

URBAN PLANNING DELEGATED COMMITTEE



AGENDA

(Open to the public)

6.30pm, Monday 17 July 2023

Council Chamber, 8 Inglesby Road, Camberwell

Date of Issue: 7 July 2023

Please note: No audio, video, photographic or any other recording of proceedings at Council or Delegated Committee meetings is permitted without written authority from Council.

Order of Business

- 1 Adoption and confirmation of the minutes of the Urban Planning Delegated Committee meeting held on 3 July 2023**
 - 2 Declaration of conflict of interest of any councillor or council officer**
 - 3 Presentation of officer reports**
 - 3.1 69 Broadway, Camberwell (Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay)
 - 3.2 PP22/0573 - Construction of a three-storey apartment building comprising ten (10) dwellings over basement - 65 Walpole Street Kew
 - 4 General business**
 - 5 Urgent business**
 - 6 Confidential business**
- Close of meeting**

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3 Presentation of officer reports

3.1 69 Broadway, Camberwell (Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay)

69 Broadway, Camberwell - Extension to a dwelling in a Heritage Overlay (Junction Ward)

Application no.: PP22/0734

Responsible director: Scott Walker, Director Urban Living

Authorised by: David Cowan, Manager Planning and Placemaking

Report officer: Calum Schwindt, Urban Planner

Report abstract

Proposal

The proposal seeks to partially demolish an existing significant graded dwelling and construct alterations and additions in the rear corner of the site, summarised as follows:

- Partially demolish selected parts of the original, significant graded dwelling, principally on the rear elevation;
- Demolish the 'Summer House', a non-original, albeit older outbuilding located in the north-west corner of the site constructed 1945;
- Extend the dwelling by adding a single storey component, located 32m from the street with a maximum height of 5.3m, with the main ceiling height of the extension being 4.01m; and
- Construct a large basement with multi-functional space with associated vehicle entry ramp in the front setback.

Issues

The following key issues are addressed in the Planning Assessment Report (Attachment 1):

- The extent of demolition to the significant graded dwelling and demolition of the 'Summer House';
- The visibility of the extension from Broadway; and
- The proposed built form of the extension and whether it is appropriate to the host building and the streetscape.

Officer's response

Details of the proposal, discussion of all objections and assessment against relevant controls and policies are contained in the attachment to this report.

- The extent of demolition and alterations and additions are supported by Council's Heritage Advisor.
- The extension is modest in its scale and siting and remains subservient to the host building. The design of the extension is simple, which allows for a clear distinction between old and new.
- The proposal will have a significant setback from the street and is supported by Heritage Policy and the Heritage Advisor.

Officers' recommendation

That the Urban Planning Delegated Committee resolve that Notice of Decision to Grant a Planning Permit No. PP22/0734 for the partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay at 69 Broadway, Camberwell be issued under the Boroondara Planning Scheme subject to the following conditions:

Amended plans required

1. Before the development starts, amended plans must be submitted to the satisfaction of the Responsible Authority. When the plans are to the satisfaction of the Responsible Authority they will be endorsed and will then form part of the Permit. The plans must be drawn to scale with dimensions, substantially in accordance with the s57a plans submitted, 21 June 2023 but modified to show:
 - a. Correction of the demolition floor plan to show the retention of the eaves on the main dwelling building.
 - b. Provide structural engineering advice and methodology on how the chimney above the Dining/Living 2 rooms will be supported within the roof space to allow the demolition of the fireplace.
 - c. Prior to any demolition approved by this permit, an archival quality photographic survey of the dwelling, outbuilding (Summer House) and landscaping treatments must be completed. The photographic survey must be submitted to Council for public record keeping and provide archival quality photos documenting the building, landscaping, and outbuildings suitable for publication. The photographic survey must provide documentation of:
 - i. Each elevation of the dwelling;
 - ii. Each elevation of the outbuilding (Summer House)
 - iii. Front steps, balustrade & wall to be removed (East Elevation)
 - iv. Each window;
 - v. Landscaping features such as tennis court, water features, soft landscaping.
 - vi. Any other unique feature.
 - d. The proposed door insertion to the eastern elevation to feature a date stamp that cannot be painted over, to the satisfaction of the Responsible Authority.
 - e. Provide additional details, either sectional plan or similar, demonstrating that the lightweight pergola is structurally independent from and sits below the eaves of the host dwelling.
 - f. Provide the basement entry surface finish as concrete aggregate and update the material schedule.

Layout not to be altered

2. The layout of the site and the size, levels, design, and location of buildings and works shown on the endorsed plans must not be modified for any reason (unless the Boroondara Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.

Drainage

2. The site must be drained to the satisfaction of the Responsible Authority

Boundary walls

3. The external faces of walls on or facing boundaries must be cleaned and finished to an acceptable standard to the satisfaction of the Responsible Authority.

Permit to expire

4. This permit will expire if:

- a) The development does not start within two (2) years of the issue date of this permit; or
- b) The development is not completed within four (4) years of the issue date of this permit.

The Responsible Authority may extend the times referred to if a request is made in writing before the permit expires or:

- (i) within six (6) months afterwards if the development has not commenced; or
- (ii) within twelve (12) months afterwards if the development has not been completed.

Council and the Victorian Civil and Administrative Tribunal are unable to approve requests outside of the relevant time frame.



