discussion
• Minor reduction in basement length (to the west); • Minor increase in basement to the south east; • Addition of basement exit pedestrian doors facing Hedderwick Street; • Stairs to external area of basement to navigate site slope; • Reduction in 1 car parking space	The proposed alterations to the basement area are considered minor and acceptable. They do not represent transformative change to the previously approved proposal.

(see discussion below 'Car Parking') • Internal re-arrangement of lift, storage areas, stairwell and plant/equipment areas.	

Lower Level

Proposed Amendment	Officer Discussion
• Outdoor stairwell from basement level • Internal rearrangement of playroom and bathroom/nappy change areas/store rooms; • Increased area around tree protection zones of retained trees; • Minor reduction in external play area finished floor level (0.04m) • Reconfiguration of landscaping retaining walls; • Increased setbacks to part of walls from northern boundary • Decreased setback from Greythorn Road (due to fall of site this is increased built form into the slope)	The proposed internal re-arrangements and alterations of playrooms and bathroom areas are considered minor. Setbacks to sensitive interfaces are generally consistent with the previous approved development (or increased). The proposal seeks a minor increase of the building area toward Greythorn Road. This will not be readily visible given it takes advantage of the site slope (will be semi-subterranean) and is considered acceptable.

Entry Level

Proposed Amendment	Officer Discussion
• Separate pedestrian access provided from Greythorn Road frontage which integrates with car park area. • Increased setback to part of front façade from Greythorn Road (515mm); • Outdoor storage area added to balcony play area; • Two pavilion areas at entry level combined into single building area with new playroom area created between and increased setback (4967mm) from Hedderwick Street;	The proposed amendment to the driveway to provide a separate (yet connecting) pedestrian entrance is considered an improved outcome (allowing any parents arriving by walking or cycling to avoid vehicular interactions in the driveway). The increased setback to Greythorn Road is also supported given it provides for a landscaping buffer between the car park and building façade, further softening the front treatment. The main alteration to this level is the increased setback from Hedderwick Street

• Internal rearrangement of play areas, reception area, bathroom and storage facilities;	(4.967m) reducing visibility to this interface. This reduced area is offset by the combination of the two entry level pavilions into a single built area. The massing to this area is further reduced by the removal of the upper level (see below). It is considered that the alterations to the entry level built form are acceptable and do not present a transformational alteration from the previously approved.

Upper Level

Proposed Amendment	Officer Discussion
Level removed from development.	The proposal seeks the entire removal of the uppermost level of the development. The proposal includes a slightly larger central portion to the entry level which is balanced by the removal of this uppermost level. The proposed removal of this level is supported in reducing overall visual bulk.

Elevations

Proposed Amendment	Officer Discussion
Elevation sheets - updated to reflect layout changes above and material finish changes.	Given that setbacks to sensitive interfaces are broadly consistent with the previously approved development, the primary visible changes are materials and finishes. The proposed material palette is broadly consistent (timber cladding, render, light green accent elements) however the amended proposal includes a generally lighter colour selection and different application locations. The amended proposal also incorporates metal Colorbond roofing in lieu of the previously tiled roof. The amended proposal continues to use materials that feature prominently both to Greythorn Road and Hedderwick Streetscapes and which are consistent with the established neighbourhood character. The proposed material schedule does not include detail

	of glass balustrading sections, retaining walls or car park concrete surface colour (noted as to architect selection), it is recommended that a condition to permit be included requiring a full materials schedule.

Landscape Plan

Proposed Amendment	Officer Discussion
Changes to landscaping treatment in open areas	The amendment application includes a revised landscape plan. It continues to comply with the requirements set out in the permit, particularly condition 5e requiring screen planting to a maximum height of 4-6m to the southern boundary interface. Broadly, the landscape plan provides greater understorey planting to all interfaces and is considered an improved outcome from the previously approved.

Car Parking

Proposed Amendment	Officer Discussion
• Reduction of two car parking spaces • Minor alterations to car parking layout.	At basement level the proposed amendment provides for 21 standard and 1 accessible car parking space (via Hedderwick Street). The existing endorsed plans include 23 car parking spaces to this area. At the entry level, the amended proposal provides for 10 car parking spaces (in a modified arrangement from previously endorsed) accessed via Greythorn Road. The existing endorsed plan includes 11 car parking spaces to this area. Council's Transport Engineer has reviewed the proposal and advised that the 32 spaces provided exceeds the requirements of Clause 52.06 of the planning scheme (given the reduction in total number of children in care) and is considered satisfactory. Furthermore, Council's Transport Engineer notes that the revised layouts of each area, dimensions of spaces and gradients satisfy the relevant design standards. It is recommended that the minor reduction and reconfiguration of car parking layout be supported.

	To reflect the changes, the following changes to conditions are recommended (strikethrough text refers to elements to be deleted, italic text is to be added to conditions): It is recommended that condition 21 (Parking Management Plan) be amended as follows: b.) No less than ~~33~~ 32 car parking spaces are to be provided on site. c.) Measures to ensure that access is only to staff ~~and the disabled parking bay~~ within the basement garage to Hedderwick Street *with the exception of parents/carers requiring access to the disabled car parking bay*.

Number of Children in Care

Proposed Amendment	Officer Discussion
With relation to the proposed use (childcare), the applicant seeks a reduction in the total number of children in care.	Condition 15 of the permit limits the number of children in care at the subject site to no more than 154. The amendment proposal seeks to reduce this number to 132. The reduction of total children in care to the subject site is supported. It represents an improved amenity outcome to surrounding properties. It is recommended that Condition 15 of the permit be amended to ensure the new upper limit of 132 children is ensured.

Signage

Proposed Amendment	Officer Discussion
Alteration in signage style and location to reflect new business operator from original permit application.	The original Section 72 amendment application includes signage to both the Greythorn Road and Hedderwick frontages. The proposed signage is integrated to the façade within a timber clad circular architectural detail. To the Greythorn Road façade this replaces the previously approved signage to the top of the second storey parapet. It is considered that the proposed amendment provides a more architecturally integrated

	signage outcome and is considered acceptable. Nonetheless, in response to objector concerns regarding the scale of signage to Hedderwick Street the applicant has provided revised plans removing this element. The removal of this signage from the amendment request is supported as it is considered that the scale was not in keeping with its secondary/staff entry nature. The removal of the signage to the Hedderwick Street frontage will be ensured via permit condition.

OBJECTION RESPONSE

Total Number of Objections Received:	**15**
Summary of Objection	**Officer Comment**
Loss of property value	The Victorian Civil and Administrative Tribunal and its predecessors have generally found subjective claims that a proposal will reduce property values are difficult, if not impossible to gauge and of no assistance to the determination of a planning permit application. It is considered the impacts of a proposal are best determined through an assessment of the amenity implications rather than any impacts upon property values. This report provides a detailed assessment of the amenity impact of this proposal.
Noise and disturbance from the childcare use	Concerns have been raised regarding the potential noise generated from the childcare centre after occupancy. The amended proposal is largely consistent with the previous built form and play area extents. Furthermore, the amended proposal continues to include acoustic fencing and screening as per the original approved development and permit requirements. An updated Acoustic report accompanied the amendment submission demonstrating that it will result in a comparable noise outcome to the previous approved design and acoustic screening requirements are generally consistent (with some minor changes to account for the revised layout).
Commercial scale of the development	The proposed amendment seeks to remove the uppermost storey of the development and reduce the overall number of

	children in care, reflecting a reduction in scale from the previously approved plans. The elevation sheets submitted by the permit applicant include outlines of the previously approved development and existing adjoining dwellings. These demonstrate that the scale of the development is acceptable within the established streetscape rhythm.
Inconsistent with neighbourhood character	The amended proposal is broadly consistent with the previously approved development. Review of the revised development with regard to form, materiality and setbacks has been undertaken above. The revised design will continue to provide an outcome that responds positively with regard to the surrounding neighbourhood character.
Airconditioning Units to Hedderwick Street frontage (unsightly)	No air conditioning units are noted to plans within the Hedderwick Street frontage. Airconditioning units are depicted to the existing approved plans to the roof top area. The applicant has further advised that air conditioning units will be primarily located within the plant area in the basement where noise can be most readily attenuated and to the roof area (as currently shown to the approved plans). It is recommended that a condition to permit be included requiring the roof plan to be amended to include the location of air-conditioning units and details of any screening.
Reduction in front boundary fence height to Hedderwick Street frontage.	The approved development included a picket fence above the masonry base to a maximum overall height of 1m (as required by permit condition 1f). The proposed amended design does not seek to amend this condition or alter this previously approved fencing arrangement and is therefore not a matter for consideration.
Proposed advertising signage to Hedderwick Street is excessive.	The applicant has provided amended plans which show the deletion of signage to the Hedderwick Street frontage. This will be ensured via permit condition.
Increased traffic and car parking impacts	The proposed amended development satisfies Clause 52.06 of the Boroondara Planning Scheme in respect to the provision of car parking. The development provides for appropriate on-site car parking relative to the number of bedrooms in the proposed dwellings. Council's Transport Engineers have assessed the

	application and has raised no concerns regarding the impact of the proposal on the surrounding traffic network. Given that the amended proposal seeks an overall reduction in children in care, Council's Transport Engineers estimate that it will therefore result in a minor reduction in traffic generation.
Suitability and traffic impact of basement configuration to Hedderwick Street	The original approved plans provided for a 23 car space parking garage to Hedderwick Street. The proposal reduces this to 22 spaces. The location and access of this car parking area are not proposed to be altered and are therefore not a matter for consideration.
Parent pick up/drop off nominated to Hedderwick Street Basement car park is inconsistent with VCAT proceedings and permit conditions	The original permit conditions required that the Hedderwick basement area be maintained for staff and DDA car parking only. The applicant has reviewed the amendment proposal and provided updated plans and traffic report for residents/objectors clarifying that the Hedderwick Street basement car park will be for staff use only.
Waste collection via Hedderwick Street frontage inappropriate	The previously approved Waste Management Plan involved collection via a private waste collection from the basement area accessed from Hedderwick Street. The proposed alterations to the previously endorsed Waste Management Plan are minor and are primarily a minor reduction in overall waste (reflecting reduced number of children in care), reduced individual bin sizes and increased diversified waste streams (organics) since the original permit was issued. In both the original and amended proposal waste bin storage was located to the basement area and collection via Hedderwick Street. This is not proposed to be amended.
Rubbish bins to street unsightly	The previously approved and proposed Waste Management Plan provided for rubbish bins to the be stored and accessed for collection in the basement area. It is not proposed to utilise kerb side rubbish collection for the development.

Proposed centre is unnecessary given that there are already numerous childcare centres in the area.	The proposed use as a childcare centre is already approved and does not form part of the amendment request and therefore not a matter to be revisited for consideration.
Adverse impact from construction vehicles to local neighbourhood.	This has been addressed in the existing permit which includes a requirement for a construction management plan.

BOROONDARA
Received
8/6/2023

NOTICE INFORMATION
Date of Notice: 4 July 2023

123-125 GREYTHORN ROAD, BALWYN NORTH

PROPOSED CHILDCARE CENTRE

DEVELOPMENT SUMMARY				
SITE AREA	2626m²			
PROPOSED BUILDING AREA	1004m²			
SITE COVERAGE	38% (1004m²)			
CAR PARKING PROVIDED	32 (22 BASEMENT + 10 GREYTHORN ROAD ENTRY)			
CAR PARKING REQUIRED	29 (132 CHILDREN @ 0.22 SPACES PER CHILD)			
PERMEABILITY	41% (1075m²)			
PLAYROOMS	7			
TOTAL NUMBER OF CHILDREN	132			
CHILDREN/ROOM RATIO	PROPOSED LOWER GROUND	PROPOSED UPPER GROUND	OUTDOOR PLAYAREAS	TOTAL OUTDOOR PLAYAREAS
PLAYROOM 01 PLAYROOM 02 PLAYROOM 03 PLAYROOM 04	22 CHILDREN 22 CHILDREN 16 CHILDREN 16 CHILDREN **= 76 CHILDREN**		520m² / 7 = 74 CHILDREN 65m² / 7 = 9 CHILDREN	**TOTAL OF 585m² > 532m² REQ.**
PLAYROOM 05 PLAYROOM 06 PLAYROOM 07		22 CHILDREN 22 CHILDREN 12 CHILDREN **= 56 CHILDREN**	420m² / 7 = 60 CHILDREN	**TOTAL OF 420m² > 392m² REQ.**
TOTAL INDOOR CAPACITY	**= 132 CHILDREN**		**TOTAL OUTDOOR AREA EXCEEDS MIN REQUIRED**	

SHEET LIST

TP01	COVER SHEET
TP02	NEIGHBOURHOOD CHARACTER PLAN
TP03	DESIGN RESPONSE PLAN
TP04	BASEMENT FLOOR PLAN
TP05	LOWER GROUND FLOOR PLAN
TP06	UPPER GROUND FLOOR PLAN
TP07	WEST ELEVATIONS
TP08	NORTH & SOUTH ELEVATIONS
TP09	NORTH & SOUTH ELEVATIONS
TP10	EAST ELEVATIONS
TP11	SHADOW DIAGRAMS

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PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	COVER SHEET		
DRAWN:	TH SCALE: As indicated @ A1 PAPER SIZE	DWG NO:	TP01
DATE:	MAR 2023	REV:	

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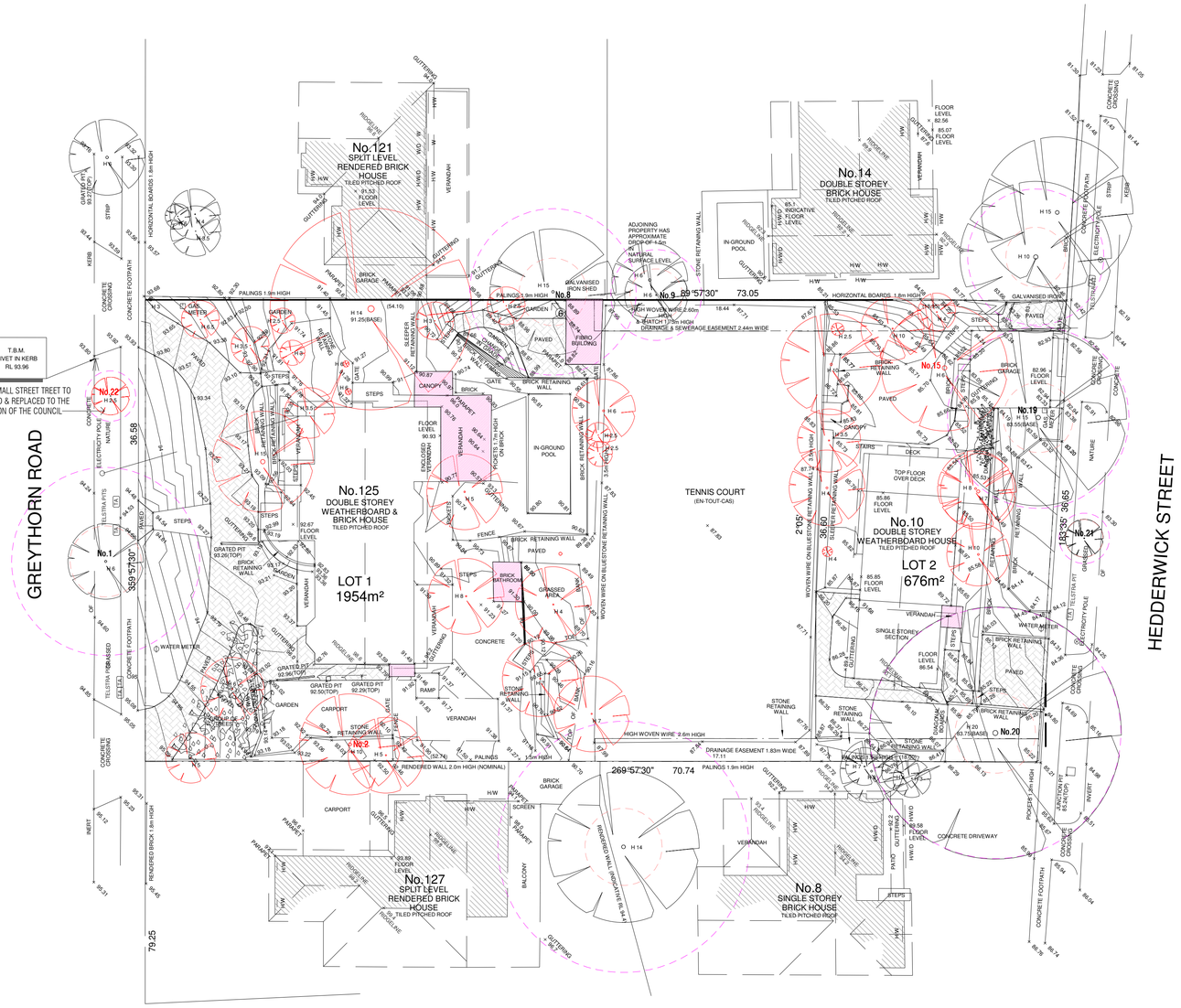
BOROONDARA CITY OF PARKS
Received
8/6/2023

NOTICE INFORMATION
Date of Notice: 4 July 2023



1 EXISTING SITE PLAN
TP07 1 : 200

SYMBOL	DESCRIPTION
	T.B.M.
H.5	TREE (TRUNK & SPREAD) DENOTES TREE APPROXIMATELY 5 METRES HIGH
	STAYWIRE
	ELECTRICITY POLE
TA OR	TELSTRA PIT
	GAS METER
	WATER METER
GROUND FLOOR / FIRST FLOOR	HABITABLE WINDOW
GROUND FLOOR / FIRST FLOOR	WINDOW
	ORANGE DASHED LINE WORK REPRESENTS DATA DERIVED FROM AERIAL PHOTOGRAPHY AND IS APPROXIMATE ONLY
	APPROXIMATE LOCATION OF RIDGELINES/GUTTERS (LIP)
	APPROXIMATE LOCATION OF OVERHEAD SERVICE WIRES

DEMOLITION NOTES

SCOPE OF WORKS
- DEMOLISH ALL EXISTING BUILDINGS, SHEDS
- REMOVE ALL EXISTING DRIVEWAYS AND GARDENS
- REMOVE ALL EXISTING TREES ON SITE THAT AREA MARKED TO BE REMOVED

EXISTING GARDEN AREA

GARDEN	1880.72 m²	72%
NOT GARDEN	745.32 m²	28%
	2626.04 m²	

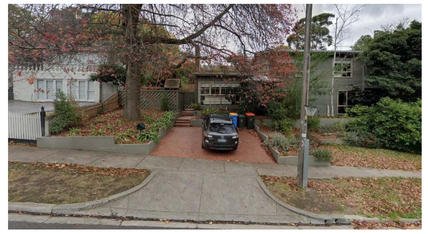
EXISTING SITE COVERAGE

COVERED	534.08 m²	20%
UNCOVERED	2091.96 m²	80%
	2626.04 m²	

EXISTING SITE PERMEABILITY

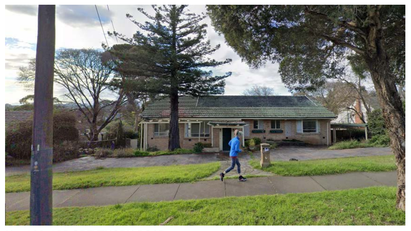
IMPERVIOUS	1206.20 m²	46%
PERMEABLE	1419.84 m²	54%
	2626.04 m²	

No. 8 HEDDERWICK STREET


No. 10-12 HEDDERWICK STREET

No. 10-12 HEDDERWICK STREET

No. 121 GREYTHORN ROAD


No. 123-125 GREYTHORN ROAD

No. 123-125 GREYTHORN ROAD

No. 127 GREYTHORN ROAD

No. 14 HEDDERWICK STREET

DCA Design
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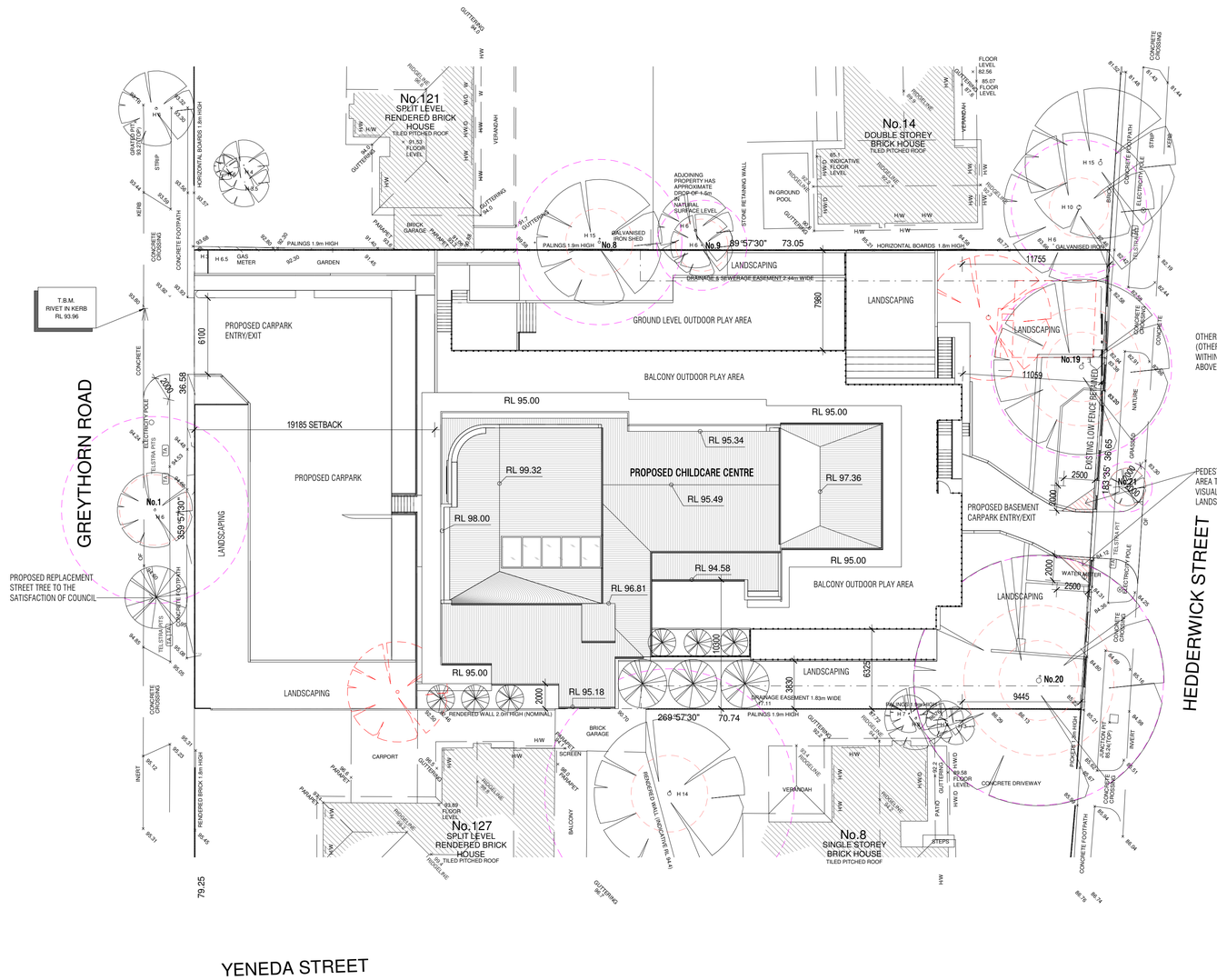
0 4 8 16m
1:200 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	NEIGHBOURHOOD CHARACTER PLAN		
DRAWN:	TH SCALE: As indicated @ A1 PAPER SIZE	DWG NO:	TP02
DATE:	MAR 2023	REV:	