PLANNING ASSESSMENT Urban Planning Delegated Committee

Application Number	PP22/0734
Date Application Received	02/09/2022
Planning Officer	Calum Schwindt
Applicant	Joanne Verrocchi C/- Hansen Partnership Pty Ltd
Owner	Ms J Verrocchi
Property Address	69 Broadway, Camberwell
Proposal	Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay
Ward	Junction
Zoning	Neighbourhood Residential Zone - Schedule 3
Overlays	Heritage Overlay - Schedule 159
Potential Overland Flow?	No
Advertised?	Yes
Number of Objections Received	14
Recommendation	SUPPORT

PLANS ASSESSED IN THIS REPORT

S57a Plans submitted on 21 June 2023

PROPOSAL

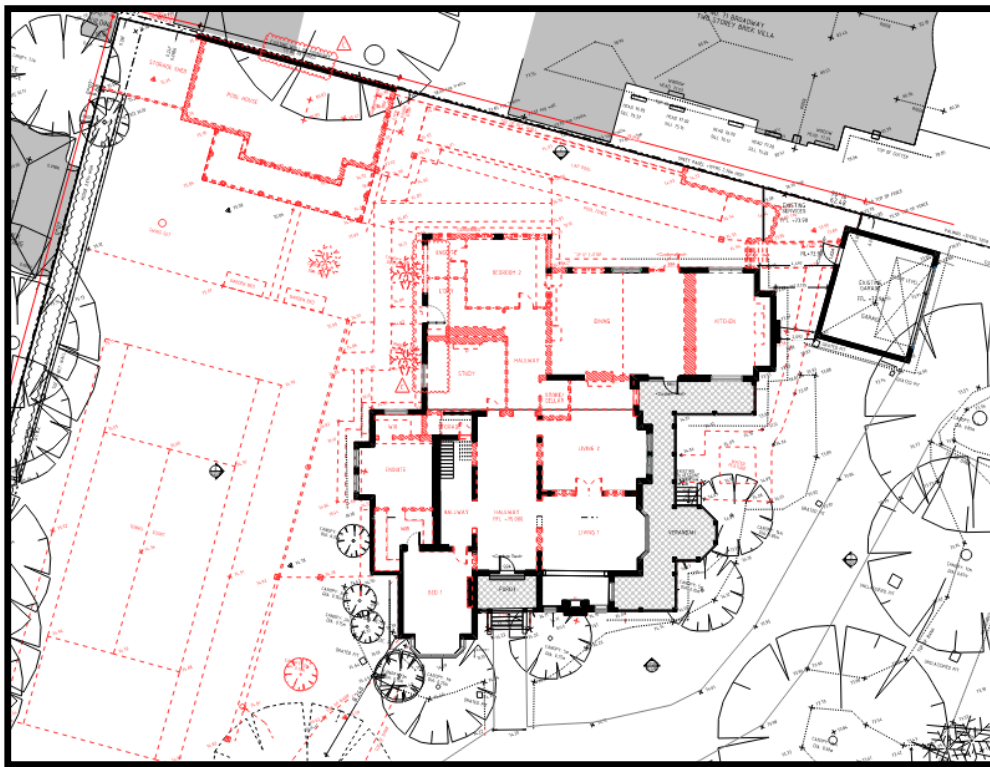
Appendix A - Plans

An application has been made to Council for partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay.

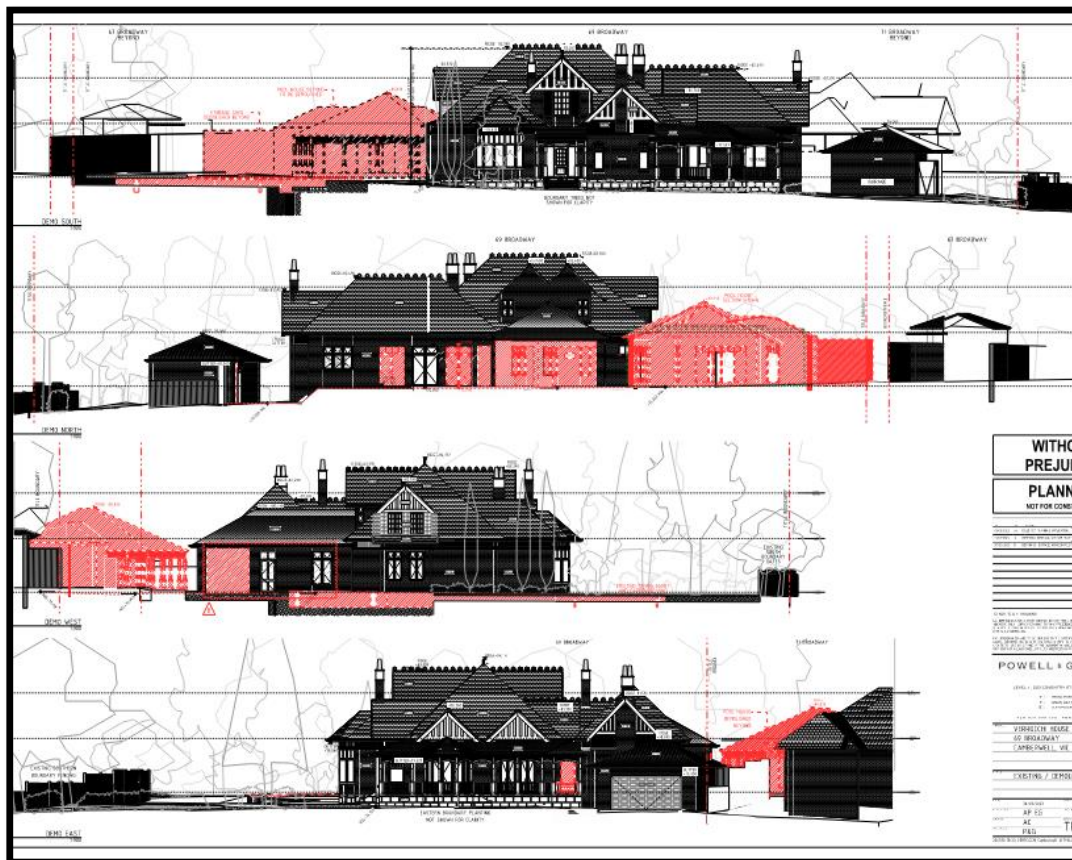
Details of the proposal are summarised as follows:

- The proposal seeks to partially demolish some of the rear elements of the existing, significant graded, Queen Anne era dwelling. These elements are broadly summarised as below:
 - The 'Summer House';
 - Various soft and hard landscaping treatments (paths, pool, shed, water feature);

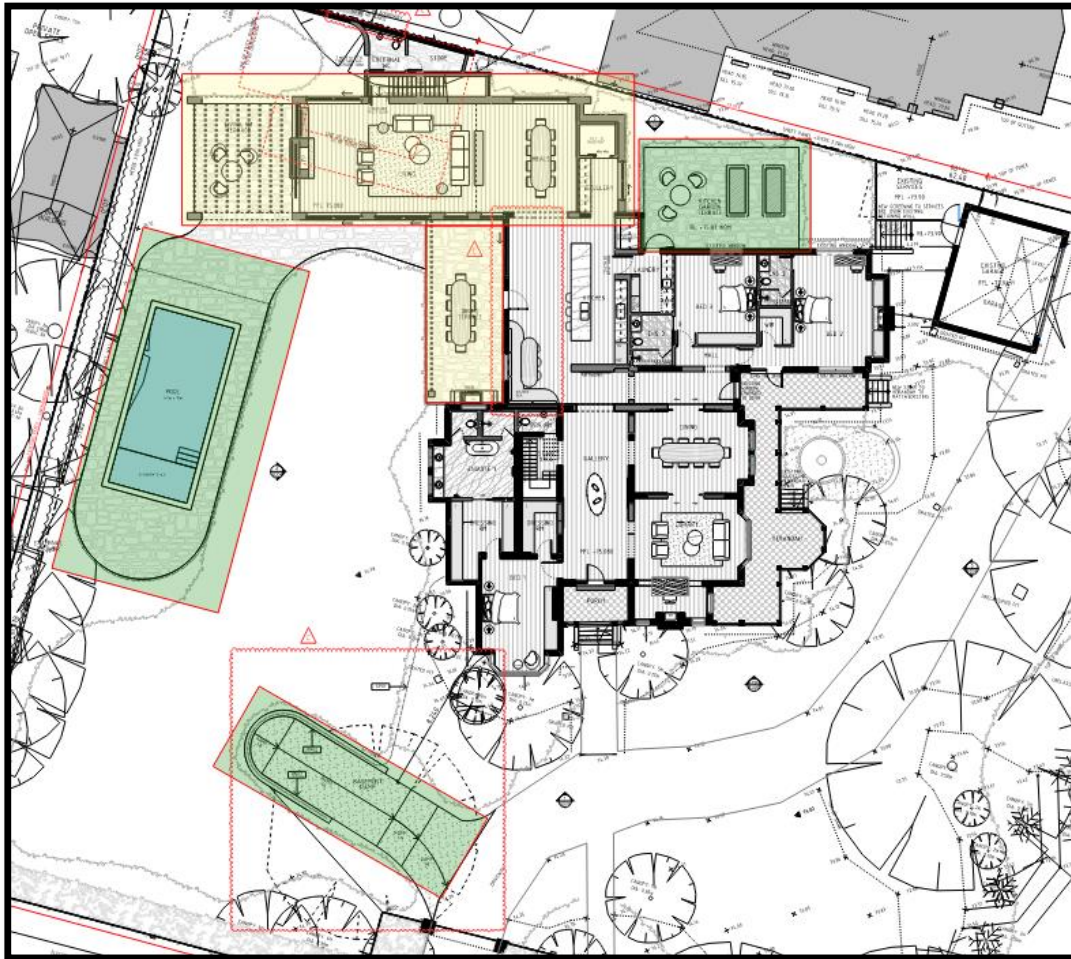
- Internal demolition (no permit required);
- Openings (doors and windows) on northern elevation;
- Portion of wall on western elevation; and
- Portion of wall on eastern elevation.
- The proposal also seeks the construction of basement garage with storage and recreational spaces adjacent to western boundary.
- A swimming pool will be constructed adjacent to western boundary and associated landscaping treatments.
- A ground-floor addition in the north-west corner of the site will be constructed that will extend the existing dwelling to accommodate meals and living area, outdoor dining and kitchen terrace.
- The ground-floor addition will have a maximum height of 5.3m.
- The parapet of the addition (living room) will have a maximum height of 4m above NGL and will be setback 41m from the street, whilst the dining/terrace will be setback 33m from the street.