5/06/2023 2:42:08 PM

BOROONDARA City of Boroondara
Received
8/6/2023

NOTICE INFORMATION
Date of Notice: 4 July 2023



OTHER THAN AS SHOWN ON THE ENDORSED PLANS, NO BUILDINGS OR WORKS (OTHER THAN THE EXISTING RETAINING WALLS, ANY BUILDINGS AND WORKS TO BE WITHIN THE EXISTING BUILDING FOOTPRINT AND ANY PAVING TO BE CONSTRUCTED ABOVE GRADE) ARE TO BE LOCATED WITHIN THE TPZ OF TREES 19 AND 20

PEDESTRIAN SIGHT TRIANGLES 2.0 x 2.5: AREA TO BE AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS OR WITH LANDSCAPING LESS THAN 900mm HIGH

DEVELOPMENT SUMMARY

SITE AREA	2626m²			
PROPOSED BUILDING AREA	1004m²			
SITE COVERAGE	38% (1004m²)			
CAR PARKING PROVIDED	32 (22 BASEMENT + 10 GREYTHORN ROAD ENTRY)			
CAR PARKING REQUIRED	29 (132 CHILDREN @ 0.22 SPACES PER CHILD)			
PERMEABILITY	41% (1075m²)			
PLAYROOMS	7			
TOTAL NUMBER OF CHILDREN	132			
CHILDREN/ROOM RATIO	**PROPOSED LOWER GROUND**	**PROPOSED UPPER GROUND**	**OUTDOOR PLAYAREAS**	**TOTAL OUTDOOR PLAYAREAS**
PLAYROOM 01 PLAYROOM 02 PLAYROOM 03 PLAYROOM 04	22 CHILDREN 22 CHILDREN 16 CHILDREN 16 CHILDREN **= 76 CHILDREN**		520m² / 7 = 74 CHILDREN 65m² / 7 = 9 CHILDREN	**TOTAL OF 585m²** **> 532m² REQ.**
PLAYROOM 05 PLAYROOM 06 PLAYROOM 07		22 CHILDREN 22 CHILDREN 12 CHILDREN **= 56 CHILDREN**	420m² / 7 = 60 CHILDREN	**TOTAL OF 420m²** **> 392m² REQ.**
TOTAL INDOOR CAPACITY	**= 132 CHILDREN**		**TOTAL OUTDOOR AREA EXCEEDS MIN REQUIRED**	

2 TP07 PROPOSED SITE PLAN
1 : 200

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0 2 4 8m
1:100 @ A1

PROJECT: PROPOSED CHILD CARE CENTRE JOB NO.: 5173
ADDRESS: 123-125 GREYTHORN RD, BALWYN NORTH
CLIENT: SSA PROPERTIES BN PTY LTD
SHEET TITLE: DESIGN RESPONSE PLAN
DRAWN: TH SCALE: As indicated @ A1 PAPER SIZE DWG NO: TP03
DATE: MAR 2023 REV:
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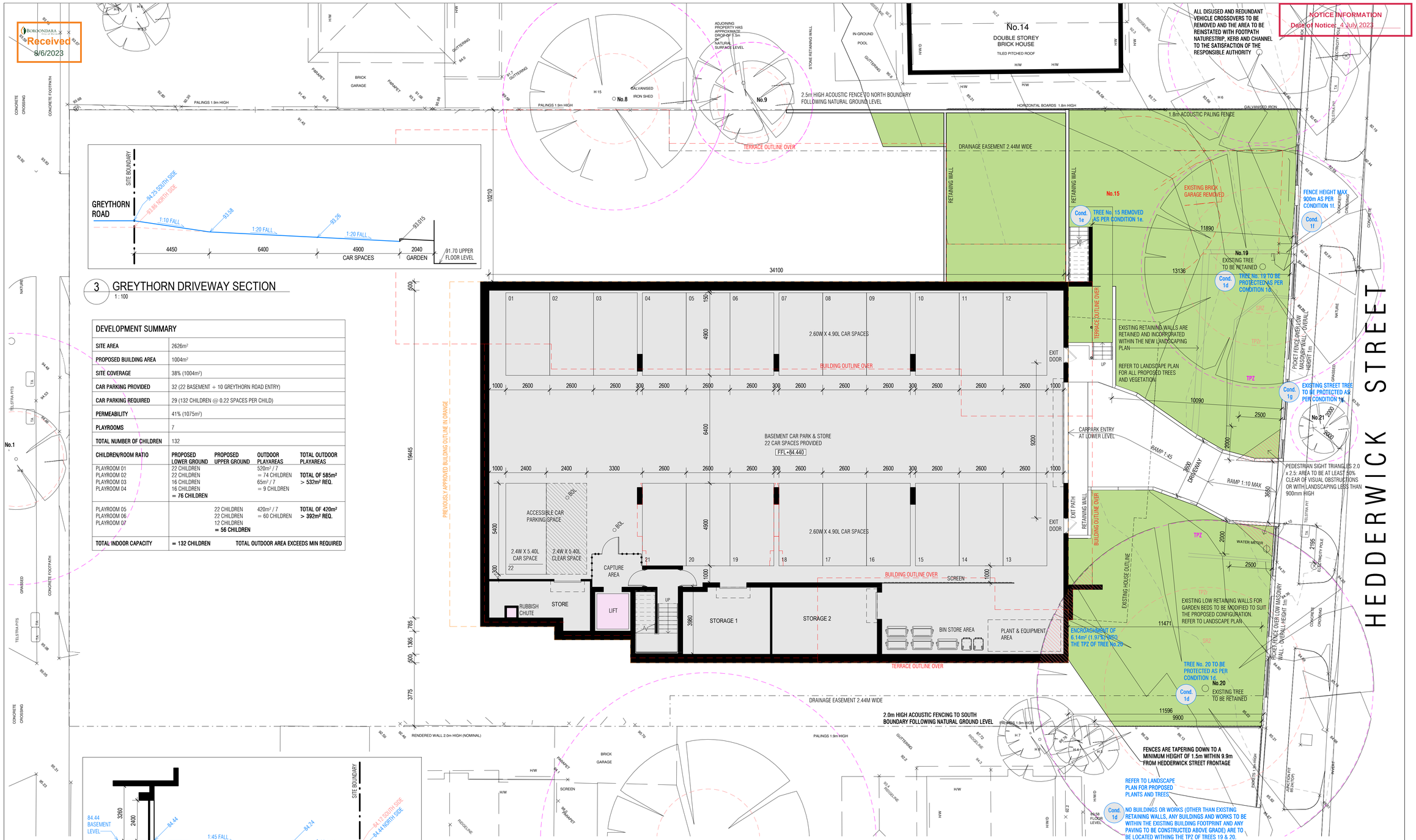

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0 2 4 8m
1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	BASEMENT FLOOR PLAN		
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DATE:	MAR 2023	REV:	

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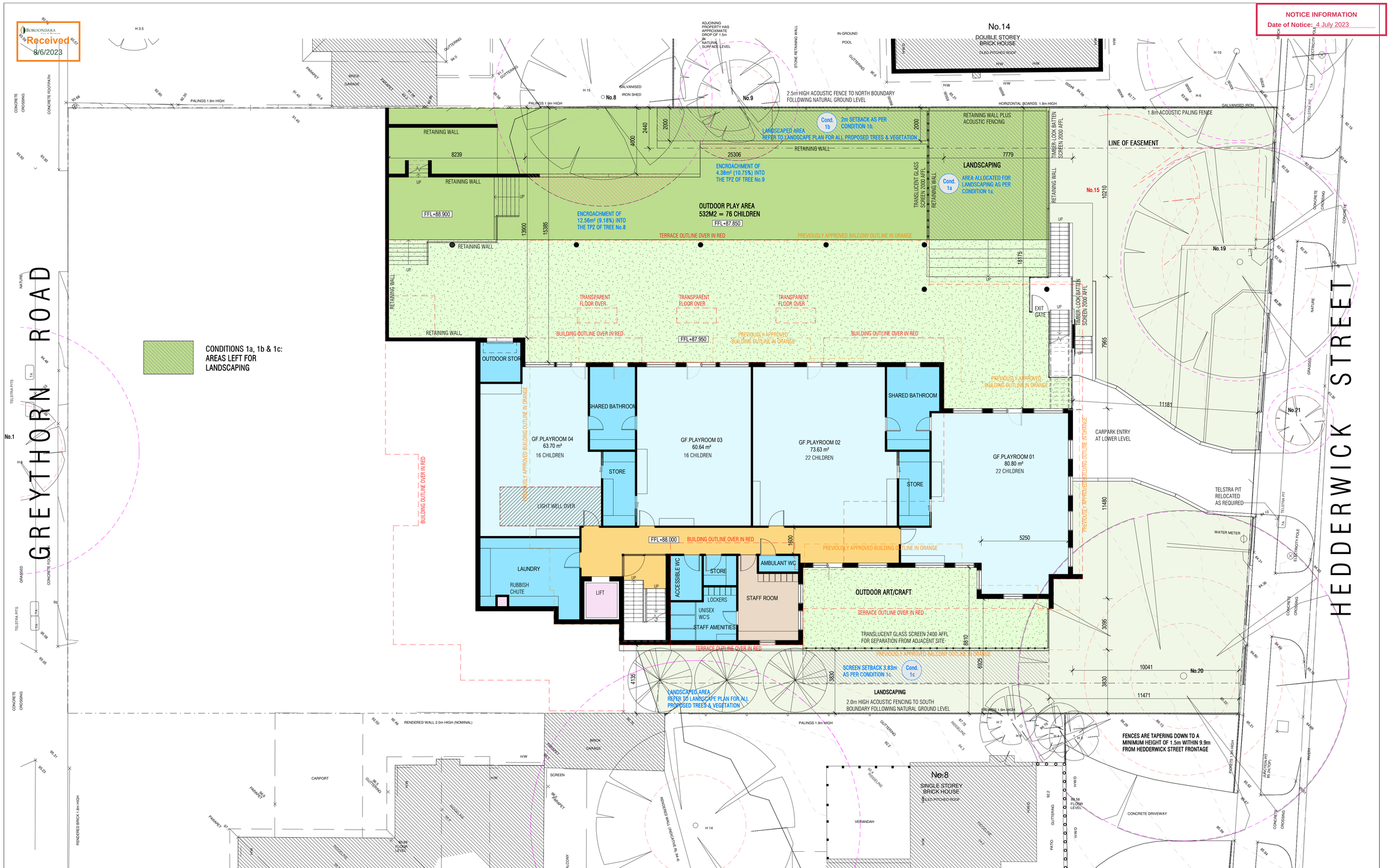

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1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	LOWER GROUND FLOOR PLAN		
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DATE:	MAR 2023	REV:	

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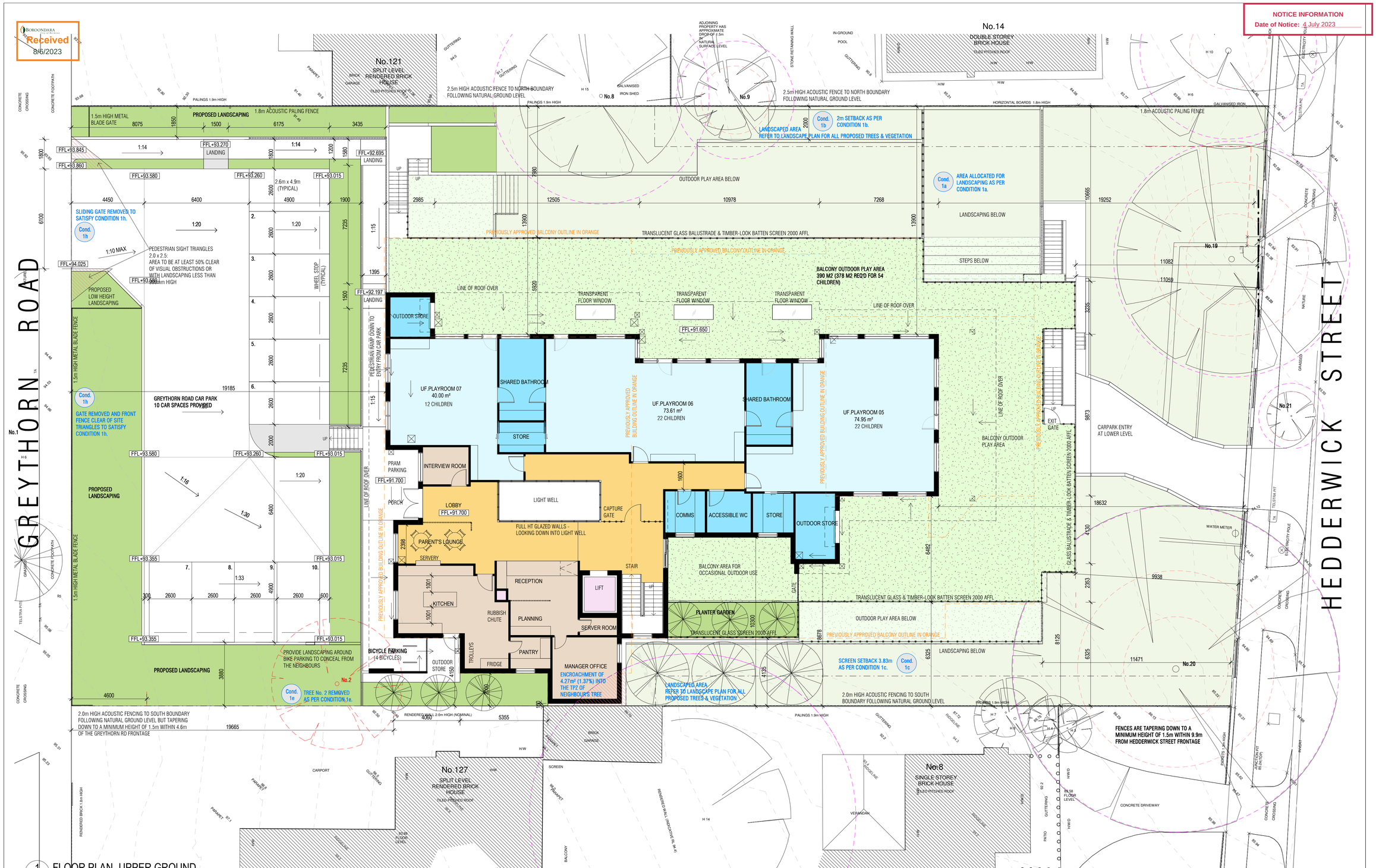

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1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	UPPER GROUND FLOOR PLAN		
DRAWN: TH	SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP06
DATE:	MAR 2023	REV:	

5/06/2023 2:42:24 PM

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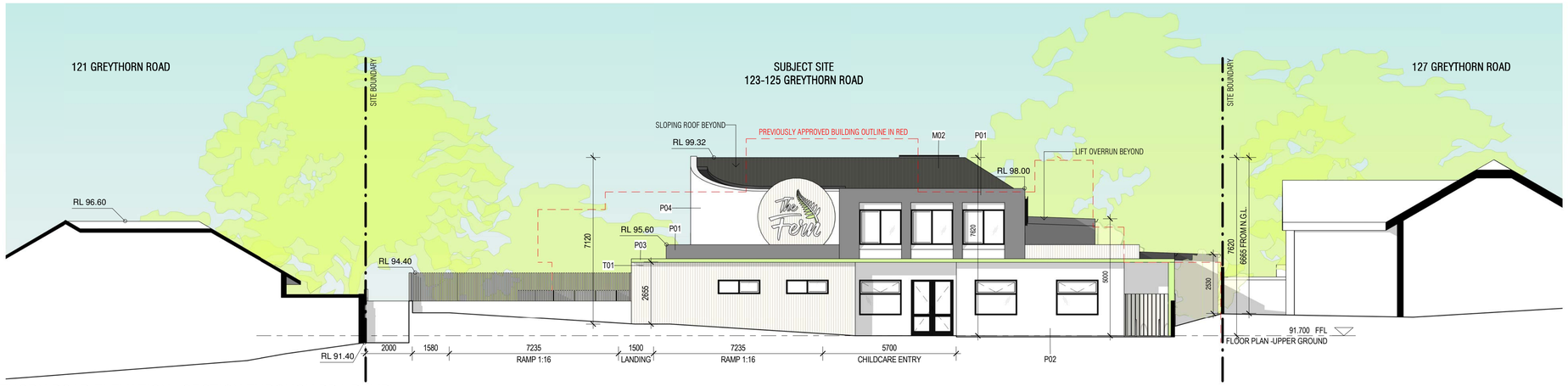
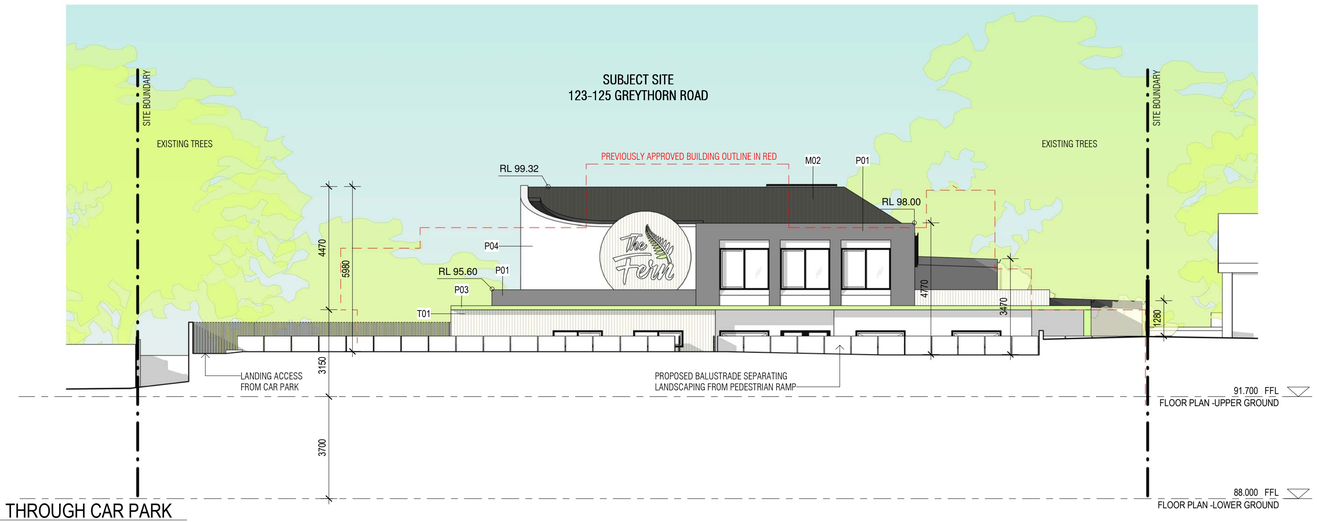
NOTICE INFORMATION
Date of Notice: 4 July 2023



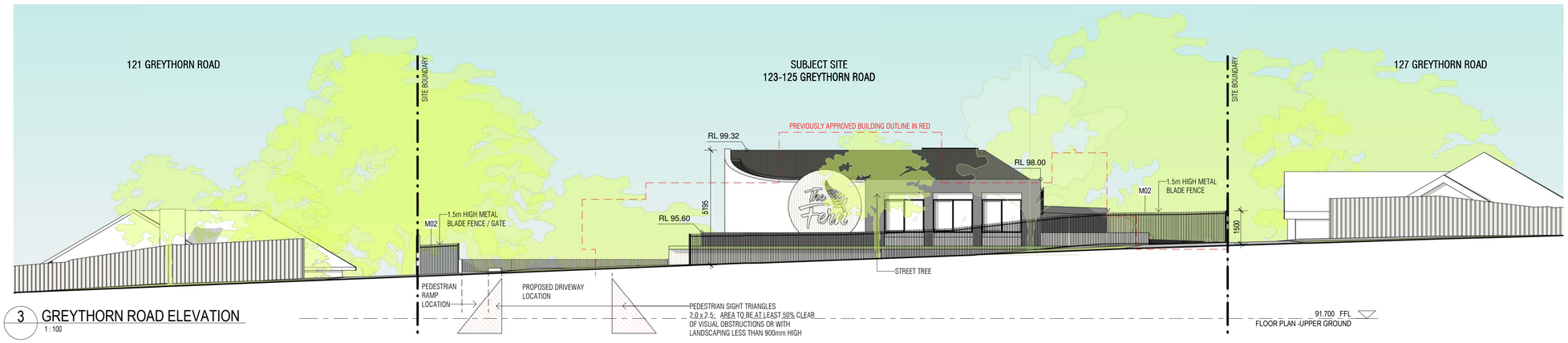
1 GREYTHORN ROAD ELEVATION - SECTION THROUGH DDA RAMP
1 : 100