Above - Demolition Plan, areas proposed for demolition shown in red



Above - Proposed Demolition Elevation Plans



Above - Ground Floor Plan (Dwelling extensions highlighted in yellow for clarity, whilst works shown in green)

THE SITE

Site Location	The subject site is located on a corner allotment, facing Broadway to the east and south.
Width of Frontage	Corner allotment: Southern boundary: 53.9m Eastern boundary: 42m South-eastern corner incision: 13.66m

Maximum Depth of Site	62.3m
Total Site Area	3267m ²
Easements	The subject site is not encumbered by any easements.
Fall of the Land	The site has a moderate fall from the west to the east of approximately 2.5 metres.
Front Fencing Details	A 1.4 metre high picket fence is located along the frontage of the site, larger front gate at the vehicle ingress sites and mature vegetation along the boundary.

- The subject site is currently developed with a large Federation Queen-Anne era detached dwelling constructed in 1904, a non-original garage constructed 2001 and early detached outbuilding (Summer House) constructed in 1945,
- The existing buildings are setback a minimum from Broadway, as below:
 - Main dwelling - 17.9m, projected bay window - southern boundary.
 - Summer House - 43.23m - southern boundary
- Vehicle access is via a centrally located crossover and driveway via southern boundary and additional crossover via eastern boundary.
- The property also contains a lap pool adjacent to the northern boundary, and a tennis court proximate to the western boundary.
- The garden is a notable feature of the property. The site contains a number of trees. None of the trees are protected by the Heritage Overlay. Council's Tree Protection Local Law would apply to canopy trees. The Liquidambar located approx. 8m from the southern boundary has a Local Law Permit for its removal.

THE SURROUNDING AREA

The subject site is located within a longstanding, established residential area. The character is broadly characterised by well vegetated front gardens, consistent housing stock of Edwardian era dwellings, with some examples of Queen Anne era evident. The mature street trees, large detached dwellings and spacious garden setting lend itself to the unique and high quality, intact heritage setting.

Whilst largely intact, there is a presence of single and double storey dwelling extensions of a variety of architectural styles.



Above - Subject site, looking north-west from Broadway



Above - Subject site, looking from north-west, near Broadway corner



Above - Front fence/gate of subject site, from the southern portion of Broadway



Above - Summer House shown in distance.



Above - Fence and existing mature vegetation, looking north



Above - Alternative vehicle ingress site, looking west from Broadway



Above - Significant dwelling at 54 Broadway, south of Broadway (Significant Graded)

54 Broadway is occupied by a double-story Edwardian Era dwelling with a roof with multiple gable ends, Edwardian red brick at ground floor with white render at first-floors, ornate brick lintels and projected bay windows - also with gable ends.



Above - Adjoining property to the west, 67 Broadway (Contributory Graded)

67 Broadway is occupied by a detached Edwardian Era dwelling with some Queen Anne era expressions, such as the roof form and ridge cappings. The wrap around verandah and ornate banding are prominent features.



Above - 71 Broadway, Camberwell (Significant Graded)

71 Broadway is occupied by a detached, Queen Anne era dwelling. This dwelling is noted as being a high-quality example of the work produced by Ussher & Kemp, Ward & Carleton and Cristopher Cowper in the Statement of Significance, along with some other dwellings in the precinct. The unique arch that frames the principal entry, flanked by two symmetrical, project gables and dormer window/balcony above.



Above - 56 Broadway, Camberwell (Contributory Graded)

Comparable to the subject site in some respects, the contributory graded dwelling appears to be designed to present to both east and south directions, noting its corner allotment. The dwelling is another example of high-quality Queen Anne era architecture.



Above - 73 Broadway, Camberwell (Significant Graded)

73 Broadway is occupied by another high-quality example of Queen Anne era architecture, being one of the three adjoining significant graded sites with the subject site and number 71.

The mix of materiality, between the red brick and stucco render display a high level of architectural prowess and articulation. The turret above the verandah, ornate fretwork, projected gable and window and chimney stacks results in a cohesive, high quality example of the architecture typical of Broadway.

STATEMENT OF SIGNIFICANCE

The following statement of significance provides a summary of the significance and key attributes of Boroondara's Heritage Overlay precinct. Unless otherwise referenced, the

statements have been identified in the Review of Heritage Overlay Precinct Citations (2006) prepared by Lovell Chen Pty Ltd.

Heritage Precinct (Prospect Hill Road)	HO159
Statement of Significance	

The areas north of the railway line comprise a generally intact collection of late Victorian and Federation houses, all very well designed and with a high level of integrity to their gardens and street appearance. The precinct is one of the most intact and homogenous estates of this type in Melbourne, rivalling the Central Park- Stanhope Street region in Malvern and the other leading Boroondara concentrations of this period, the Grace Park Estate in Hawthorn (HO152) and the Barry Street Precinct in Kew (HO143). It is the foremost precinct of combined late Victorian-Federation building stock in the former Camberwell municipality.

Specifically relating to the subject site:

Architecturally, a highly successful but partly altered Queen Anne style house, designed by its major practitioners, which is enhanced by the surrounding Queen Anne precinct and its corner siting.

Historically, considered with the nearby George Vial house, this corner is expressive of the rising middle classes born from the emerging secondary industries in Victoria, in this case the leather manufacturing trade. As well as reflecting the subtle evolution of post-Federation house styles, most houses investigated in the Broadway were inhabited by the families of solid businessmen. They represent the domestic style of the upper middle class, a group which most clearly led Camberwell's rebirth after the depressed 1890's: of local and regional importance.

RESTRICTIVE COVENANT/AGREEMENTS

Restrictive Covenant/Agreement Details	
Instrument of Transfer No	0426605
<p>"Bertha Martha Baillieu her heirs, executors, administrators and transferees that he or they shall not nor will erect on the said piece of land coloured red hereby transferred or on any piece thereof without the previous consent or waiver in writing of the said Bertha Martha Baillieu her heirs, executors, administrators and transferees any house or tenement except the same be built of brick or stone and at a cost of not less than seven hundred and fifty pounds and except the said house or tenement shall have land enclosed with it which shall have a frontage of at least sixty feet to Broadway and such house or tenement shall have its front entrance to Broadway and that in the event of any breach of the foregoing covenant the said William</p>	

Restrictive Covenant/Agreement Details	
Halsey his heirs executors or transferees committing or suffering such breach shall pay on demand to the said Bertha Martha Baillieu her heirs, executors, administrators and transferees the sum of two hundred and fifty pounds by way of liquidated and ascertained damages for every such breach"	
Will the issue of a planning permit result in a breach of the restriction?	No

The previous application PP20/0405 included a ground of refusal relating to the breach of the above covenant. Legal advice was further provided that specified that the covenant was a personal covenant.

The wording of the covenant includes a mechanism that allows consent from the beneficiary and/ or a payment is made to the beneficiary.

Given the circumstances, there is no guarantee that the proposal would certainly breach the covenant. It is noted that the *Planning & Environment Act 1987* prohibits Council from issuing a permit that *would result* in a breach of covenant. This is a notably high bar and, given the consent mechanism and financial payment to be made upon breach, the issuing of a planning permit will not breach the covenant.

ABORIGINAL CULTURAL HERITAGE

Is the site within an area of Aboriginal cultural heritage sensitivity?	No
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PERMIT/SITE HISTORY/VCAT HISTORY

Details of previous applications are as follows:

Application No	Date of Decision	Decision	Description of Proposal
PP20/0405	REFUSAL	9 October 2020	Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay
PA21/0021	REFUSAL (Upheld)	25 January 2022	Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay

There was a previous application, PP20/0405, which was refused by Council and upheld by VCAT, in which VCAT Member Gaschk stated that the prior application was unacceptable form due to the extent of demolition and design response.

The extent of demolition was more substantive and included parts of the original roof form and chimneys. The extension was two storeys and dominated the host building.



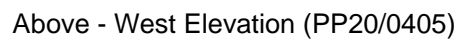
Above - Oblique view taken from original decision plans

Council is required to consider the application against the relevant planning policies and the previous VCAT decision can assist in the interpretation of the Heritage Policy. However, the VCAT decision is not binding and the facts of the two cases will be different, but similar.

There have been substantive design changes have been sought in attempt to comply with the relevant Heritage Policy and consideration from the relevant VCAT ruling.

Member Gaschk considered the connection between the main dwelling and the age of the Summer House. Given the significant difference of construction date between the two buildings, the summer house would be more akin to heritage replication architecture. Whilst built in a similar style, the actual building should not be considered to have similar heritage value to the main dwelling.

Member Gaschk further notes that this should be reconsidered during any subsequent application. This has been undertaken during the assessment and during the Heritage Referral of this application and this delegate report.



Nearby Properties				
Address	Application No.	Date of Decision	Decision	Description of Proposal
71 Broadway, Camberwell	PP10/00909	17 April 2013	PERMIT	Part demolition and construction of alterations and additions to an existing dwelling including a swimming pool in a Heritage

Nearby Properties				
Address	Application No.	Date of Decision	Decision	Description of Proposal
				Overlay in accordance with the endorsed plans.
67 Broadway, Camberwell	PP21/0741	19 November 2021	PERMIT	Part demolition and the construction of alterations and additions associated with a dwelling in a Heritage Overlay in accordance with the endorsed plans.
58 Broadway, Camberwell	PP18/01326	19 March 2019	PERMIT	Construction of alterations and additions to existing dwelling in a Heritage Overlay in accordance with the endorsed plans.
54 Broadway, Camberwell	PP17/00759	14 March 2018	PERMIT	Partial demolition and the construction of buildings and works to an existing dwelling including a swimming pool and associated safety fencing in a Heritage Overlay.
75 Broadway, Camberwell	PP14/00351	11 July 2014	PERMIT	Part demolition and construction of buildings and works to an existing dwelling in a Heritage Overlay in accordance with the endorsed plans.

NOTICE OF APPLICATION

Pursuant to Section 52 of the *Planning & Environment Act 1987*, the application was advertised by:

- Sending notices to the owners and occupiers of adjoining land; and

- Placing sign/s on the land for a period of 14 days.

Fourteen (14) objections have been received to the proposal. The grounds of objection are summarised as follows:

- Objection to the demolition of the Summer House;
- Proposed extension is not in keeping with the surrounding properties;
- Objection to construction of basement and associated impact to aquifers;
- Impact to heritage dwelling;
- Extent of demolition to dwelling inappropriate;
- No evidence that the works will aide in the long-term conservation of the dwelling;
- Extension would be visible form the street; and
- Unsympathetic design response.