2 GREYTHORN ROAD ELEVATION - SECTION THROUGH CAR PARK
1 : 100

EXTERNAL MATERIAL / COLOUR SCHEDULE

	SWATCH	DESCRIPTION	COLOUR
M01		METAL FINISH	BLACK POWDERCOAT OR SIMILAR
M02		METAL FINISH	MONUMENT POWDERCOAT OR SIMILAR
P01		PAINT FINISH	MONUMENT PAINT FINISH OR SIMILAR
P02		PAINT FINISH	WHITE/LIGHT GREY PAINT FINISH OR SIMILAR
P03		PAINT FINISH	LIGHT GREEN PAINT FINISH OR SIMILAR
P04		PAINT FINISH	WHITE/LIGHT GREY GLOSS PAINT FINISH OR SIMILAR
R01		RENDER FINISH	WHITE/LIGHT GREY RENDER FINISH OR SIMILAR
T01		TIMBER-LOOK FINISH	SELECTED LIGHT TIMBER-LOOK FINISH OR SIMILAR



3 GREYTHORN ROAD ELEVATION
1 : 100

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0 2 4 8m
1:100 @ A1

PROJECT: PROPOSED CHILD CARE CENTRE JOB NO.: 5173
ADDRESS: 123-125 GREYTHORN RD, BALWYN NORTH
CLIENT: SSA PROPERTIES BN PTY LTD
SHEET TITLE: WEST ELEVATIONS
DRAWN: TH SCALE: 1 : 100 @ A1 PAPER SIZE DWG NO: TP07
DATE: MAR 2023 REV:
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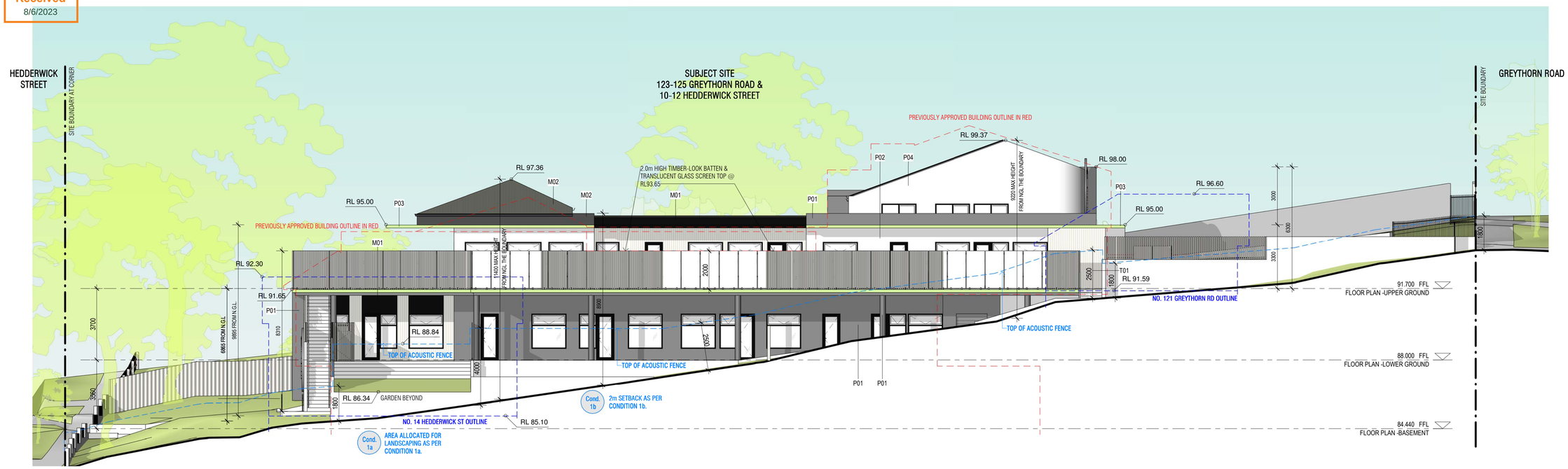
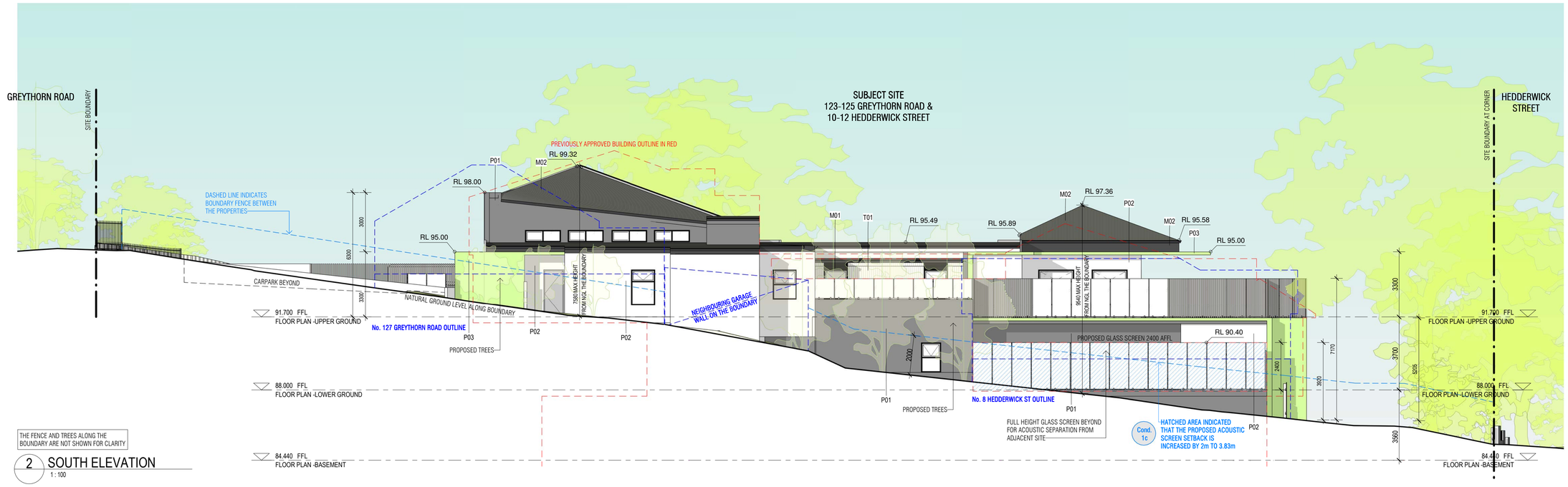
8/6/2023

NOTICE INFORMATION
Date of Notice: 4 July 2023



1 NORTH ELEVATION
1 : 100

THE FENCE AND TREES ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY



THE FENCE AND TREES ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY

2 SOUTH ELEVATION
1 : 100

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1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	NORTH & SOUTH ELEVATIONS		
DRAWN: TH	SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP08
DATE:	MAR 2023	REV:	

5/06/2023 2:43:28 PM

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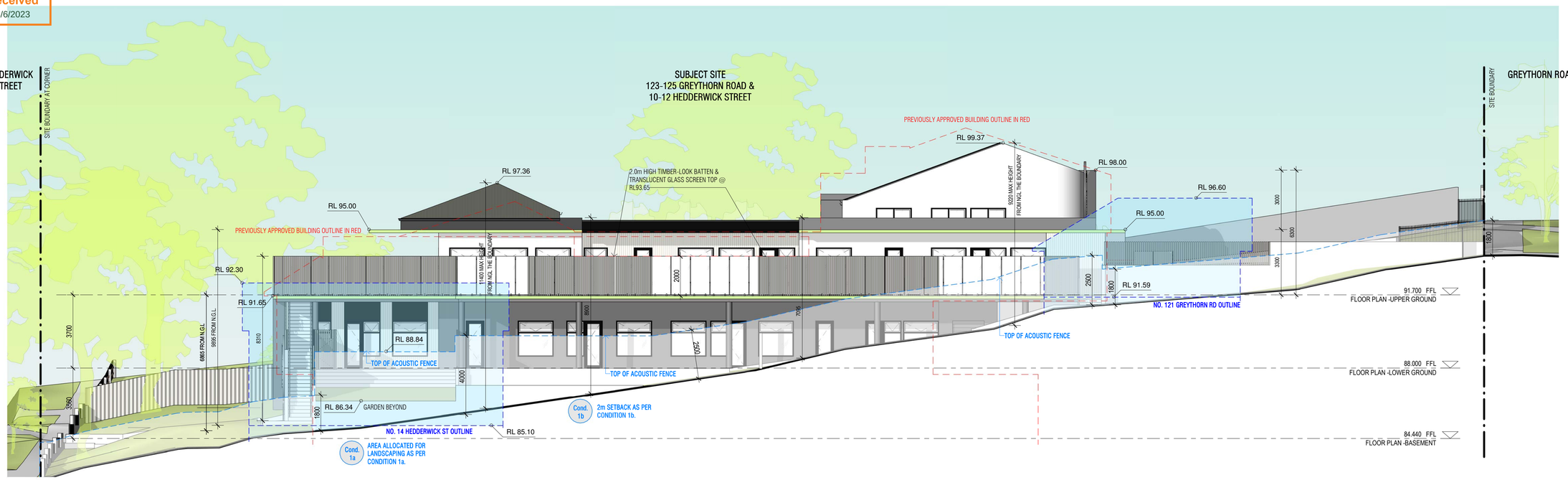
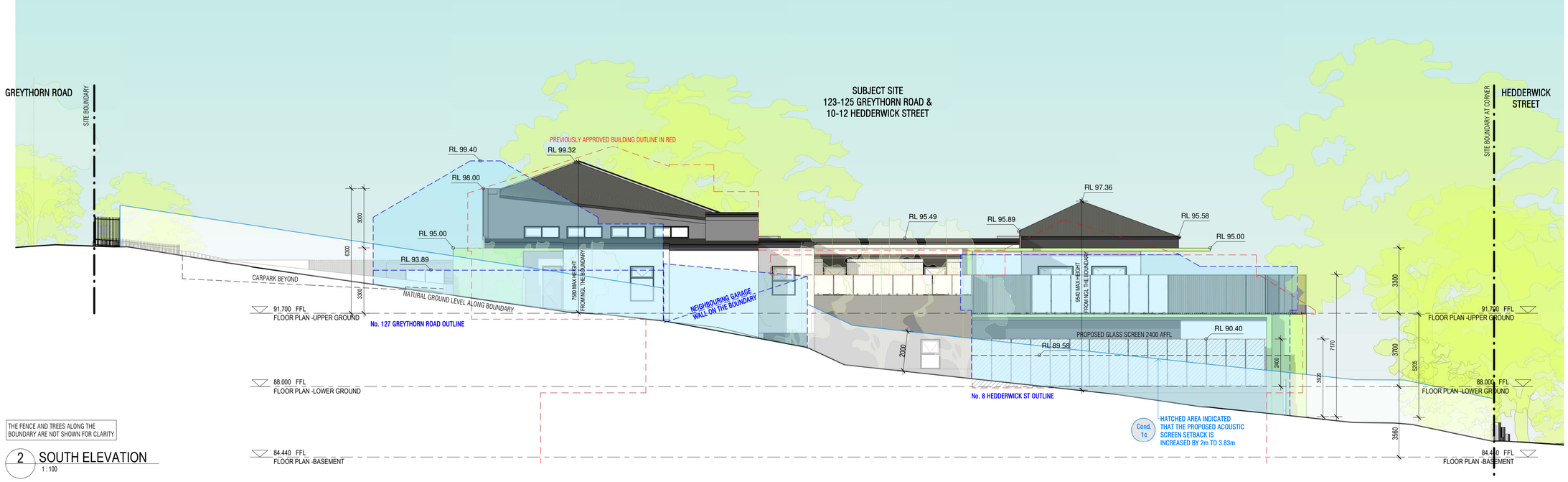
8/6/2023

NOTICE INFORMATION
Date of Notice: 4 July 2023



1 NORTH ELEVATION
1 : 100

THE FENCE AND TREES ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY



THE FENCE AND TREES ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY

2 SOUTH ELEVATION
1 : 100

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1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	NORTH & SOUTH ELEVATIONS		
DRAWN: TH	SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP09
DATE:	MAR 2023	REV:	

5/06/2023 2:44:19 PM

BOROONDARA City of Harmony
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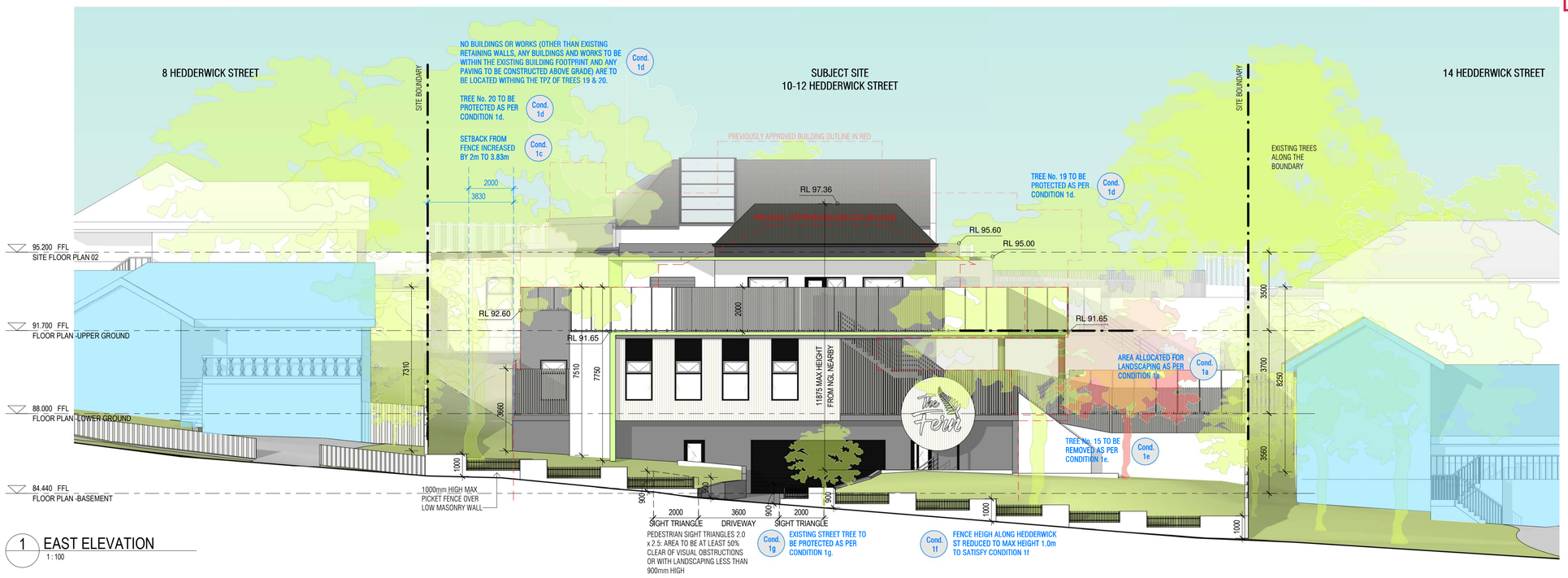
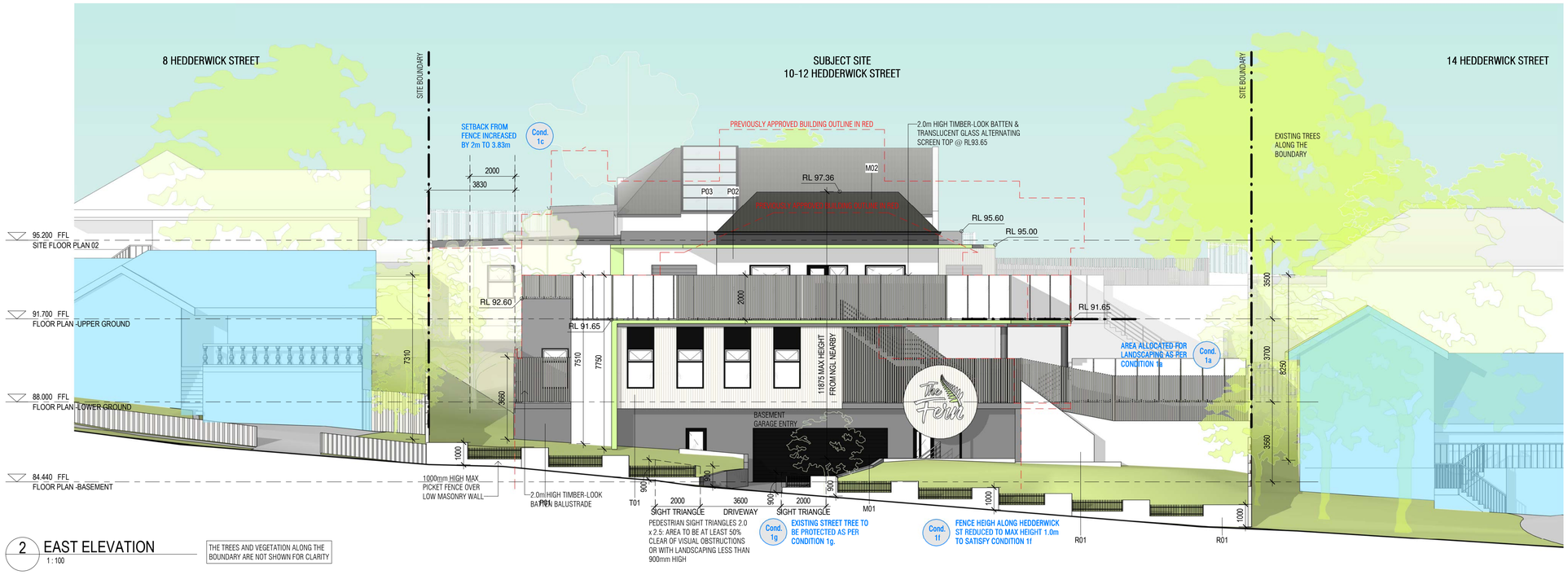
8/6/2023

NOTICE INFORMATION
Date of Notice: 4 July 2023



1 EAST ELEVATION
1 : 100



2 EAST ELEVATION
1 : 100

THE TREES AND VEGETATION ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY

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0 2 4 8m
1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	EAST ELEVATIONS		
DRAWN: TH	SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP10
DATE:	MAR 2023	REV:	

5/06/2023 2:44:38 PM

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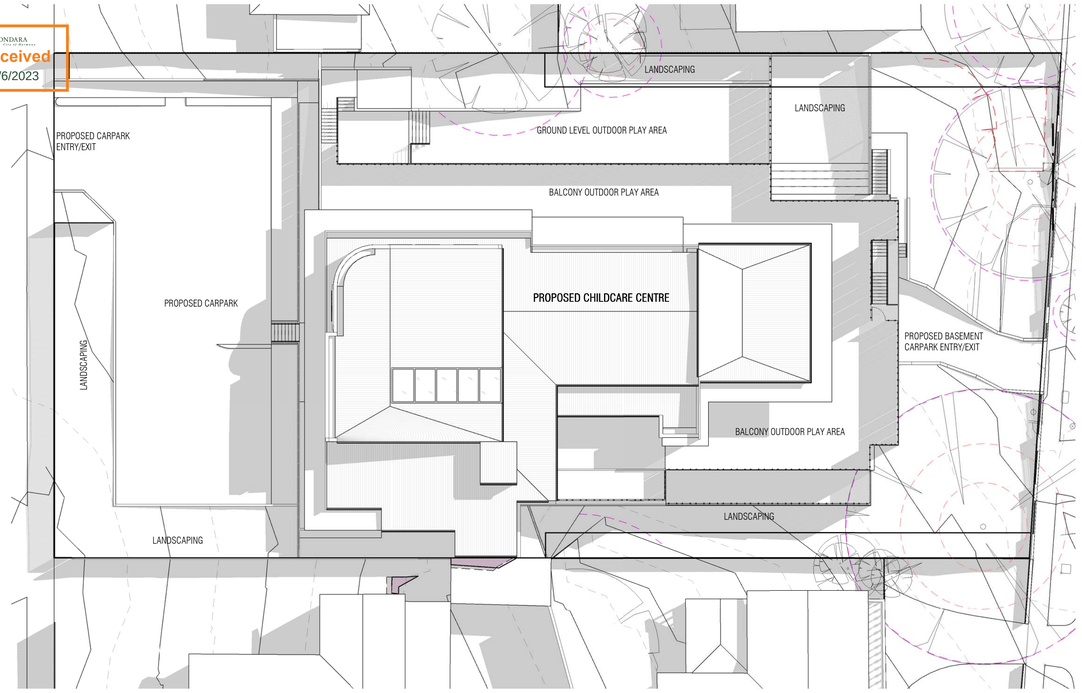
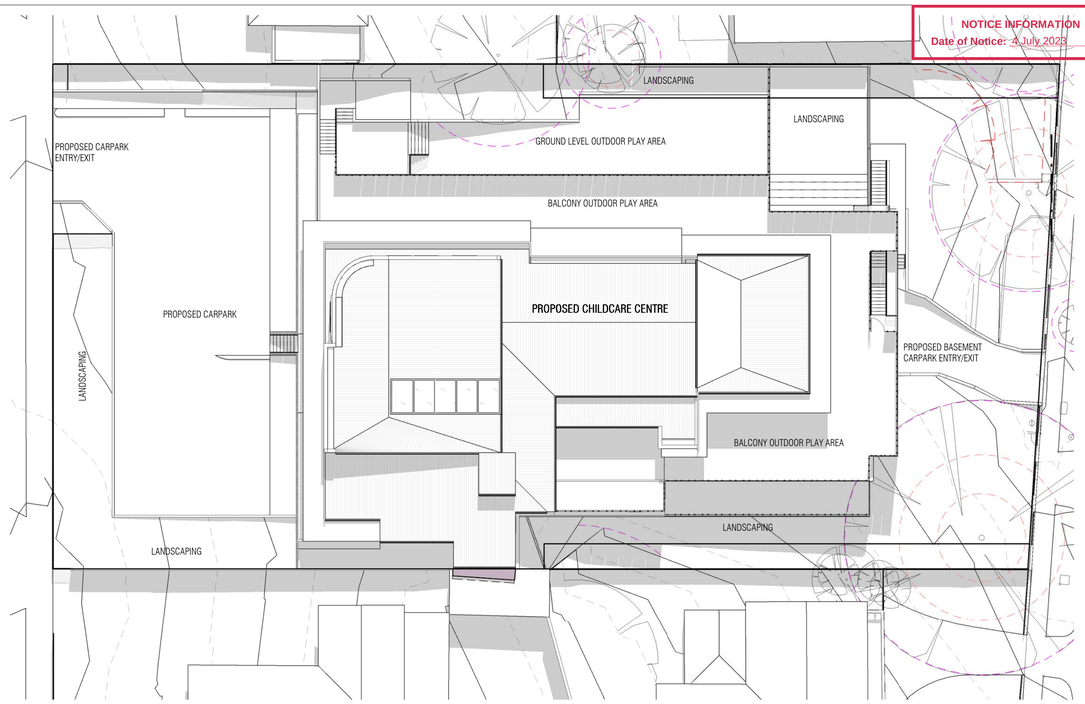
8/6/2023