AMENDMENTS TO THE PROPOSAL

An amendment to a planning application was lodged with Council after notification. The proposed changes are as follows:

- Reduction in extent of demolition proposed, including:
 - Retention of western door and window opening and associated internal alterations.
- Relocated basement entry away from dwelling by approximately 2.2m.
- Clarified wall on boundary to be retained to 71 Broadway.
- Clarified extent of demolition to ridgelines (Drafting error).
- Deletion of pickleball court.

It was considered that the proposed changes were minor in nature and did not warrant re-notification.

The plans are attached to this report.

INTERNAL REFERRALS

REFERRALS

Please see full referral in the Appendix of this report. A summary ois provided below.

Internal Referrals

Heritage Advisor	Supported, subject to conditions. Refer to the appendix at the end of this report for full referral comments
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Council's Heritage Advisor assessed the plans subject to notice dated 21 December 2020. Generally, there was a level of comfort with the proposal, however, eight (8) recommendations for modifications to the plans were made. The permit applicant was given the opportunity to consider those recommendations which resulted in additional plans being submitted and these plans are subject to determination. The key recommendations from the Heritage Referral are:

	Suggested condition	Explanation
1	A photographic survey of the existing summerhouse be undertaken prior to demolition, and the resulting material be presented to Council for archival purposes.	<i>The proposed demolition of the 'Summer house' can be supported as it is not original or significant fabric. Nevertheless, it is of historical interest as part of the evolution of the site.</i>
2	The extent of proposed demolition be limited to the portions shown at points 5, 6 and 7 (below the eaves) in the annotated ground floor demolition plan at Figure 1.	<i>This would be the minimum required to reasonably accommodate a connection between the original fabric and new development at the point of minimum impact to potentially original features—that is, at a point that will not affect the cultural significance of the place.</i>
3	Demolition of the eaves and roof form (shown as number 8 on Figure 2 above) be removed from the proposal.	<i>There is no evidence that this original (and significant) fabric has been altered.</i>
4	The proposed alfresco area to the west retain the original openings to the building (See Recommendation 1 above) and replace the proposed steel pergola (which from the roof plan appears to have an awning) for a more lightweight shading option that minimises intervention in, and ideally is structurally independent from, the original built fabric.	<i>This would allow the proposed structures to retain significant fabric and not dominate the heritage place.</i>
5	Any door replacing the window under the verandah to the east of the house feature a date stamp that is not capable of being painted over.	<i>This would show the provenance of the new fabric, ensuring it is not mistaken for original fabric on close inspection.</i>
6	The proposed internal metal rod fence between the proposed vehicle ramp entry and retained	<i>The proposed internal metal rod fence is a new landscape element that would be positioned forward of the existing</i>

	significant graded house be positioned so as to join the house approximately at the point at which the existing fence does.	<i>low fence in this vicinity. While it would be visually permeable, it would nevertheless be an intrusive contemporary element in this sensitive portion of the façade (being an original projecting bay). The recommendation would provide greater clearance at this corner of the property from this visually intrusive element.</i>
7	The siting of the proposed basement ramp entry be reconsidered to provide greater clearance from the retained significant graded dwelling. In considering alternative options, it is recommended also that the degree of visibility from the streetscape and the need to retain landscaping be considered.	<i>At its closest point, the vehicle ramp and its infrastructure (including a concrete retaining wall, and aboveground balustrade/fence of approximately 1.2m) would be approximately 4.5m from the projecting bay of the retained significant Queen Anne dwelling. As noted in the applicant's HIS it was established at VCAT that the dwelling was designed to be seen 'in the round'. Given the size of the land parcel, it is difficult to understand why the siting has been chosen in such relatively close proximity to a sensitive portion of the house.</i>
8	The large vehicle apron / turning circle in the front setback be removed from the proposal so as to remain as is or that any new driveway be no wider than existing.	<i>This would incorporate 'large areas of paving or other hard surfaces in the front setback where this is not responsive to the heritage place' as is clearly discouraged in the heritage policy.</i>

The recommendations that have been accommodated in the latest set of plans or agreed to be included as a permit condition, if granted, as below:

1. *A photographic survey of the existing summerhouse be undertaken prior to demolition, and the resulting material be presented to Council for archival purposes.*
3. *Demolition of the eaves and roof form (shown as number 8 on Figure 2 above) be removed from the proposal.*
5. *Any door replacing the window under the verandah to the east of the house feature a date stamp that is not capable of being painted over.*