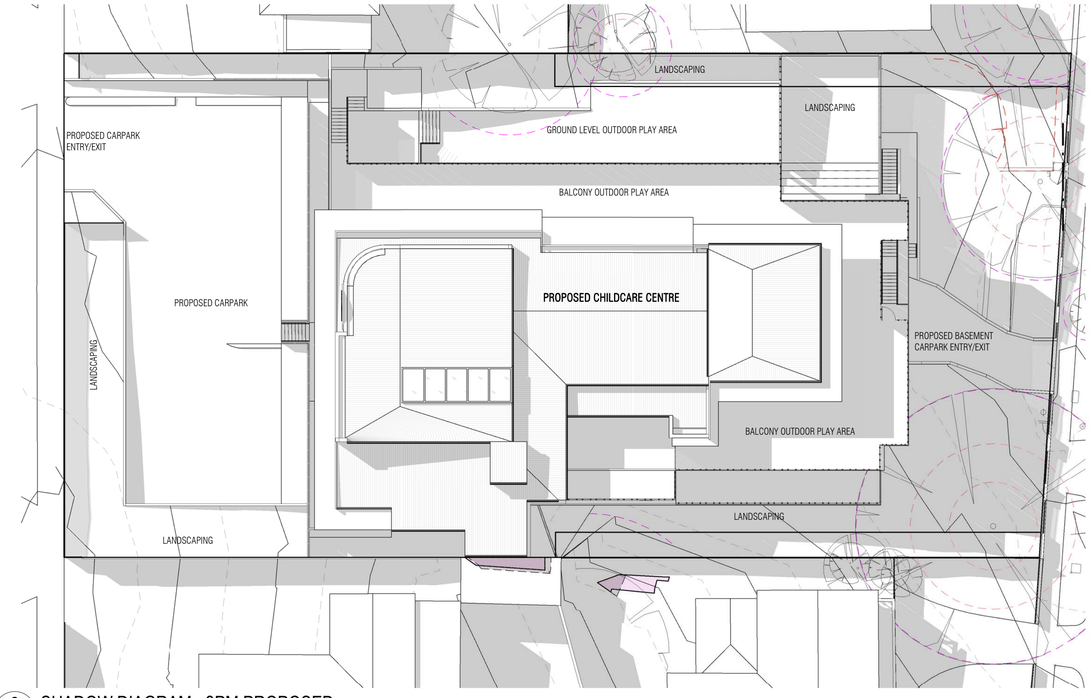
NOTICE INFORMATION
Date of Notice: 4 July 2023



1 TP07 SHADOW DIAGRAM - 9AM PROPOSED
1 : 200



2 TP07 SHADOW DIAGRAM - 12PM PROPOSED
1 : 200



3 TP07 SHADOW DIAGRAM - 3PM PROPOSED
1 : 200

SHADOWS LEGEND

- SHADOWS CAST BY BUILDINGS AND FENCES
- PROPOSED ADDITIONAL SHADOWS ON NEIGHBOURING PROPERTIES BY THIS APPLICATION
- ADDITIONAL SHADOWS ON NEIGHBOURING PROPERTIES CAST BY PREVIOUSLY APPROVED DESIGN

ALL SHADOWING IS CALCULATED FOR SPRING EQUINOX SEPTEMBER 22

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0 5 10 20m
1:250 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	SHADOW DIAGRAMS		
DRAWN:	TH SCALE: As indicated @ A1 PAPER SIZE	DWG NO:	TP11
DATE:	MAR 2023	REV:	

5/06/2023 2:45:04 PM

BOROONDARA CITY OF MELBOURNE
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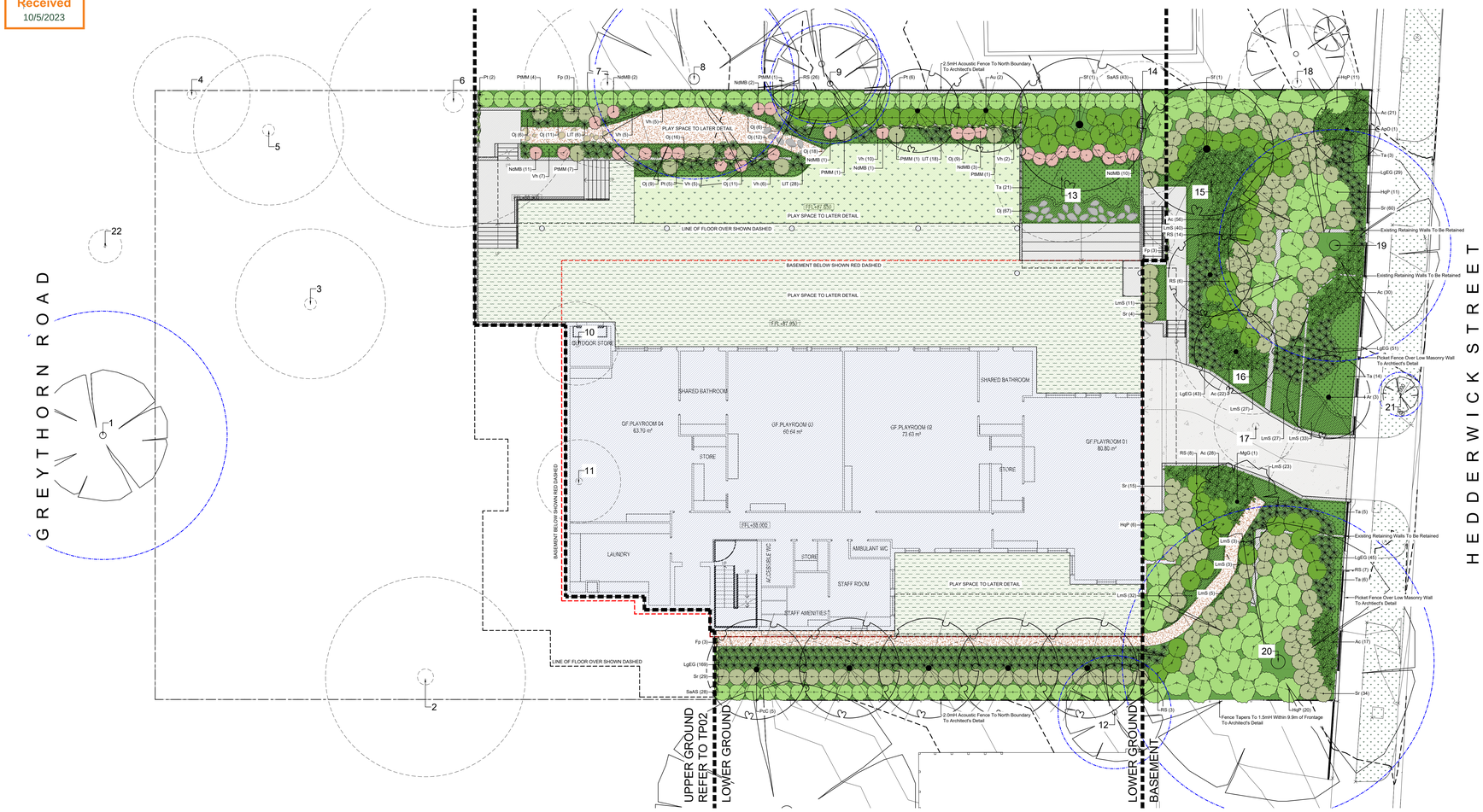
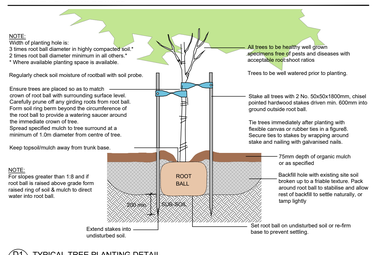
10/5/2023

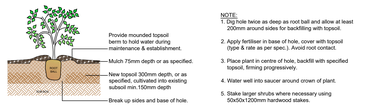
NOTICE INFORMATION
Date of Notice: 4 July 2023



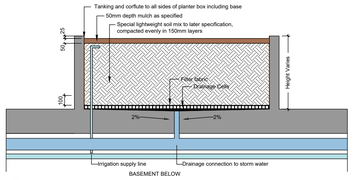
TYPICAL PLANTING DETAILS



D1 TYPICAL TREE PLANTING DETAIL
Scale N.T.S.



D2 TYPICAL SHRUB PLANTING DETAIL
Scale N.T.S.



D3 TYPICAL LIGHTWEIGHT PLANTER BOX DETAIL
Scale 1:20

LEGEND

- Existing Tree to be Retained TPZ Shown Blue Dashed *Refer to Arborist Report Prepared By TreeMap Arboriculture Dated March 2023
- Existing Tree To Be Removed *Refer to Arborist Report Prepared By TreeMap Arboriculture Dated March 2023
- Proposed New Street Tree Installed to the Satisfaction of the Responsible Authority To Council Approval
- Proposed New Trees Refer to Plant Schedule
- Proposed New Trees Refer to Plant Schedule
- Proposed New Shrubs Refer to Plant Schedule
- Proposed New Groundcovers & Grasses Refer to Plant Schedule
- Proposed New Climbers Refer to Plant Schedule
- Proposed New Synthetic Turf Refer to Specification
- Proposed New Lawn Area Refer to Specification
- Reinstated/Repaired Naturestrip Refer to Specification
- Proposed New Paving To Architect's Detail
- Proposed New Coloured Concrete To Architect's Detail
- Proposed New Mulch Surface Refer to Specification
- Proposed New Gravel Surface Refer to Specification
- Existing Retaining Wall To Later Detail

SPECIFICATION NOTES

Soil Preparation
Crushed rock, concrete spillage and any other material restrictive to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-advanced trees. All weeds to be sprayed, grubbed out, stump ground and all rubbish removed from site. All to be removed from site. Existing topsoil on planting areas is to be preserved so that it does not receive additional compaction from site machinery and so that no rubble or building supplies are stored in these areas.

No imported top soil is to be used within the root zones of trees to be protected. Any preparation of existing soil for planting within these areas is to be done by hand only. Holes (e.g. as the result of plant removal) and uneven soil levels may be patched using topsoil as specified below.

Any imported topsoil is to be free of weeds, rubble and other materials damaging to plant growth and is to be of a medium texture (sandy loam) with a pH of 6.0-7.0. Top soil is to be laid over a prepared sub-base which has had any materials damaging to plant growth (e.g. rubble and large rocks) removed, spread to the appropriate depth and cultivated into the existing site soil to a minimum depth of 150mm.

Imported top soil is to be lightly and uniformly compacted in 150mm layers to a minimum depth of 100mm on lawn areas and 300mm on excavated planting beds.

Weed Removal
All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately disposed of off site in a manner which will not allow their re-establishment elsewhere. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety procedures.

Care must be taken to ensure that all trees to be retained are not damaged during weed removal. This also implies that any herbicides used are suitable for use around the vegetation to be retained.

Planting
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root curl or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.
Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be 200mm larger than the root ball in all directions with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of rootball to hold water. All plants are to be thoroughly watered after planting and slow release fertiliser added at the quantities specified by the manufacturer.

Lawn - Turf
'Sapphire' Soft Leaf Buffalo turf (or similar) is to be supplied to lawn areas as shown. Turf is to be supplied by a specialist grower and is not to be allowed to dry out between cutting and laying. Turf should be laid in a stretcher pattern so that joints are staggered and is to be lightly tamped following laying. All lawn areas are to be thoroughly watered following planting and fertilised with an appropriate lawn starter at the quantities recommended by the manufacturer.

Synthetic Lawn
Supply and install 'Tru Lawn Cool Plus', or similar approved, synthetic lawn to areas as shown.
Preparation: Lay 100mm crushed rock base, compact to 15-20mm below finished height of surrounding edging/paving.
Install to manufacturer's directions then top dress synthetic lawn with a fine, dry 'ecolliff' silica sand to a thickness of 15-20mm. Use a broom to sweep in and brush grass blades straight.

Mulch
Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded bark or hardwood with not more than 5% fines content by volume (preferably zero fines). The average size of the woodchip must be approximately 10mm x 20mm x 5mm and the maximum length is not to exceed 30mm. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. Mulch is to be kept back 100mm from the stems of all plants to prevent collar rot.

Granitic Gravel Surface
Granitic gravel is to be installed where shown comprising of a 50mm layer of gravel (Tuscon Toppings or similar) over a base course of 75mm deep gently compacted Fine Crushed Rock. Each layer, including the subgrade is to be appropriately compacted.

Timber Edges
Provide 75 x 25mm treated pine edges to all borders between gravel mulch paths and garden beds using 75x25x300mm long treated pine stakes at 1200mm maximum centres. An additional stake is to be provided at joins in the plinth.

Irrigation
An approved drip irrigation system is to be supplied to all planter boxes & garden beds. An approved pop-up sprey system is to be supplied to all lawn areas. It is the responsibility of the contractor to ensure that all irrigation meets manufacturers specifications. The system is to be connected to mains supply and include a rain-shut off device. All dripline is to be buried with approx. 50mm of topsoil cover and shall be anchored at regular intervals to ensure the tubing cannot be dislodged.

Raised Planter Boxes
Raised planter construction is to include, but not necessarily be limited to, the supply and installation of agricultural drains, drainage cells at base; filter fabric; planting medium; mulch and irrigation. Planter boxes must be effectively tanked and lined with corflute to prevent leaking.

Drainage cells are to be provided at the base of the planter and are to be covered with a layer of filter fabric. A drainage outlet is to be installed in the base of the planter with the floor of the planter sloped towards it.Provide a root anchor if trees are to be planted in a windy location.

Supply and spread evenly a special lightweight planter mix. (to be advised) Compact evenly in 100mm layers. Avoid differential subsidence and excess compaction and produce a finished surface that is graded evenly and ready for planting. Allow for 50mm layer of specified mulch to top of beds and a finished level 25-50mm below the planter rim. Drip irrigation as specified is to be installed beneath the mulch layer.

Repair/Restoration of damaged Nature-strips
Nature strips are to be restored to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 150mm layers. Areas are then to be re-seeded using an appropriate and matching turf type and the area fenced off to allow the re-establishment of lawn. Re-seeded areas are to be well irrigated and the area supplied with a slow release fertiliser at the quantities recommended by the manufacturer.

Any areas of lawn which have failed to germinate (achieve an evenly green 95% covering of a consistent height) are to be re-seeded within one month of original sowing date.

Plant Establishment Period
There shall be a 13 weeks Plant Establishment Period following the approval of Practical Completion by the responsible authority. During this period the landscape contractor shall make good all defects in his/her scope of works. Maintenance and Establishment means the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that become apparent in the work under normal use. This shall include, but shall not be limited to watering, fertilising, weeding, pruning, pest and disease control, cultivation, re-staking and replacement of any plants that fail with plants of the same species and size.

Fencing
North boundary acoustic fence construction

The acoustic fence should be constructed from a panel material with a mass of 10-12 kg/m2 and be free of gaps and cracks. Constructions that meet these requirements include:
1. 150x25mm treated pine palings butt joined together with a 50x20mm cover strip over the joins.
2. Steel post and girt fence clad with colorbond sheeting both sides of support structure
3. Proprietary acoustic wallfence such as VogueWall Modular Wall System (using AcousitMax 75 panel) or 'Ezyshield' treated plywood noise barrier system made by Boral Hanock.

Screening to outdoor plan areas
All screening around outdoor plan areas must be an impervious panel material (not perforated) with a mass of at least 8 kg/m2 (or Rw rating of at least 20) and be free of gaps and cracks. Acceptable materials include 6.38mm laminated glass, 15mm Perspex, or 20mm dangalon. (semi-transparent multicell polycarbonate architectural screening, Rw 20) or 40-50mm Lexan Polycarbonate screening with acoustic rating Rw21. Timber battens maybe added for architectural appearance purposes.

TREE PROTECTION NOTES

Tree Protection measures are to be in accordance with Australian Standard AS 4970 -2009 *Protection of Trees on Development Sites*

1. All trees to be retained are to be identified and fenced off prior to demolition and construction works commencing, or any heavy machinery entering the site. Tree protection fencing is to be established to create an exclusion zone around the tree at the distance from the trunk specified as the Tree Protection Zone (TPZ) or as indicated on the Landscape Plan. Once erected, these areas are to be maintained as 'no go' zones to limit trafficking through the TPZs and avoid inadvertent mechanical damage by construction vehicles and equipment during construction. Fencing is to remain in place until soft landscaping works commence as part of the final stage of site works.
2. If access or temporary relocation of protective fencing is required e.g. to allow for the demolition of existing structures, it must be with the approval and supervision of a Project Arborist. The appointed Project Arborist is to be an appropriately experienced and skilled professional with a minimum qualification of Certificate V (or equivalent) in Arboriculture.
3. Tree Protection fencing is to be constructed of temporary security fencing (or similar) securely fixed to block bases. No holes are to be dug for fence construction unless outside the specified TPZ. Fencing is to be of a minimum height of 1.8m and is to be secure, so as to deter easy entry. At least one weatherproof sign per side is to be attached to each fenced TPZ and is to clearly state "TREE PROTECTION ZONE, ENTRY RESTRICTIONS APPLY, DO NOT REMOVE FENCE, CONTACT THE CONTRACTOR IF ENTRY IS REQUIRED. NO EXCAVATING OR TRENCHING, NO STORAGE OF MATERIALS OR WASTE" and is to have the Contractor's (or appointed site foreman) and Project Arborist's contact details
4. The ground within all TPZs within the site (both fenced and unfenced) and outside of the building footprints is to be maintained with a 50-100mm layer of coarse woodchips. Woodchips are to be well composted and are to be kept a minimum of 300mm back from the tree's trunk. The soil surface is to be thoroughly wet immediately prior to the installation of the mulch layer. Unless during water restrictions, irrigation is to be provided for each of the trees from December to March inclusive. A weed control program is to be implemented for mulched areas .
5. Any root and branch pruning requirements are to be carried out by the appointed Project Arborist and be in accordance with Australian Standard AS 4373-2007 *Pruning of Amenity Trees*. Where a root diameter of 20mm or greater is encountered during site works, these shall be cleanly pruned by hand, and never torn from the ground by machinery.
6. Throughout construction works the Project Arborist is to undertake regular inspections of trees and carry out remedial works as required to ensure trees retain good health and where necessary install additional trunk, branch or ground protection.
7. These general protection requirements apply throughout the development process:
   - No heavy machinery is to enter the fenced areas of the TPZ without the express permission of the Project Arborist (emergency service vehicles excluded).
   - No trenching or removal of soil is to take place. Existing levels must be maintained. Garden beds must be constructed using existing site soil;
   - No fill to a depth greater than 100mm is to be installed;
   - Any vegetation located within Tree Protection Zones is to be removed by hand so that no heavy machinery enters into TPZ;
   - No trenched services are to pass through the TPZ. If services are required they are to be bored beneath the root zone to a depth approved by the Project Arborist, or non-destructively excavated, such as hydro excavation, to retain significant roots in situ;
   - No drainage or subsurface irrigation lines are to be installed;
   - No fuel, oil dumps or chemicals shall be allowed in or stored on the Tree Protection Zone. The servicing and refuelling of equipment and vehicles must be carried out away from the root zone;
   - No storage of materials, equipment or temporary buildings will take place over the root zone;
   - No fixtures of any sort shall be attached to the trees for any reason;
   - The Project Arborist is to be consulted prior to heavy machinery accessing any of the fenced TPZ;
   - All machinery is to be kept clear of the tree canopy to prevent impact damage.
   - If damage of any sort is to occur to any tree on site, the Project Arborist must be contacted to take immediate remedial action.
   - Any changes to the building/landscaping design which alter surface or below ground works within the fenced TPZ are to be subject to the approval of the Project Arborist prior to proceeding.

PLANT SCHEDULE - LOWER GROUND

SYM	BOTANICAL NAME	COMMON NAME	DE NEx*	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
TREES						
ApO	*Acer palmatum 'Osakazuki'*	Japanese Maple 'Osakazuki'	D/Ex	5 x 4m	1.5mH	1
Ar	*Aurantiicarpa rhomboifolia*	Diamond-leaf Pittosporum	E/N	8 x 5m	1.5mH	3
Au	*Arbutus unedo*	Irish Straw berry Tree	E/Ex	8 x 6m	1.5mH	2
MgG	*Magnolia grandiflora 'Greenback'*	Greenback Bull Bay Magnolia	E/Ex	10 x 5m	3.0mH	1
PcC	*Pyrus callaryana 'Chanticleer'*	Chanticleer Callery Pear	D/Ex	11 x 6m	4.0mH	5
Sf	*Syzygium floribundum*	Weeping Lilly-pilly	E/N	10 x 8m	3.0mH	2
					TOTAL	**14**
SHRUBS						
HqP	*Hydrangea quercifolia 'Pinnsnow' ('Snow Queen')*	Oak Leaf Hydrangea	D/Ex	3 x 2m	200mm pot	48
NdMB	*Nandina domestica 'Moon Bay'*	Moon Bay Sacred Bamboo	E/Ex	0.75 x 0.75m	200mm pot	30
PhMM	*Pittosporum tobira 'Miss Muffet'*	Dw arf Japanese Mock Orange	E/Ex	1 x 1m	200mm pot	15
RiS	*Rhaphiolepis indica 'Springtime'*	Springtime Indian Haw thorn	E/Ex	1.5 x 1.5m	200mm pot	64
SaaS	*Syzygium australe 'Aussie Southern'*	Aussie Southern Lilly-pilly	E/N	4 x 1m (Dipped)	50cm/2.0mH	71
Sr	*Sarcococca ruscifolia*	Fragrant Sw eet Box	E/Ex	1.5 x 1.5m	200mm pot	142
					TOTAL	**370**
GROUNDCOVERS & GRASSES						
Ac	*Arthropodium cirratum*	Renga Lily	E/Ex	0.7 x 0.7m	140mm pot	174
LIT	*Lomandra longifolia 'Tanika'*	Tanika Mat-rush	E/N	0.50-0.6 x 0.65m	140mm pot	52
LgEG	*Liriope gigantea 'Evergreen Giant'*	Evergreen Giant Lily-turf	E/Ex	0.6 x 0.6m	140mm pot	337
LmS	*Liriope muscari 'Samantha'*	Samantha Pink Lily-turf	E/Ex	0.4 x 0.4m	140mm pot	204
Oj	*Ophiopogon jaburan*	Giant Mondo Grass	E/Ex	0.4 x 0.4m	140mm pot	165
Ta	*Trachelospermum asiaticum*	Yellow Star Jasmine	E/Ex	0.2 x Spreading	140mm pot	49
Vh	*Viola hederacea*	Native Violet	E/N	0.15 x Spreading	140mm pot	40
					TOTAL	**1021**
CLIMBERS						
Fp	*Ficus pumila*	Climbing Fig	E/Ex	Self-clinging Climber	140mm pot	9
Pt	*Parthenocissus tricuspidata*	Boston Ivy	D/Ex	Self-clinging Climber	140mm pot	13
					TOTAL	**22**

*D/E = Deciduous/Evergreen NE= Native/Exotic

EXISTING TREES SCHEDULE

	BOTANICAL NAME	COMMON NAME	Tree Protection Zone (TPZ) Radius	RETAIN	REMOVE
TREES*					
1	*Melaleuca linariifolia*	Snow in Summer	7.46m	Retain	
2	*Fraxinus excelsior 'Aurea'*	European Golden Ash	N/A	Remove	
3	*Sequoia sempervirens*	Coast Redwood	N/A	Remove	
4	*Pittosporum undulatum*	Sweet Pittosporum	N/A	Already Removed	
5	*Acacia floribunda*	Gossamer Wattle	N/A	Already Removed	
6	*Ulmus glabra 'Lutescens'*	Golden Wych Elm	N/A	Remove	
7	*Grevillea robusta*	Silky Oak	5.4m	Already Removed	
8	*Eucalyptus botryoides*	Southern Mahogany	6m	Retain	
9	*Pittosporum undulatum*	Sweet Pittosporum	3.6m	Retain	
10	*Cercis siliquastrum*	Judas Tree	N/A	Remove	
11	*Liquidambar styraciflua*	Liquidamber	N/A	Remove	
12	*Pittosporum eugenioides 'Variegatum'*	Variegated Tarata	3.4m	Retain	
13	*Tristaniopsis laurina*	Kanooka	N/A	Remove	
14	*Betula pendula*	Silver Birch	N/A	Remove	
15	*Cinnamomum camphora*	Camphor Laurel	N/A	Remove	
16	*Photinia serratifolia*	Chinese Hawthorn	N/A	Remove	
17	*Betula pendula*	Silver Birch	N/A	Remove	
18	*Pittosporum crassifolium 'Variegatum'*	Variegated Karo	3.4m	Already Removed	
19	*Quercus palustris*	Pin Oak	6.96m	Retain	
20	*Quercus palustris*	Pin Oak	9.36m	Retain	
21	*Waterhousea floribunda*	Weeping Lilly Pilly	2m	Retain	
22	*Tristaniopsis laurina*	Kanooka	N/A	Remove	

*Refer to Arborist Report for Further Details

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REVISION DATE BY

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NOT FOR CONSTRUCTION

CLIENT
Hope Early Learning

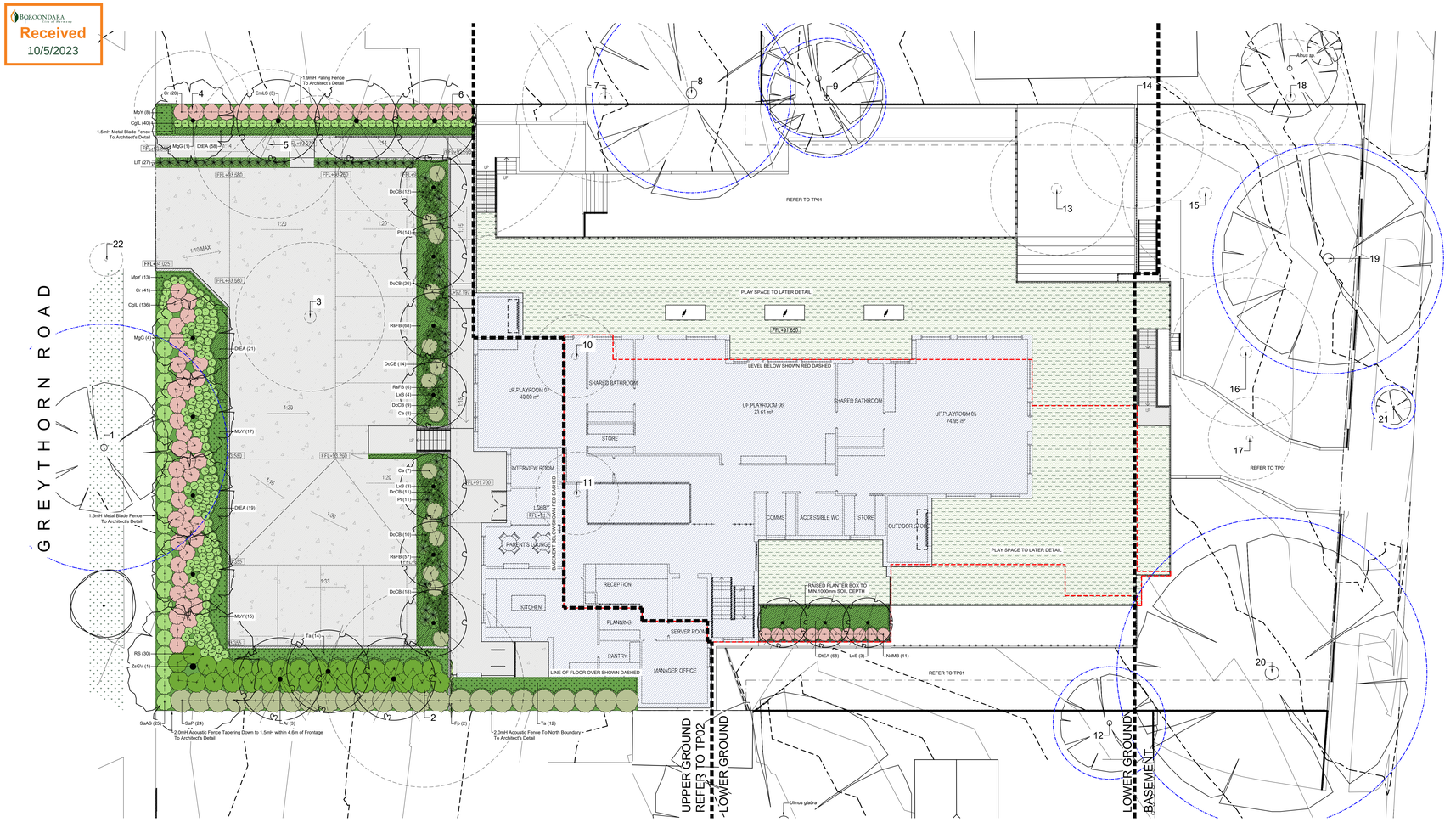
PROJECT
Childcare Centre
123-125 Greythorn Road, Balwyn North

DRAWING
Landscape Plan - Lower Ground
For Town Planning

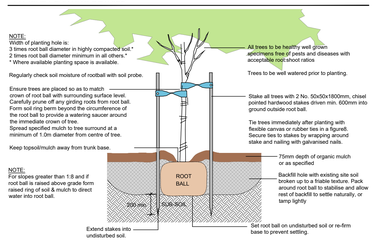
SCALE	1:100 @A0
DATE	APR 2023
DRAWN	MS
CHECKED	KD
JOB NO	23-139
DWG NO	TP01
CAD FILE	23-139-L-TP-00

BOROONDARA CITY OF GARDENS
Received
10/5/2023

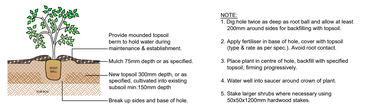
NOTICE INFORMATION
Date of Notice: 4 July 2023



TYPICAL PLANTING DETAILS



D1 TYPICAL TREE PLANTING DETAIL
Scale N.T.S.



D2 TYPICAL SHRUB PLANTING DETAIL
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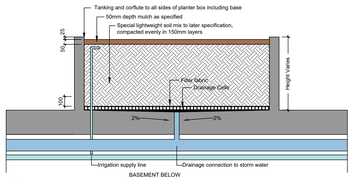
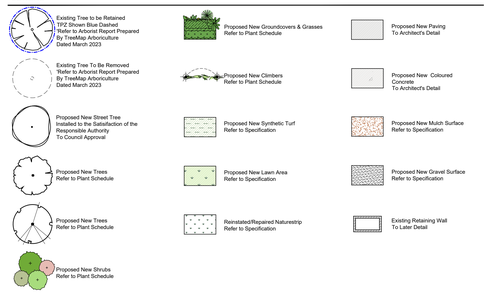


D3 TYPICAL LIGHTWEIGHT PLANTER BOX DETAIL
Scale 1:20

LEGEND



SPECIFICATION NOTES

Soil Preparation
Crushed rock, concrete spillage and any other material restrictive to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-advanced trees. All weeds shall be removed from the stump ground and all rubbish/debris disposed. As to be removed from site. Existing topsoil on planting areas is to be preserved so that it does not receive additional compaction from site machinery and so that no rubble or building supplies are stored in these areas.

No imported top soil is to be used within the root zones of trees to be protected. Any preparation of existing soil for planting within these areas is to be done by hand only. Holes (e.g. as the result of plant removal) and uneven soil levels may be patched using topsoil as specified below.

Any imported topsoil is to be free of weeds, rubble and other materials damaging to plant growth and is to be of a medium texture (sandy loam) with a pH of 6.0-7.0. Top soil is to be laid over a prepared sub-base which has had any materials damaging to plant growth (e.g. rubble and large rocks) removed, spread to the appropriate depth and cultivated into the existing site soil to a minimum depth of 150mm.

Imported top soil is to be lightly and uniformly compacted in 150mm layers to a minimum depth of 100mm on lawn areas and 300mm on excavated planting beds.

Weed Removal
All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately disposed of off site in a manner which will not allow their re-establishment elsewhere. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety procedures.

Care must be taken to ensure that all trees to be retained are not damaged during weed removal. This also implies that any herbicides used are suitable for use around the vegetation to be retained.

Planting
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root curl or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.
Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be 300mm larger than the root ball in all directions with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of root-ball to hold water. All plants are to be thoroughly watered after planting and slow release fertiliser added at the quantities specified by the manufacturer.

Lawn - Turf
'Sapphire' Soft Leaf Buffalo turf (or similar) is to be supplied to lawn areas as shown. Turf is to be supplied by a specialist grower and is not to be allowed to dry out between cutting and laying. Turf should be laid in a stretcher pattern so that joints are staggered and is to be lightly tamped following laying. All lawn areas are to be thoroughly watered following planting and fertilised with an appropriate lawn starter at the quantities recommended by the manufacturer.

Synthetic Lawn
Supply and install 'Tru Lawn Cool Plus', or similar approved, synthetic lawn to areas as shown.
Preparation: Lay 100mm crushed rock base, compact to 15-20mm below finished height of surrounding edging/paving.
Install to manufacturer's directions then top dress synthetic lawn with a fine, dry 'ecofill' silica sand to a thickness of 15-20mm. Use a broom to sweep in and brush grass blades straight.

Mulch
Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded bark or hardwood with not more than 5% fines content by volume (preferably zero fines). The average size of the woodchip must be approximately 10mm x 20mm x 5mm and the maximum length is not to exceed 30mm. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. Mulch is to be kept back 100mm from the stems of all plants to prevent collar rot.

Granitic Gravel Surface
Granitic gravel is to be installed where shown comprising of a 50mm layer of gravel (Tuscon Toppings or similar) over a base course of 75mm deep gently compacted Fine Crushed Rock. Each layer, including the subgrade is to be appropriately compacted.

Timber Edges
Provide 75 x 25mm treated pine edges to all borders between gravel mulch paths and garden beds using 75x25x300mm long treated pine stakes at 1200mm maximum centres. An additional stake is to be provided at joins in the plinth.

Irrigation
An approved drip irrigation system is to be supplied to all planter boxes & garden beds. An approved pop-up sprayer system is to be supplied to all lawn areas. It is the responsibility of the contractor to ensure that all irrigation meets manufacturers specifications. The system is to be connected to mains supply and include a rain-shut off device. All dripline is to be buried with approx. 50mm of topsoil cover and shall be anchored at regular intervals to ensure the tubing cannot be dislodged.

Raised Planter Boxes
Raised planter construction is to include, but not necessarily be limited to, the supply and installation of agricultural drains, drainage cells at base; filter fabric; planting medium; tanking and irrigation. Planter boxes must be effectively tanked and lined with corflute to prevent leaking.

Drainage cells are to be provided at the base of the planter and are to be covered with a layer of filter fabric. A drainage outlet is to be installed in the base of the planter with the floor of the planter sloped towards it.Provide a root anchor if trees are to be planted in a windy location.

Supply and spread evenly a special lightweight planter mix. (to be advised) Compact evenly in 100mm layers. Avoid differential subsidence and excess compaction and produce a finished surface that is graded evenly and ready for planting. Allow for 50mm layer of specified mulch to top of beds and a finished level 25-50mm below the planter rim. Drip irrigation as specified is to be installed beneath the mulch layer.

Repair/Restoration of damaged Nature-strips
Nature strips are to be restored to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 150mm layers. Areas are then to be re-seeded using an appropriate and matching turf type and the area fenced off to allow the re-establishment of lawn. Re-seeded areas are to be well irrigated and the area supplied with a slow release fertiliser at the quantities recommended by the manufacturer.

Any areas of lawn which have failed to germinate (achieve an evenly green 95% covering of a consistent height) are to be re-seeded within one month of original sowing date.

Plant Establishment Period
There shall be a 13 weeks Plant Establishment Period following the approval of Practical Completion by the responsible authority. During this period the landscape contractor shall make good all defects in his/her scope of works. Maintenance and Establishment means the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that become apparent in the work under normal use. This shall include, but shall not be limited to watering, fertilising, weeding, pruning, pest and disease control, cultivation, re-staking and replacement of any plants that fail with plants of the same species and size.

Fencing
North boundary acoustic fence construction

The acoustic fence should be constructed from a panel material with a mass of 10-12 kg/m2 and be free of gaps and cracks. Constructions that meet these requirements include:
1. 150x25mm treated pine palings butt joined together with a 50x20mm cover strip over the joins.
2. Steel post and girt fence clad with colorbond sheeting both sides of support structure
3. Proprietary acoustic wallfence such as VogueWall Modular Wall System (using AcousitMax 75 panel) or 'Ezyshield' treated plywood noise barrier system made by Boral Hancok.

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2. If access or temporary relocation of protective fencing is required e.g. to allow for the demolition of existing structures, it must be with the approval and supervision of a Project Arborist. The appointed Project Arborist is to be an appropriately experienced and skilled professional with a minimum qualification of Certificate V (or equivalent) in Arboriculture.
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4. The ground within all TPZs within the site (both fenced and unfenced) and outside of the building footprints is to be maintained with a 50-100mm layer of coarse woodchips. Woodchips are to be well composted and are to be kept a minimum of 300mm back from the tree's trunk. The soil surface is to be thoroughly wet immediately prior to the installation of the mulch layer. Unless during water restrictions, irrigation is to be provided for each of the trees from December to March inclusive. A weed control program is to be implemented for mulched areas .
5. Any root and branch pruning requirements are to be carried out by the appointed Project Arborist and be in accordance with Australian Standard AS 4373-2007 *Pruning of Amenity Trees*. Where a root diameter of 20mm or greater is encountered during site works, these shall be cleanly pruned by hand, and never torn from the ground by machinery.
6. Throughout construction works the Project Arborist is to undertake regular inspections of trees and carry out remedial works as required to ensure trees retain good health and where necessary install additional trunk, branch or ground protection.
7. These general protection requirements apply throughout the development process:
   - No heavy machinery is to enter the fenced areas of the TPZ without the express permission of the Project Arborist (emergency service vehicles excluded);
   - No trenching or removal of soil is to take place. Existing levels must be maintained. Garden beds must be constructed using existing site soil;
   - No fill to a depth greater than 100mm is to be installed;
   - Any vegetation located within Tree Protection Zones is to be removed by hand so that no heavy machinery enters into TPZ;
   - No trenched services are to pass through the TPZ. If services are required they are to be bored beneath the root zone to a depth approved by the Project Arborist, or non-destructively excavated, such as hydro excavation, to retain significant roots in situ;
   - No drainage or subsurface irrigation lines are to be installed;
   - No fuel, oil dumps or chemicals shall be allowed in or stored on the Tree Protection Zone. The servicing and refuelling of equipment and vehicles must be carried out away from the root zone;
   - No storage of materials, equipment or temporary buildings will take place over the root zone;
   - No fixtures of any sort shall be attached to the trees for any reason;
   - The Project Arborist is to be consulted prior to heavy machinery accessing any of the fenced TPZ;
   - All machinery is to be kept clear of the tree canopy to prevent impact damage.
   - If damage of any sort is to occur to any tree on site, the Project Arborist must be contacted to take immediate remedial action.
   - Any changes to the building/landscaping design which alter surface or below ground works within the fenced TPZ are to be subject to the approval of the Project Arborist prior to proceeding.

PLANT SCHEDULE - UPPER GROUND

SYM	BOTANICAL NAME	COMMON NAME	DE NEx*	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
TREES						
Ar	*Auranticarpa rhombifolia*	Diamond-leaf Pittosporum	E/N	8 x 5m	1.5mH	3
EmLS	*Eucalyptus mannifera* 'Little Spotty'	Dwarf Red Spotted Gum	E/N	7 x 5m	2.0mH	3
LxB	*Lagerstroemia indica x L. fauriei* 'Biloxi'	Biloxi Crepe Myrtle	D/Ex	5 x 4m	2.0mH	7
LxS	*Lagerstroemia indica x L. fauriei* 'Sioux'	Sioux Crepe Myrtle	D/Ex	4 x 3m	2.0mH	3
MgG	*Magnolia grandiflora* 'Greenback'	Greenback Bull Bay Magnolia	E/Ex	10 x 5m	3.0mH	5
ZeOV	*Zelkova serrata* 'Green Vase'	Japanese Elm	D/Ex	14 x 10m	2.0mH	1
					TOTAL	**22**
SHRUBS						
Ca	*Correa alba*	White Correa	E/N	1 x 1m (Clipped)	200mm pot	15
CgL	*Correa glabra* 'Ivory Lantern'	Compact Rock Correa	E/N	0.5 x 0.5m (Clipped)	200mm pot	176
Cr	*Correa reflexa*	Common Correa	E/N	1 x 1 m (Clipped)	200mm pot	61
RS	*Rhaphiolepis indica* 'Springtime'	Springtime Indian Hawthorn	E/Ex	1.5 x 1.5m	200mm pot	30
SaAS	*Syzygium australe* 'Aussie Southern'	Aussie Southern Lilly-pilly	E/N	4 x 1m (Clipped)	200mm pot	25
SaP	*Syzygium australe* 'Pinnacle'	Pinnacle Lilly-pilly	E/N	6 x 1m	50cm/2.0mH	24
					TOTAL	**331**
GROUNDCOVERS & GRASSES						
DcCB	*Dianella caerulea* 'Cassa Blue'	Cassa Blue Flax Lily	E/N	0.5 x 0.4m	140mm pot	100
DEA	*Dianella tasmanica* 'Emerald Arch'	Emerald Arch Flax Lily	E/N	0.45 x 0.45m	140mm pot	166
LIT	*Lomandra longifolia* 'Tanika'	Tanika Mat-rush	E/N	0.55-0.6 x 0.65m	140mm pot	27
MpY	*Myoporum parvifolium* 'Yareena'	Creeping Boobialla Yareena	E/N	0.1 x 1m	140mm pot	15
Pi	*Poa labillardieri*	Tussock Grass	E/N	0.8 x 0.8m	140mm pot	25
RsFB	*Rhagodia spinescens* 'Flat Bush'	Flat Bush Creeping Saltbush	E/N	0.3-0.5 x 1m	140mm pot	131
Ta	*Trachelospermum asiaticum*	Yellow Star Jasmine	E/Ex	0.2 x Spreading	140mm pot	26
					TOTAL	**490**
CLIMBERS						
Fp	*Ficus pumila*	Climbing Fig	E/Ex	Self-clinging Climber	140mm pot	2
					TOTAL	**2**

*DE = Deciduous/Evergreen NEx = Native/Exotic

EXISTING TREES SCHEDULE

	BOTANICAL NAME	COMMON NAME	Tree Protection Zone (TPZ) Radius	RETAIN	REMOVE
TREES*					
1	*Melaleuca linariifolia*	Snow in Summer	7.46m	Retain	
2	*Fraxinus excelsior* 'Aurea'	European Golden Ash	N/A	Remove	
3	*Sequoia sempervirens*	Coast Redwood	N/A	Remove	
4	*Pittosporum undulatum*	Sweet Pittosporum	N/A	Already Removed	
5	*Acacia floribunda*	Gossamer Wattle	N/A	Already Removed	
6	*Ulmus glabra* 'Lutescens'	Golden Wych Elm	N/A	Remove	
7	*Grevillea robusta*	Silky Oak	5.4m	Already Removed	
8	*Eucalyptus botryoides*	Southern Mahogany	6m	Retain	
9	*Pittosporum undulatum*	Sweet Pittosporum	3.6m	Retain	
10	*Cercis siliquastrum*	Judas Tree	N/A	Remove	
11	*Liquidambar styraciflua*	Liquidamber	N/A	Remove	
12	*Pittosporum eugenioides* 'Variegatum'	Variegated Tarata	3.4m	Retain	
13	*Tristaniopsis laurina*	Kanooka	N/A	Remove	
14	*Betula pendula*	Silver Birch	N/A	Remove	
15	*Cinnamomum camphora*	Camphor Laurel	N/A	Remove	
16	*Photinia serratifolia*	Chinese Hawthorn	N/A	Remove	
17	*Betula pendula*	Silver Birch	N/A	Remove	
18	*Pittosporum crassifolium* 'Variegatum'	Variegated Karo	3.4m	Already Removed	
19	*Quercus palustris*	Pin Oak	6.96m	Retain	
20	*Quercus palustris*	Pin Oak	9.36m	Retain	
21	*Waterhousea floribunda*	Weeping Lilly Pilly	2m	Retain	
22	*Tristaniopsis laurina*	Kanooka	N/A	Remove	