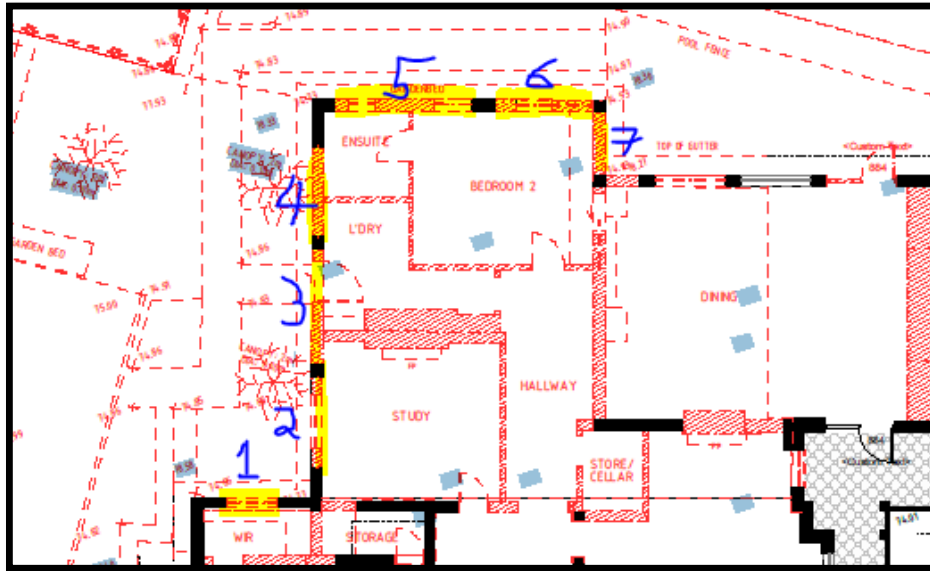
6. *The proposed internal metal rod fence between the proposed vehicle ramp entry and retained significant graded house be positioned so as to join the house approximately at the point at which the existing fence does.*
7. *The siting of the proposed basement ramp entry be reconsidered to provide greater clearance from the retained significant graded dwelling. In considering alternative options, it is recommended also that the degree of visibility from the streetscape and the need to retain landscaping be considered.*
The large vehicle apron / turning circle in the front setback be removed from the proposal so as to remain as is or that any new driveway be no wider than existing.

The following two recommendations will be inserted as proposed conditions:

- The proposed door insertion to the eastern elevation to feature a date stamp that cannot be painted over, to the satisfaction of the Responsible Authority.
- Prior to any demolition approved by this permit, an archival quality photographic survey of the dwelling, outbuilding (Summer House) and landscaping treatments must be completed. The photographic survey must be submitted to Council for public record keeping and provide archival quality photos documenting the building, landscaping and outbuildings suitable for publication. The photographic survey must provide documentation of:
 - Each elevation of the dwelling;
 - Each elevation of the outbuilding (Summer House)
 - Front steps, balustrade & wall to be removed (East Elevation)
 - Each window;
 - Landscaping features such as tennis court, water features, soft landscaping.
 - Any other unique feature.

The remaining recommendations haven't been adopted by the permit applicant in full with variations to the recommendation submitted for Council's Heritage Advisor to consider. Council's Heritage Advisor has a level of comfort with the permit applicants suggested changes, as discussed below:

2. *The extent of proposed demolition be limited to the portions shown at points 5, 6 and 7 (below the eaves) in the annotated ground floor demolition plan at Figure 1.*



This would be the minimum required to reasonably accommodate a connection between the original fabric and new development at the point of minimum impact to potentially original features—that is, at a point that will not affect the cultural significance of the place.

This portion appears to be within the original footprint (as shown in the MMBW plans) and close inspection of the 1987 aerial image supplied with the HIS (showing the extent of the annex associated with its use as a hospital) does not suggest the portions shown as 2, 3 and 4 were modified in that period. However it is accepted that demolition for a new opening at location 4 can be supported provided it remains in similar proportion (width and height) to the existing door and window on that wall, and is sympathetic but identifiably contemporary in form.

Accepted based on plans and 3D modelling viewed 30 March. Proposed new opening for sliding door would provide a transition between the proportions of the retained window and door and the glazing of the proposed new adjoining addition. Viewed in its full context, the proposed opening is supported.

Planner's Comments:

Comment 2 was addressed by the applicant and the changes were included in the advertised plans. The extent of demolition was revised, to retain all of the original roof form and was accepted by the applicant.

4. *The proposed alfresco area to the west retain the original openings to the building (See Recommendation 1 above) and replace the proposed steel pergola (which from the roof plan appears to have an awning) for a more lightweight shading option that minimises intervention in, and ideally is structurally independent from, the original built fabric.*

This would allow the proposed structures to retain significant fabric and not dominate the heritage place.

See above under point 2. The existing door and window openings should remain, as there is insufficient evidence that these have been modified.

More information about the materials, height and profile of the proposed pergola is recommended to be sought. To the extent that the applicant has indicated it would be structural independent from the original built fabric, this is supported.

Accepted based on plans and 3D modelling viewed 30 March, noting that the applicant has confirmed the pergola would sit under the eaves of the retained original built form, and be structurally independent.

Planner's Comments:

These changes were addressed via 'without prejudice' plans dated 30 March 2023 and formally submitted via Section 57a of the *Planning and Environment Act 1987*. The recommendation was incorporated into the plans and accepted by Council's Heritage Advisor. The extent of demolition was revised and now retained original window and door openings.

GOVERNANCE ISSUES

The implications of this report have been assessed and are not considered likely to breach or infringe upon the human rights contained in the *Victorian Charter of Human Rights and Responsibilities Act 2006*.

The officers responsible for this report have no general or material conflicts of interest requiring disclosure.

The report to Council and any decision arising of Council will be made available on Council's website and by inspection at the Council Offices in accordance with the requirements in the Local Government Act 2020, Council's Governance Rules and Public Transparency Policy.