*Refer to Arborist Report for Further Details

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REVISION	DATE	BY

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CLIENT
Hope Early Learning

PROJECT
Childcare Centre
123-125 Greythorn Road, Balwyn North

DRAWING
Landscape Plan - Upper Ground
For Town Planning

SCALE	1:100 @A0
DATE	APR 2023
DRAWN	MS
CHECKED	KD
JOB NO	23-139
DWG NO	TP02
CAD FILE	23-139-L-TP-02

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NOTICE INFORMATION
Date of Notice: 13/10/2023

123-125 GREYTHORN ROAD, BALWYN NORTH

PROPOSED CHILDCARE CENTRE

DEVELOPMENT SUMMARY

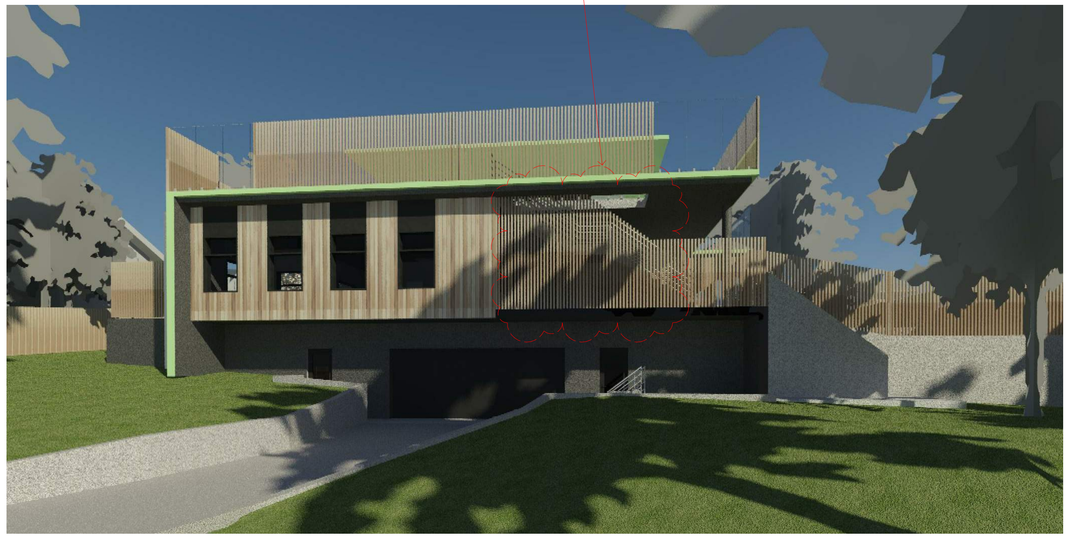
SITE AREA	2626m²
PROPOSED BUILDING AREA	1004m²
SITE COVERAGE	38% (1004m²)
CAR PARKING PROVIDED	32 (22 BASEMENT + 10 GREYTHORN ROAD ENTRY)
CAR PARKING REQUIRED	29 (132 CHILDREN @ 0.22 SPACES PER CHILD)
PERMEABILITY	41% (1075m²)
PLAYROOMS	7
TOTAL NUMBER OF CHILDREN	132

CHILDREN/ROOM RATIO	PROPOSED LOWER GROUND	PROPOSED UPPER GROUND	OUTDOOR PLAYAREAS	TOTAL OUTDOOR PLAYAREAS
PLAYROOM 01 PLAYROOM 02 PLAYROOM 03 PLAYROOM 04	22 CHILDREN 22 CHILDREN 16 CHILDREN 16 CHILDREN **= 76 CHILDREN**		520m² / 7 = 74 CHILDREN 65m² / 7 = 9 CHILDREN	**TOTAL OF 585m² > 532m² REQ.**
PLAYROOM 05 PLAYROOM 06 PLAYROOM 07		22 CHILDREN 22 CHILDREN 12 CHILDREN **= 56 CHILDREN**	420m² / 7 = 60 CHILDREN	**TOTAL OF 420m² > 392m² REQ.**
TOTAL INDOOR CAPACITY	**= 132 CHILDREN**		**TOTAL OUTDOOR AREA EXCEEDS MIN REQUIRED**	

SHEET LIST

TP01	COVER SHEET
TP02	NEIGHBOURHOOD CHARACTER PLAN
TP03	DESIGN RESPONSE PLAN
TP04	BASEMENT FLOOR PLAN
TP05	LOWER GROUND FLOOR PLAN
TP06	UPPER GROUND FLOOR PLAN
TP07	WEST ELEVATIONS
TP08	NORTH & SOUTH ELEVATIONS
TP09	NORTH & SOUTH ELEVATIONS
TP10	EAST ELEVATIONS
TP11	SHADOW DIAGRAMS

REAR WALL SIGNAGE REMOVED



3 Hedderwick St View
1 : 1

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PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE: COVER SHEET			
DRAWN: TH	SCALE: As indicated @ A1 PAPER SIZE	DWG NO:	TP01
DATE: MAR 2023		REV:	1

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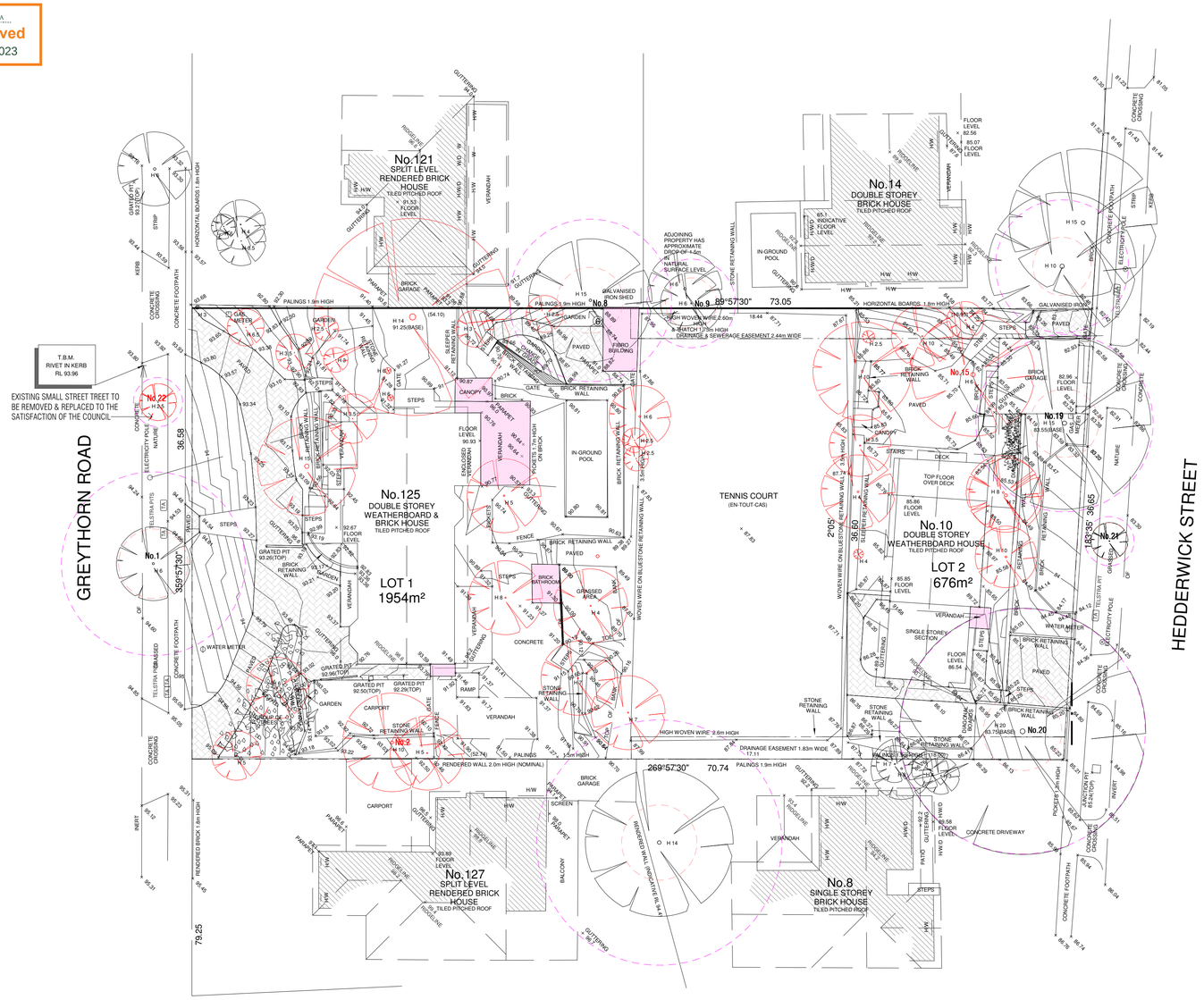
NOTICE INFORMATION
Date of Notice: 13/10/2023



1 TP07 EXISTING SITE PLAN
1 : 200

SYMBOL	DESCRIPTION
H.5	T.B.M.
	TREE (TRUNK & SPREAD) DENOTES TREE APPROXIMATELY 5 METRES HIGH
	STAYWIRE
	ELECTRICITY POLE
TA OR	TELSTRA PIT
	GAS METER
	WATER METER
GROUND FLOOR / FIRST FLOOR	HABITABLE WINDOW
GROUND FLOOR / FIRST FLOOR	WINDOW
	ORANGE DASHED LINE WORK REPRESENTS DATA DERIVED FROM AERIAL PHOTOGRAPHY AND IS APPROXIMATE ONLY
	APPROXIMATE LOCATION OF RIDGELINES/GUTTERS (LIP)
	APPROXIMATE LOCATION OF OVERHEAD SERVICE WIRES

DEMOLITION NOTES

SCOPE OF WORKS
- DEMOLISH ALL EXISTING BUILDINGS, SHEDS
- REMOVE ALL EXISTING DRIVEWAYS AND GARDENS
- REMOVE ALL EXISTING TREES ON SITE THAT AREA MARKED TO BE REMOVED

EXISTING GARDEN AREA

GARDEN	1880.72 m²	72%
NOT GARDEN	745.32 m²	28%
	2626.04 m²	

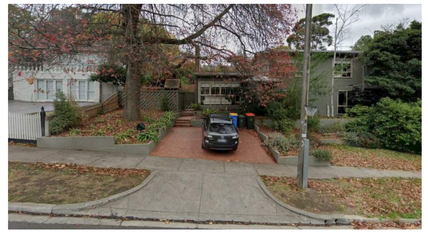
EXISTING SITE COVERAGE

COVERED	534.08 m²	20%
UNCOVERED	2091.96 m²	80%
	2626.04 m²	

EXISTING SITE PERMEABILITY

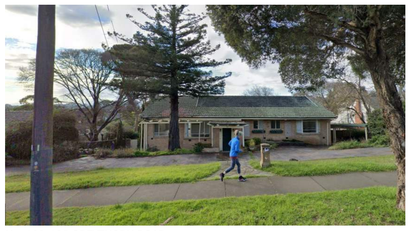
IMPERVIOUS	1206.20 m²	46%
PERMEABLE	1419.84 m²	54%
	2626.04 m²	

No. 8 HEDDERWICK STREET


No. 10-12 HEDDERWICK STREET

No. 10-12 HEDDERWICK STREET

No. 121 GREYTHORN ROAD


No. 123-125 GREYTHORN ROAD

No. 123-125 GREYTHORN ROAD

No. 127 GREYTHORN ROAD

No. 14 HEDDERWICK STREET

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0 4 8 16m
1:200 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	NEIGHBOURHOOD CHARACTER PLAN		
DRAWN:	TH SCALE: As indicated @ A1 PAPER SIZE	DWG NO:	TP02
DATE:	MAR 2023	REV:	

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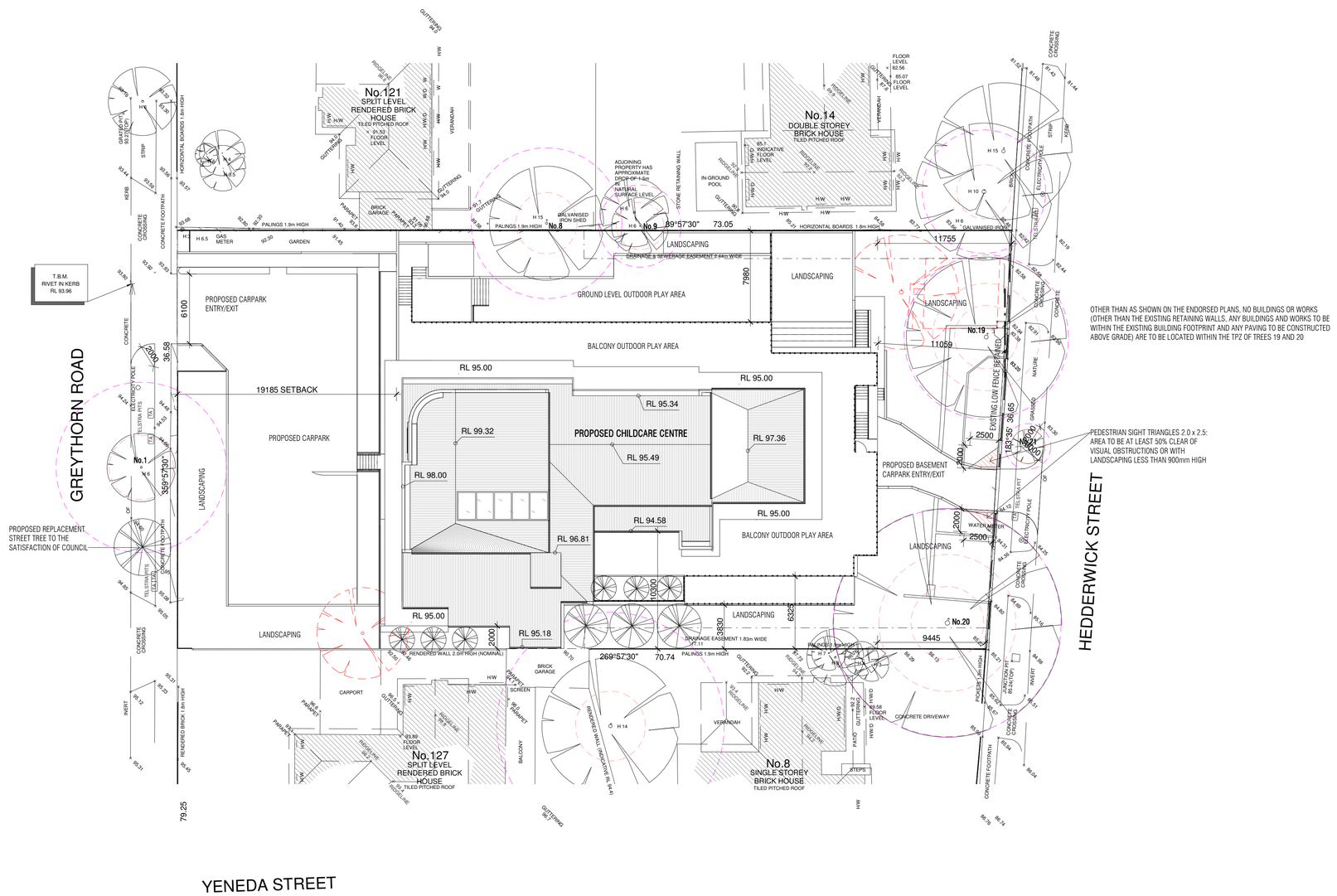
Date of Notice: 13/10/2023



OTHER THAN AS SHOWN ON THE ENDORSED PLANS, NO BUILDINGS OR WORKS (OTHER THAN THE EXISTING RETAINING WALLS, ANY BUILDINGS AND WORKS TO BE WITHIN THE EXISTING BUILDING FOOTPRINT AND ANY PAVING TO BE CONSTRUCTED ABOVE GRADE) ARE TO BE LOCATED WITHIN THE TPZ OF TREES 19 AND 20

PEDESTRIAN SIGHT TRIANGLES 2.0 x 2.5: AREA TO BE AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS OR WITH LANDSCAPING LESS THAN 900mm HIGH

DEVELOPMENT SUMMARY

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PLAYROOM 05 PLAYROOM 06 PLAYROOM 07		22 CHILDREN 22 CHILDREN 12 CHILDREN = 56 CHILDREN	420m² / 7 = 60 CHILDREN	TOTAL OF 420m² > 392m² REQ.
TOTAL INDOOR CAPACITY	= 132 CHILDREN		TOTAL OUTDOOR AREA EXCEEDS MIN REQUIRED	

2 TP07 PROPOSED SITE PLAN
1 : 200

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0 2 4 8m
1:100 @ A1

PROJECT: PROPOSED CHILD CARE CENTRE JOB NO.: 5173
ADDRESS: 123-125 GREYTHORN RD, BALWYN NORTH
CLIENT: SSA PROPERTIES BN PTY LTD
SHEET TITLE: DESIGN RESPONSE PLAN
DRAWN: TH SCALE: As indicated @ A1 PAPER SIZE DWG NO: TP03
DATE: MAR 2023 REV:
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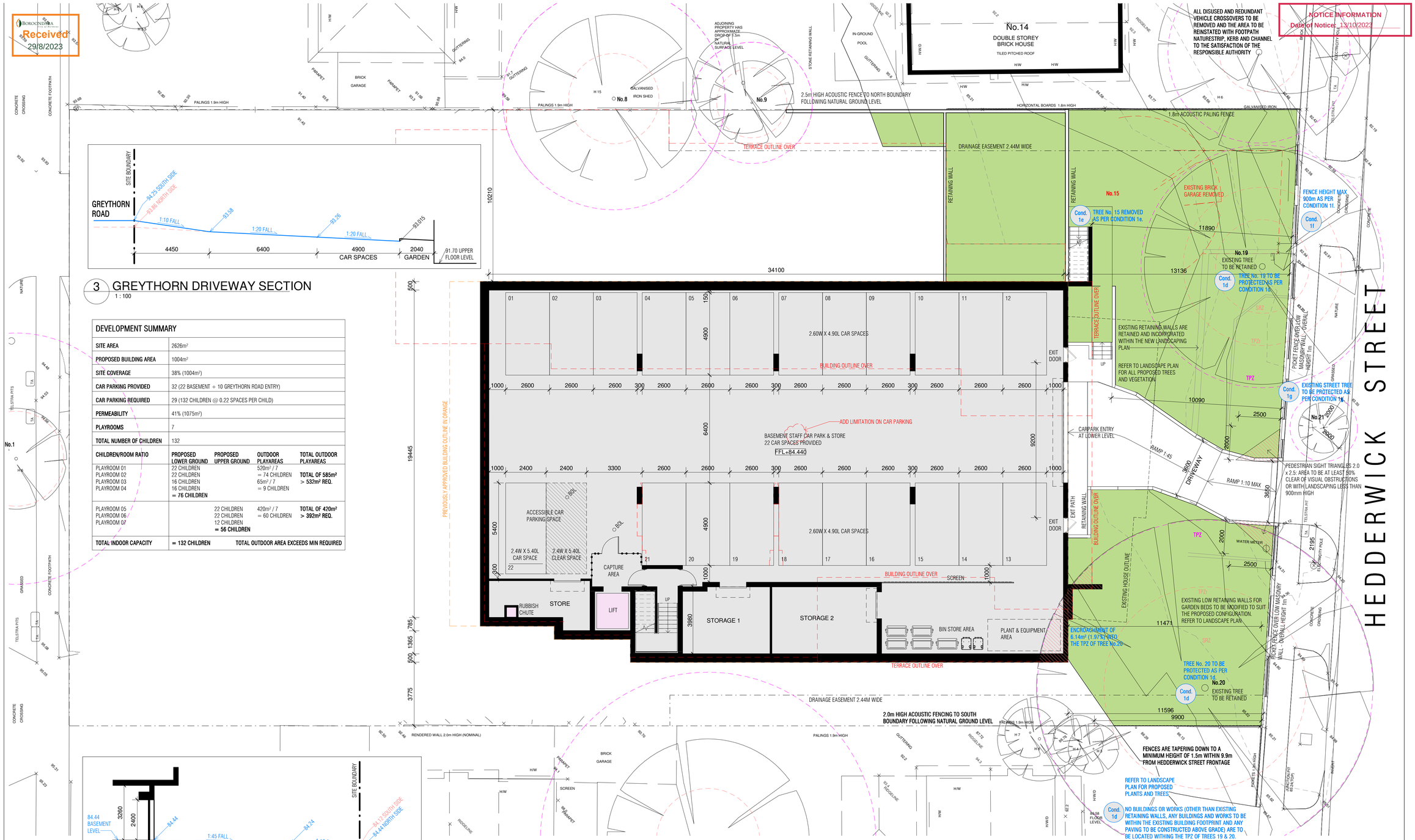
NOTICE INFORMATION
Date of Notice: 13/10/2023



3 GREYTHORN DRIVEWAY SECTION
1 : 100

DEVELOPMENT SUMMARY				
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PLAYROOM 05 PLAYROOM 06 PLAYROOM 07		22 CHILDREN 22 CHILDREN 12 CHILDREN = 56 CHILDREN	420m² / 7 = 60 CHILDREN	TOTAL OF 420m² > 392m² REQ.
TOTAL INDOOR CAPACITY	= 132 CHILDREN		TOTAL OUTDOOR AREA EXCEEDS MIN REQUIRED	

2 HEDDERWICK DRIVEWAY SECTION
1 : 100

1 FLOOR PLAN -BASEMENT
TP08 1 : 100

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0 2 4 8m
1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	BASEMENT FLOOR PLAN		
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DATE:	MAR 2023	REV:	1

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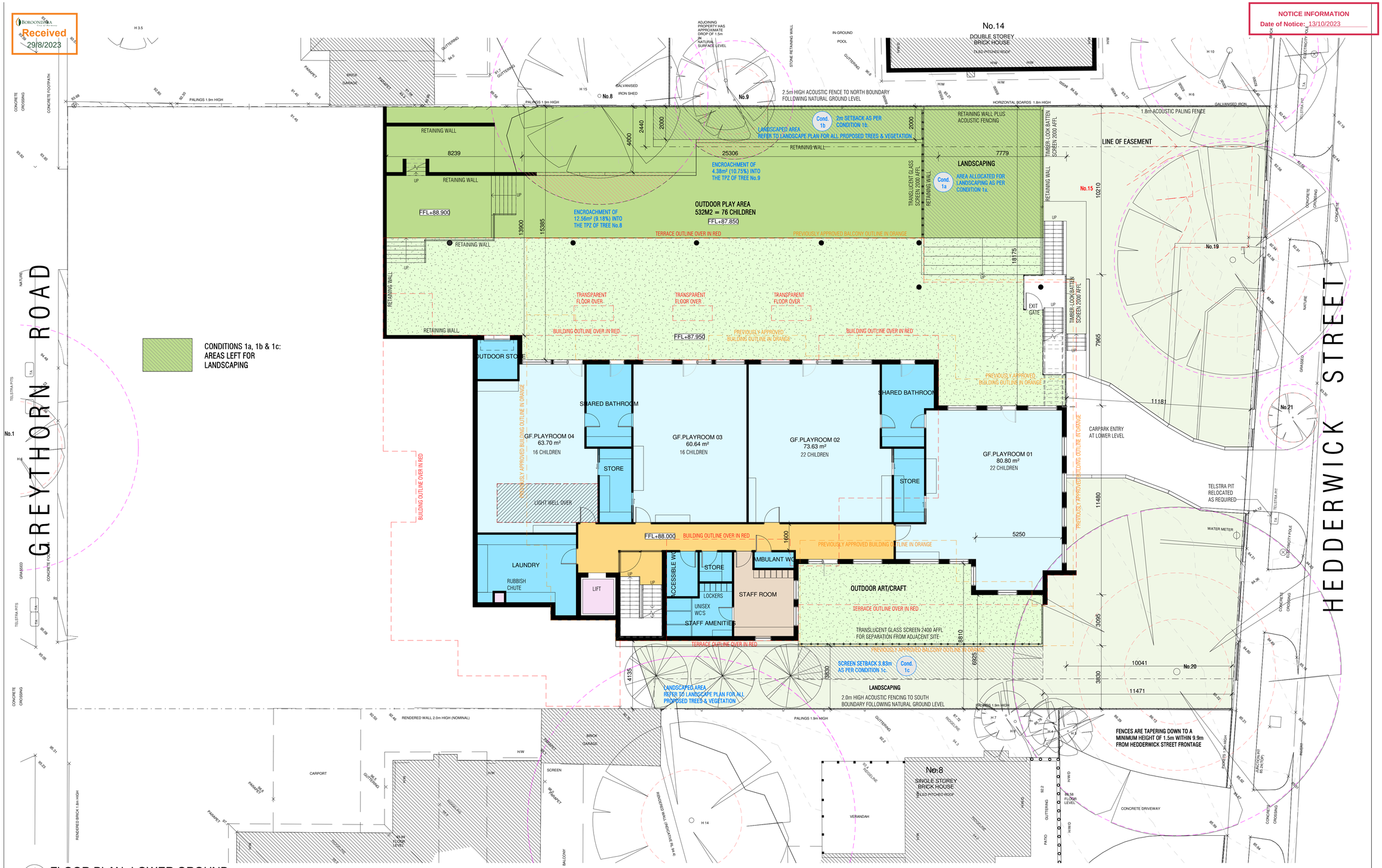

1 TP07 FLOOR PLAN -LOWER GROUND
1 : 100

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PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	LOWER GROUND FLOOR PLAN		
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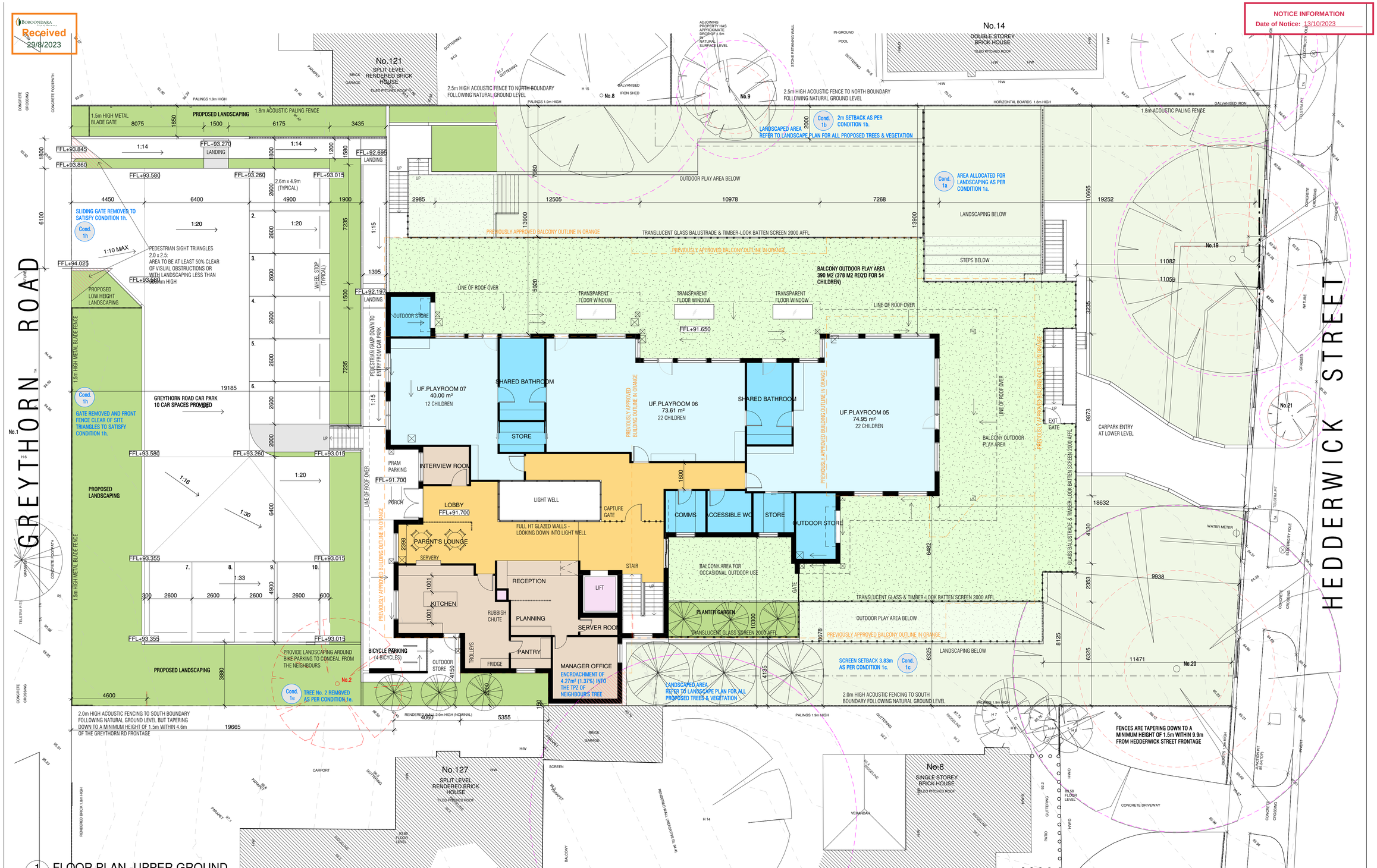

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1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	UPPER GROUND FLOOR PLAN		
DRAWN: TH	SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP06
DATE:	MAR 2023	REV:	

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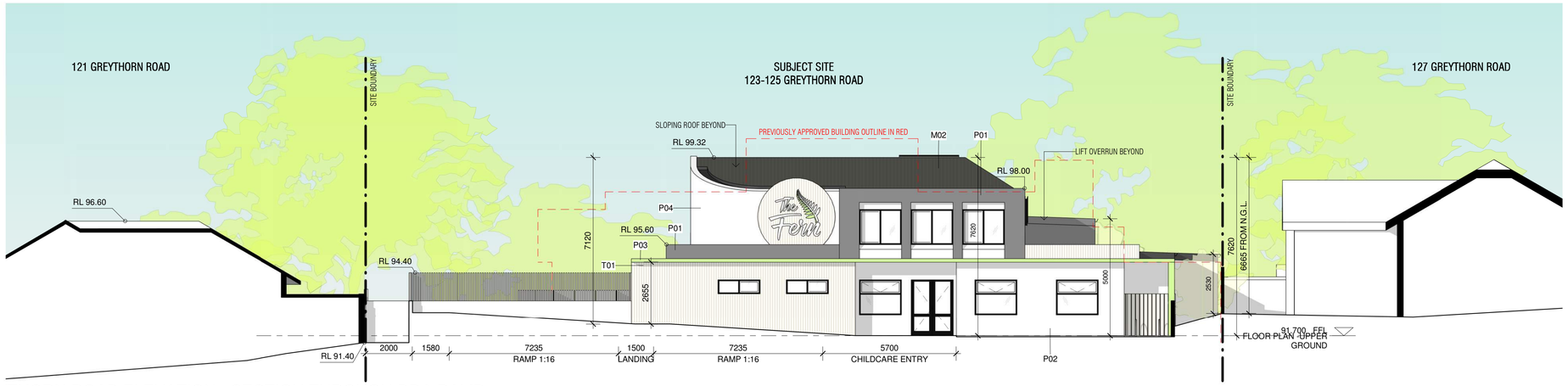
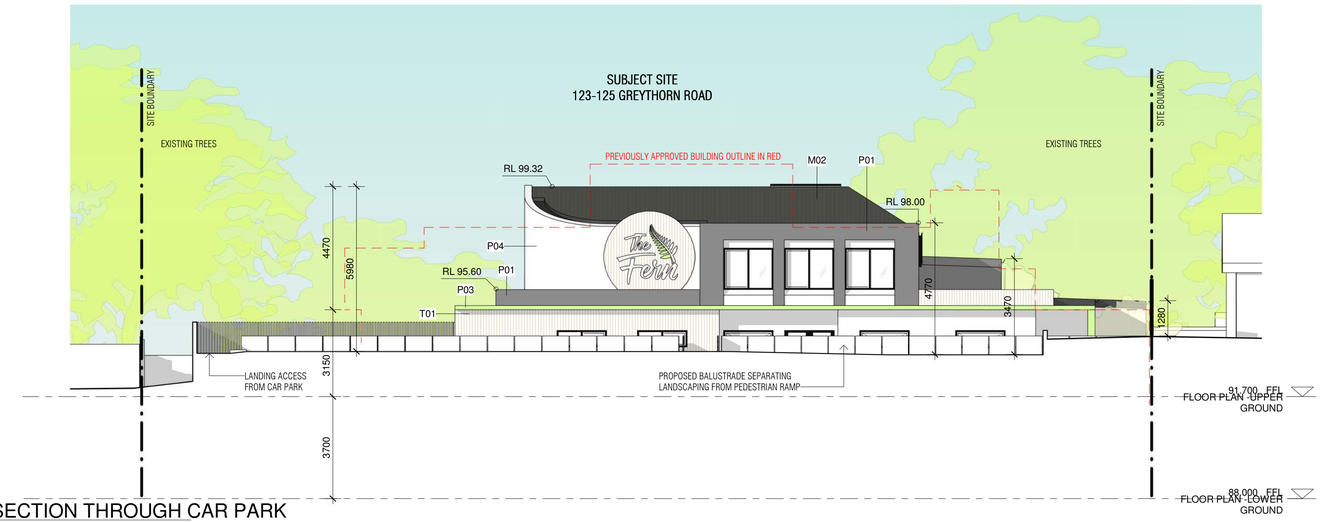


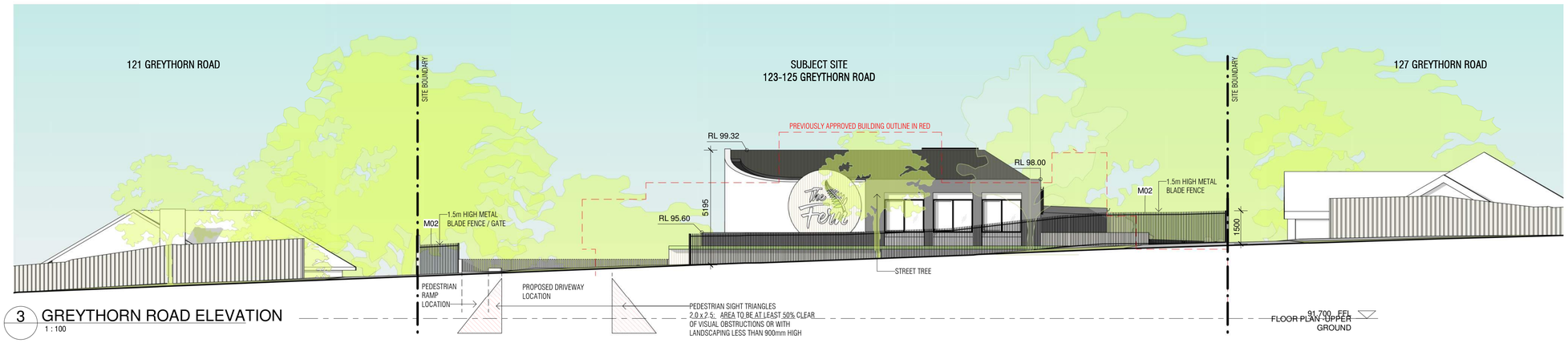
1 GREYTHORN ROAD ELEVATION - SECTION THROUGH DDA RAMP
1 : 100



2 GREYTHORN ROAD ELEVATION - SECTION THROUGH CAR PARK
1 : 100

EXTERNAL MATERIAL / COLOUR SCHEDULE

	SWATCH	DESCRIPTION	COLOUR
M01		METAL FINISH	BLACK POWDERCOAT OR SIMILAR
M02		METAL FINISH	MONUMENT POWDERCOAT OR SIMILAR
P01		PAINT FINISH	MONUMENT PAINT FINISH OR SIMILAR
P02		PAINT FINISH	WHITE/LIGHT GREY PAINT FINISH OR SIMILAR
P03		PAINT FINISH	LIGHT GREEN PAINT FINISH OR SIMILAR
P04		PAINT FINISH	WHITE/LIGHT GREY GLOSS PAINT FINISH OR SIMILAR
R01		RENDER FINISH	WHITE/LIGHT GREY RENDER FINISH OR SIMILAR
T01		TIMBER-LOOK FINISH	SELECTED LIGHT TIMBER-LOOK FINISH OR SIMILAR



3 GREYTHORN ROAD ELEVATION
1 : 100

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0 2 4 8m
1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	WEST ELEVATIONS		
DRAWN:	TH SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP07
DATE:	MAR 2023	REV:	

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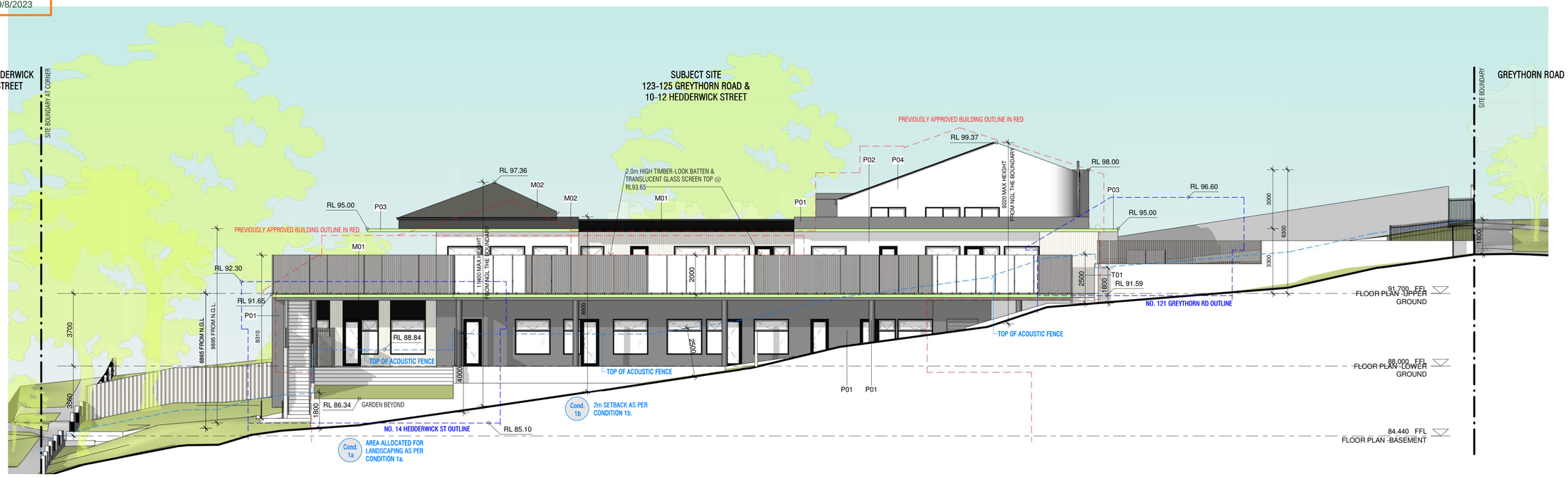
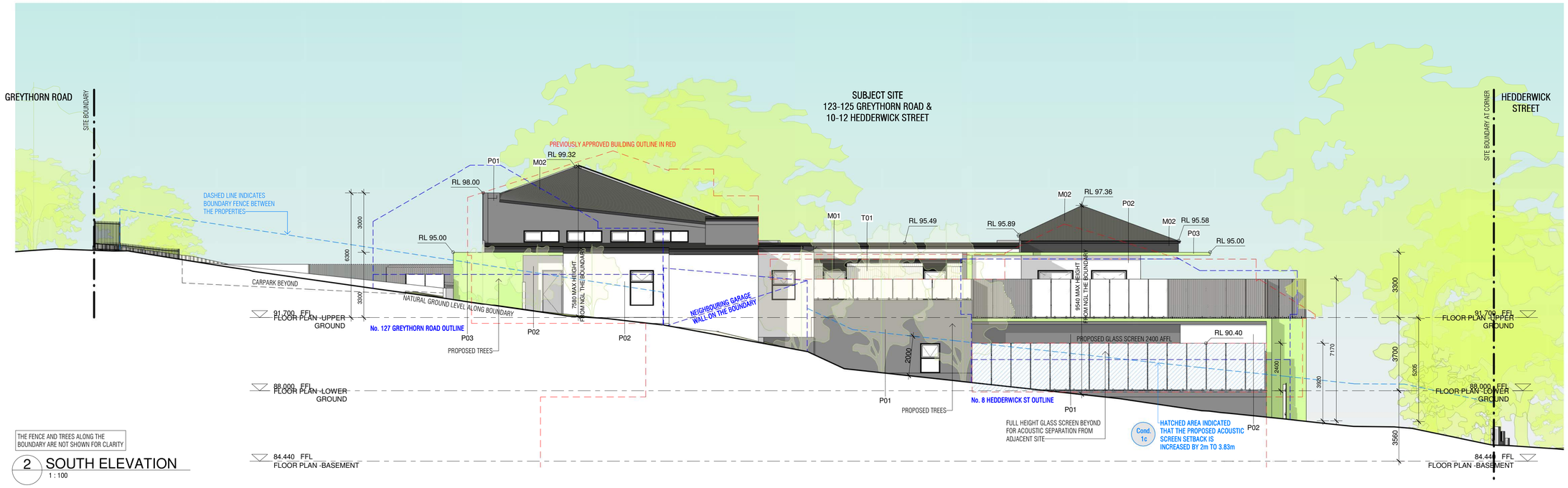
NOTICE INFORMATION
Date of Notice: 13/10/2023



1 NORTH ELEVATION
1 : 100

THE FENCE AND TREES ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY



THE FENCE AND TREES ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY

2 SOUTH ELEVATION
1 : 100

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1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	NORTH & SOUTH ELEVATIONS		
DRAWN: TH	SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP08
DATE:	MAR 2023	REV:	

29/08/2023 1:27:48 PM

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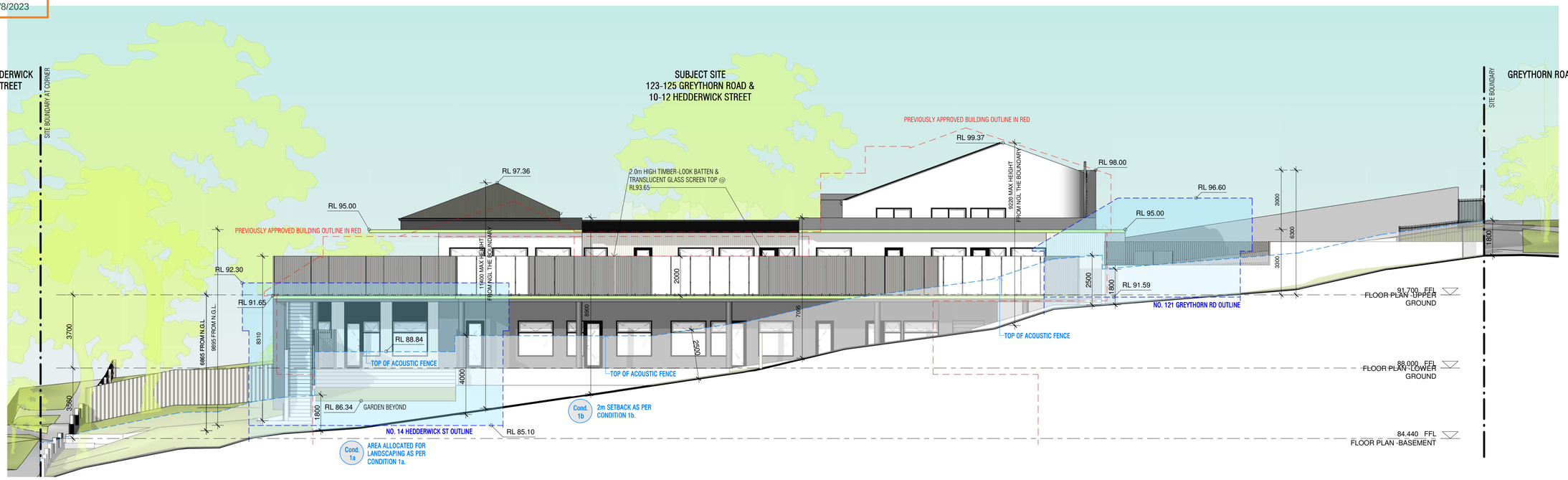
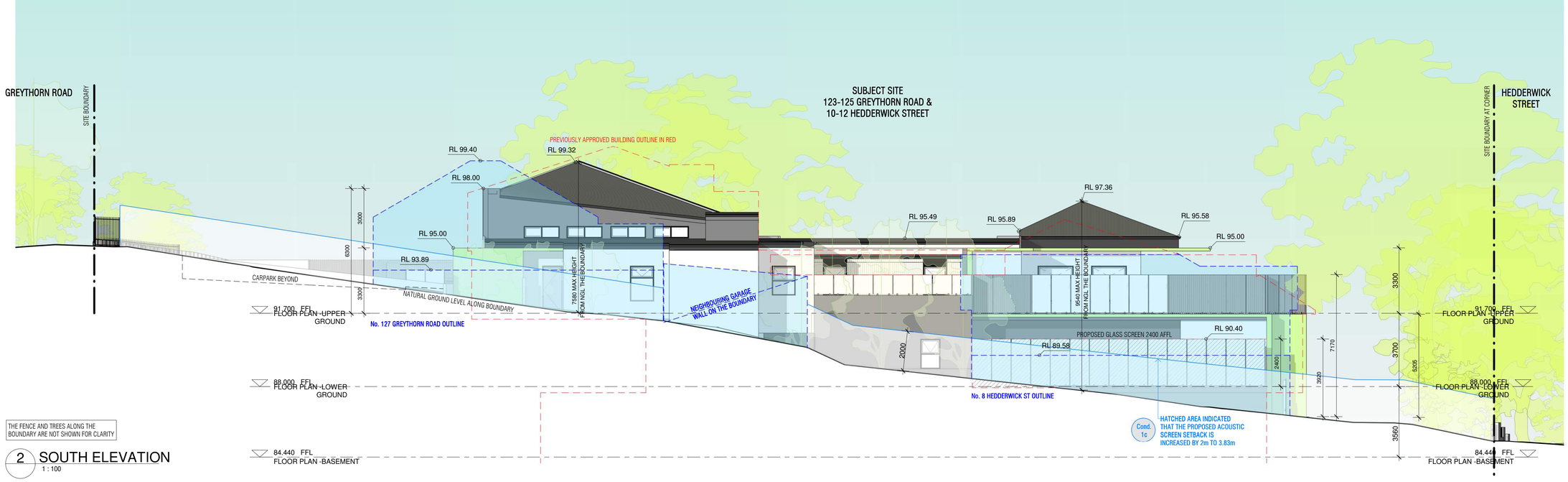
NOTICE INFORMATION
Date of Notice: 13/10/2023



1 NORTH ELEVATION
1 : 100

THE FENCE AND TREES ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY



THE FENCE AND TREES ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY

2 SOUTH ELEVATION
1 : 100

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0 2 4 8m
1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	NORTH & SOUTH ELEVATIONS		
DRAWN: TH	SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP09
DATE:	MAR 2023	REV:	

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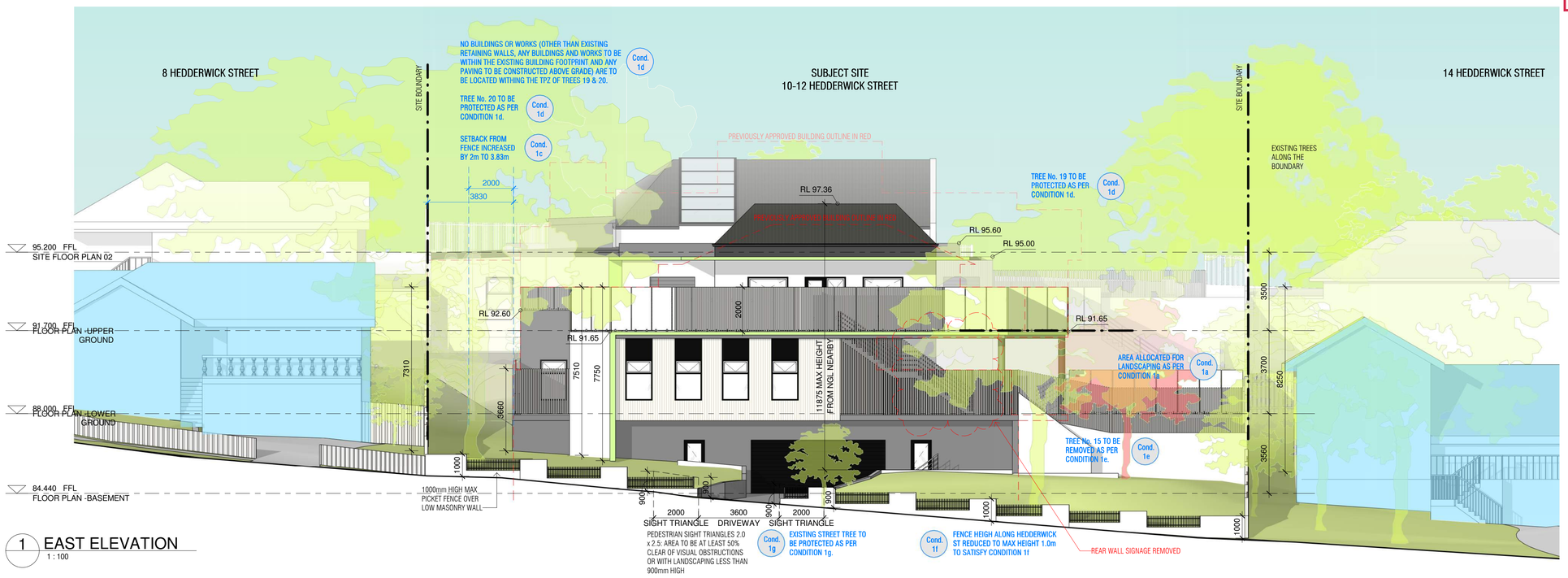
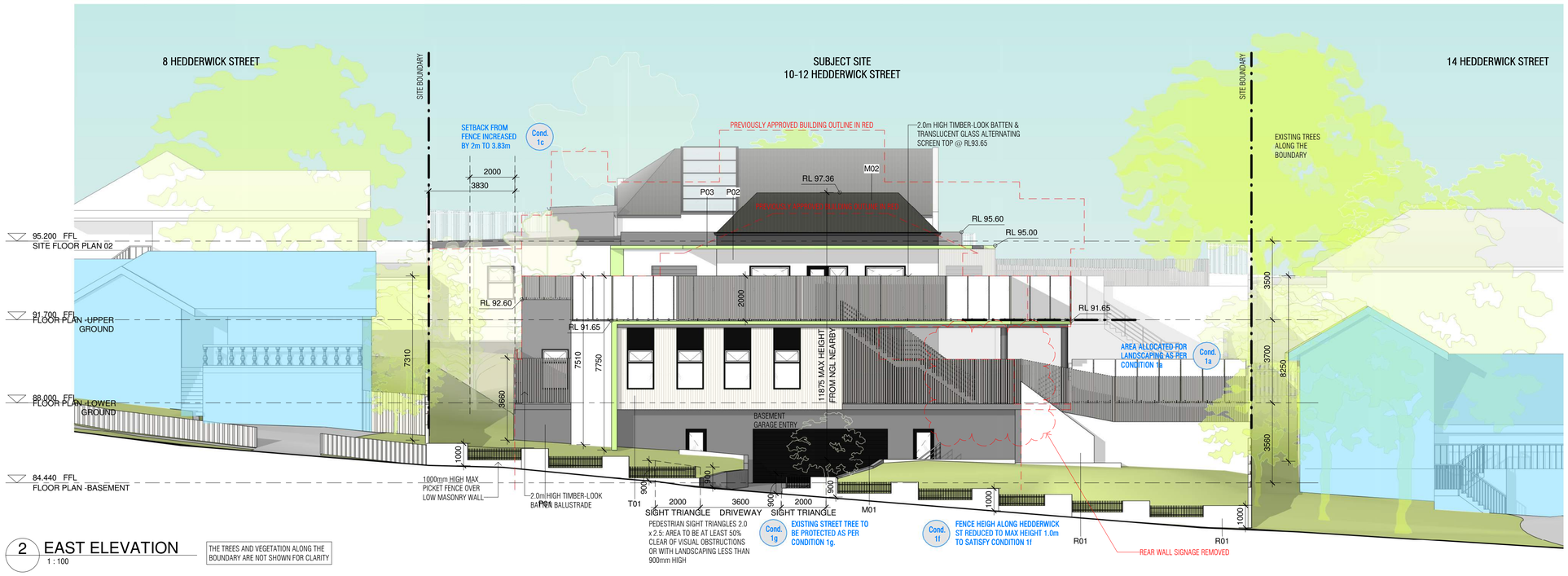
NOTICE INFORMATION
Date of Notice: 13/10/2023



1 EAST ELEVATION
1 : 100



2 EAST ELEVATION
1 : 100

THE TREES AND VEGETATION ALONG THE BOUNDARY ARE NOT SHOWN FOR CLARITY

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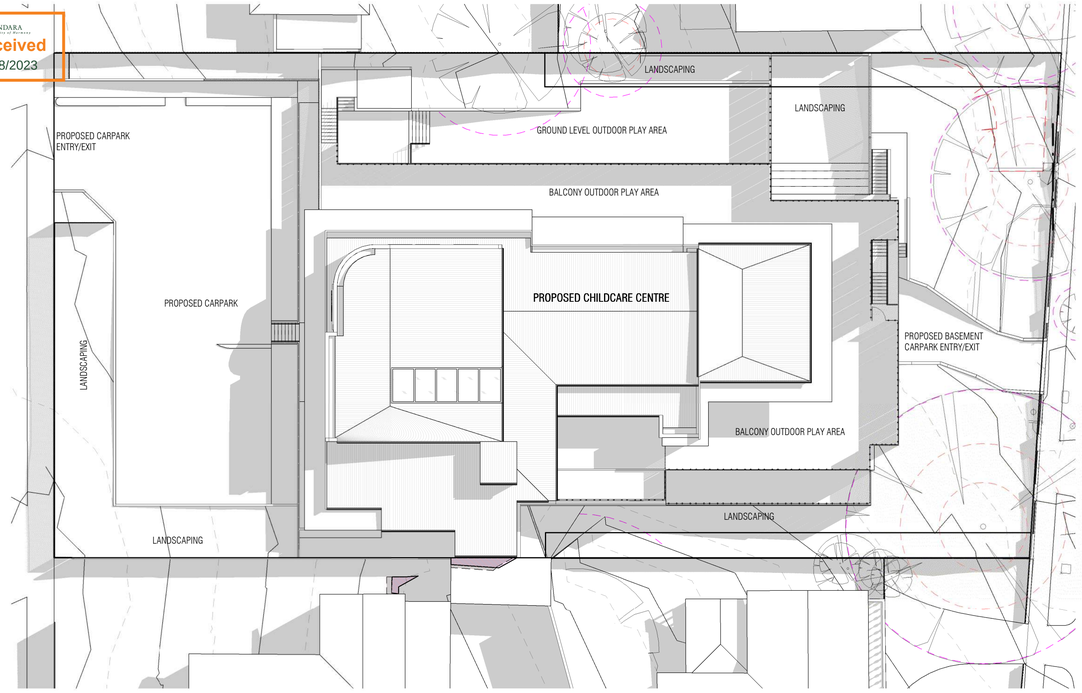
0 2 4 8m
1:100 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	EAST ELEVATIONS		
DRAWN: TH	SCALE: 1 : 100	@ A1 PAPER SIZE DWG NO:	TP10
DATE:	MAR 2023	REV:	1

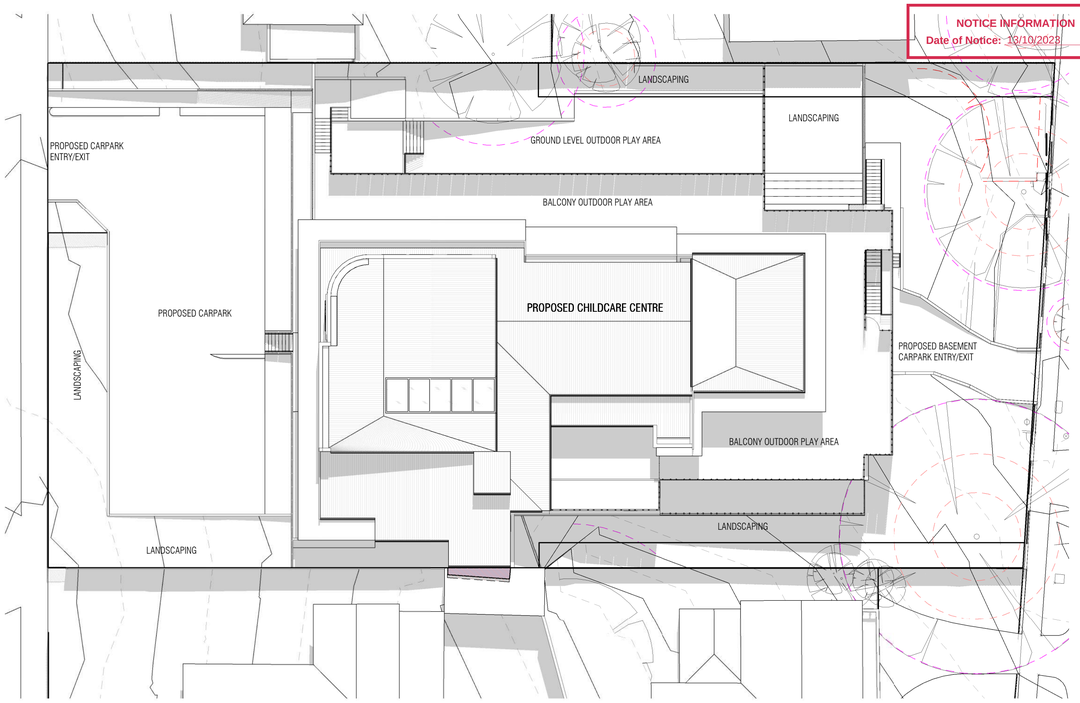
29/08/2023 1:28:42 PM

BOROONDARA City of Harmony
Received
29/8/2023

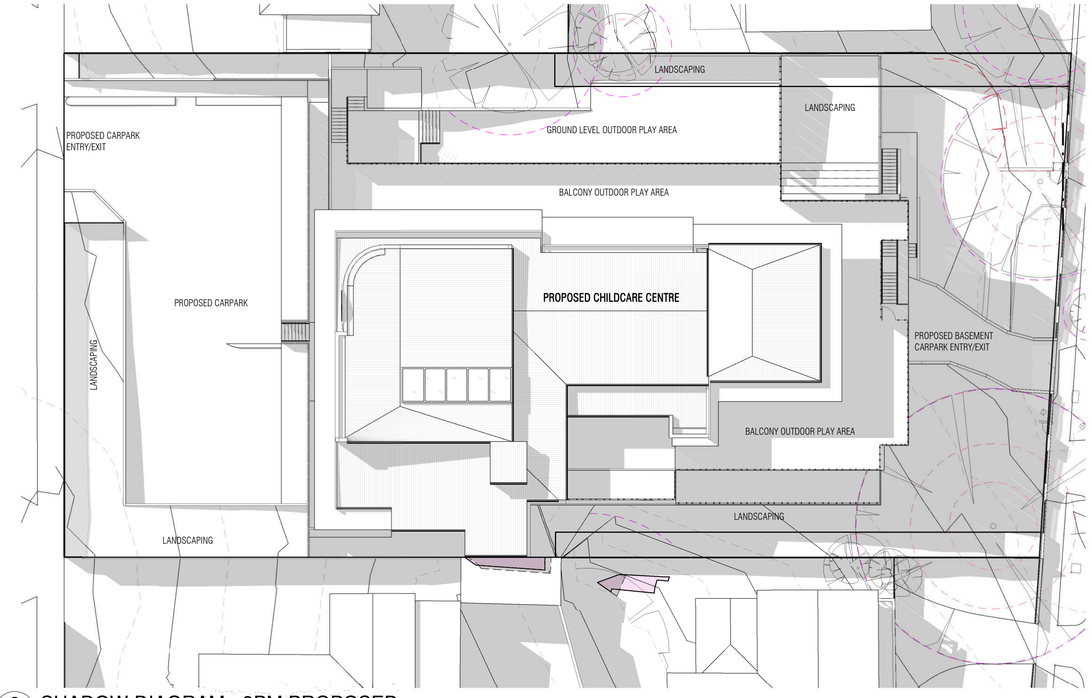
NOTICE INFORMATION
Date of Notice: 19/10/2023



1 TP07 SHADOW DIAGRAM - 9AM PROPOSED
1 : 200



2 TP07 SHADOW DIAGRAM - 12PM PROPOSED
1 : 200



3 TP07 SHADOW DIAGRAM - 3PM PROPOSED
1 : 200

SHADOWS LEGEND

- SHADOWS CAST BY BUILDINGS AND FENCES
- PROPOSED ADDITIONAL SHADOWS ON NEIGHBOURING PROPERTIES BY THIS APPLICATION
- ADDITIONAL SHADOWS ON NEIGHBOURING PROPERTIES CAST BY PREVIOUSLY APPROVED DESIGN

ALL SHADOWING IS CALCULATED FOR SPRING EQUINOX SEPTEMBER 22

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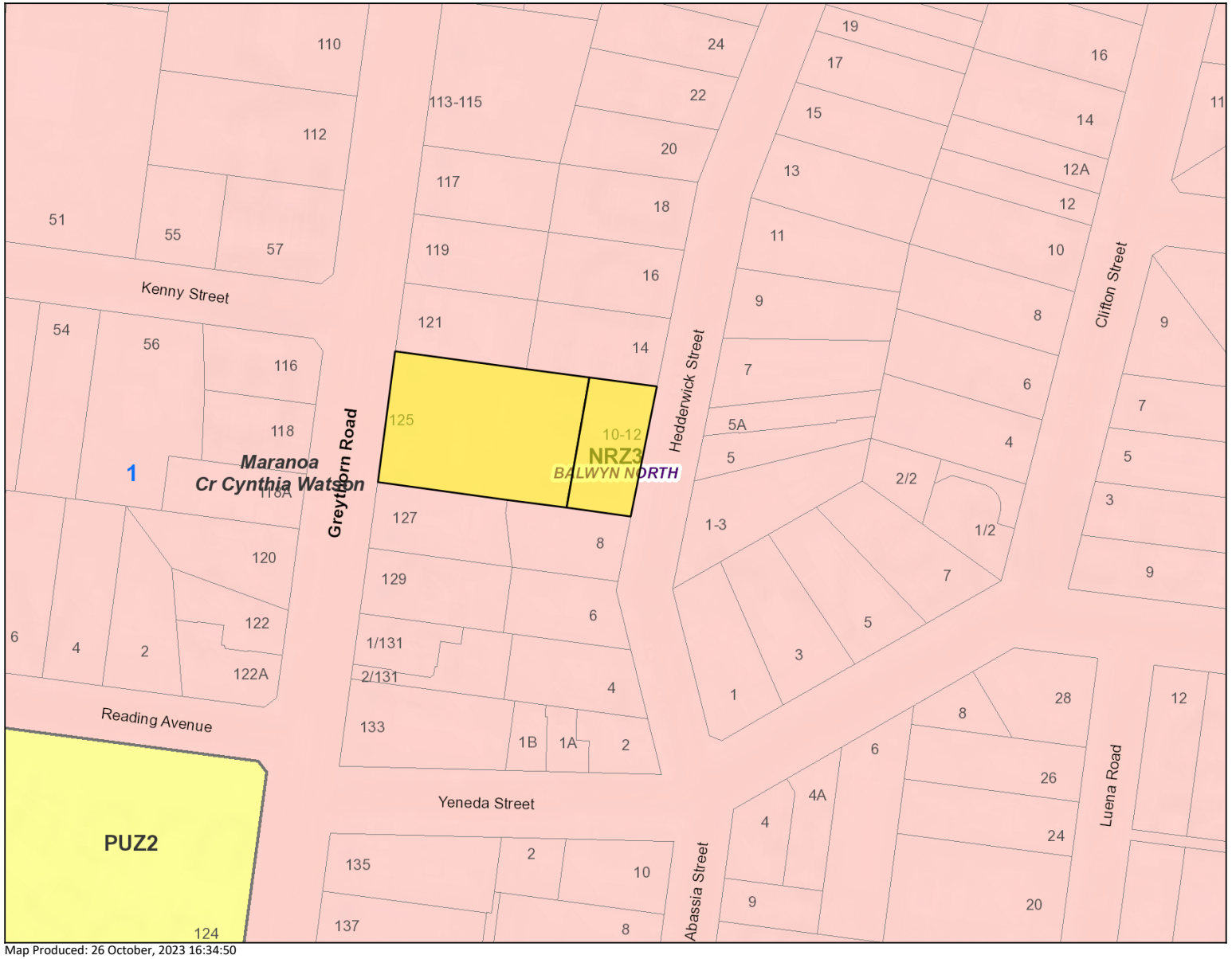
0 5 10 20m
1:250 @ A1

PROJECT:	PROPOSED CHILD CARE CENTRE	JOB NO.:	5173
ADDRESS:	123-125 GREYTHORN RD, BALWYN NORTH		
CLIENT:	SSA PROPERTIES BN PTY LTD		
SHEET TITLE:	SHADOW DIAGRAMS		
DRAWN:	TH SCALE: As indicated @ A1 PAPER SIZE	DWG NO:	TP11
DATE:	MAR 2023	REV:	

29/08/2023 1:28:51 PM

Appendix C - PP15/00645.01 - Zoning Map



Map Produced: 26 October, 2023 16:34:50

Planning Zones

- C1Z
- C2Z
- CA
- CDZ1
- GRZ 1-5
- MUZ
- NRZ1
- NRZ3
- PCRZ
- PDZ
- PPRZ
- PUZ 1-3
- PUZ4
- PUZ 5-7
- RDZ1
- RGZ1
- SUZ
- TRZ1
- TRZ4
- UFZ

1:1,500

Metres 20 40 60 80

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City of Harmony