CONSIDERATIONS

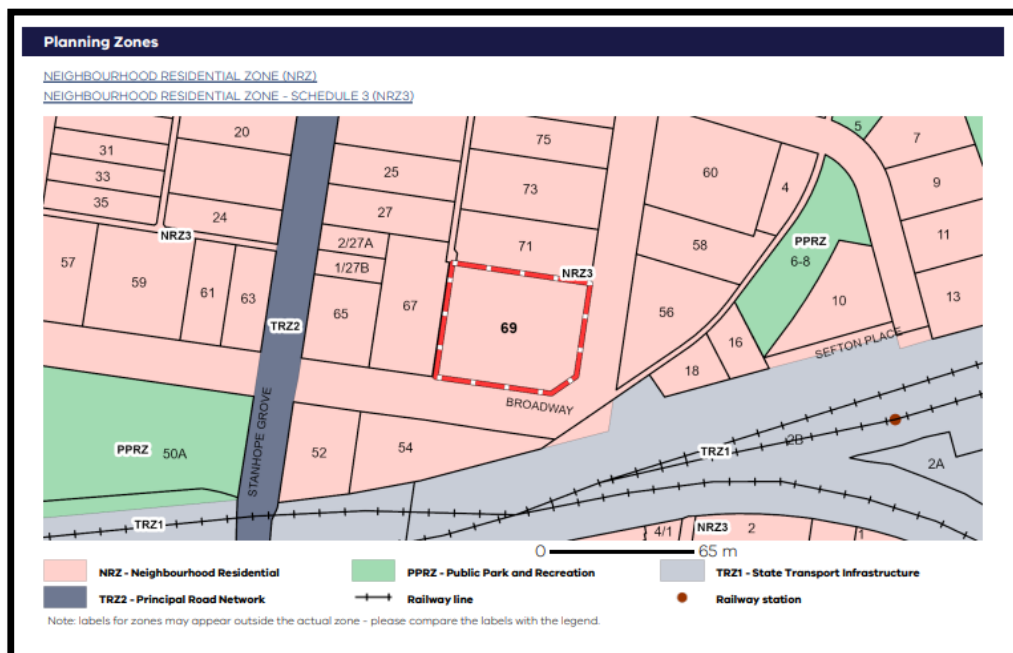
In assessing this application, consideration has been given to the following:

- The objectives of planning in Victoria as detailed in Section 4 of the *Planning & Environment Act 1987*;
- Section 60 of the *Planning & Environment Act 1987*;
- The relevant provisions and decision guidelines of the Boroondara Planning Scheme including the decision guidelines of Clause 65; and
- Any objections received

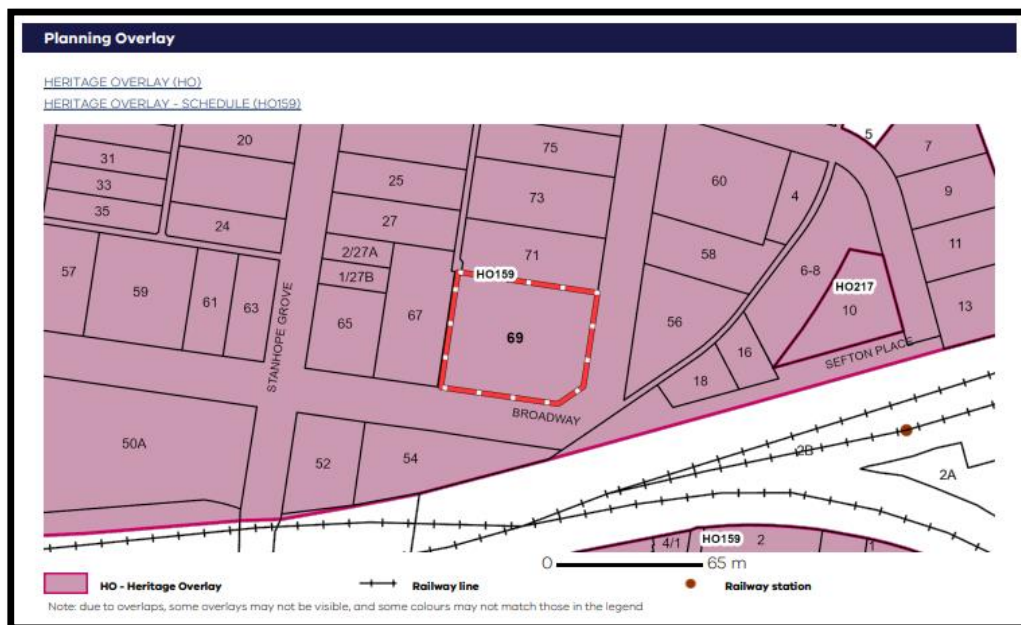
This proposal does not raise any significant adverse social or economic impacts. General social and economic impacts are addressed by the planning policy assessment below.

BOROONDARA PLANNING SCHEME

ZONING & OVERLAYS



Above - Zoning Map - [Vicplan \(mapshare.vic.gov.au\)](https://mapshare.vic.gov.au)



Above - Overlay Controls - [Vicplan \(mapshare.vic.gov.au\)](https://mapshare.vic.gov.au)

OFFICER ASSESSMENT

PLANNING POLICY FRAMEWORK

The following planning policies are relevant to the assessment of the current application:

- Clause 15 - Built Environment
 - Clause 15.03 - Heritage
 - Clause 15.03-1S - Heritage Conservation
- Clause 16 - Housing

Heritage

The subject site is a Significant graded building within the Prospect Hill Road Precinct (HO159). The precinct is of heritage significance due to its large scale, designed to address the corner allotment and high-quality architecture in the Queen Anne era style.

Demolition:

Dwelling:

Given that the site is graded significant, it is important for Council to carefully consider all elements that contribute to the host building as well as the streetscape. This includes making sure that original fabric that contributes to the significant place is not demolished or removed.

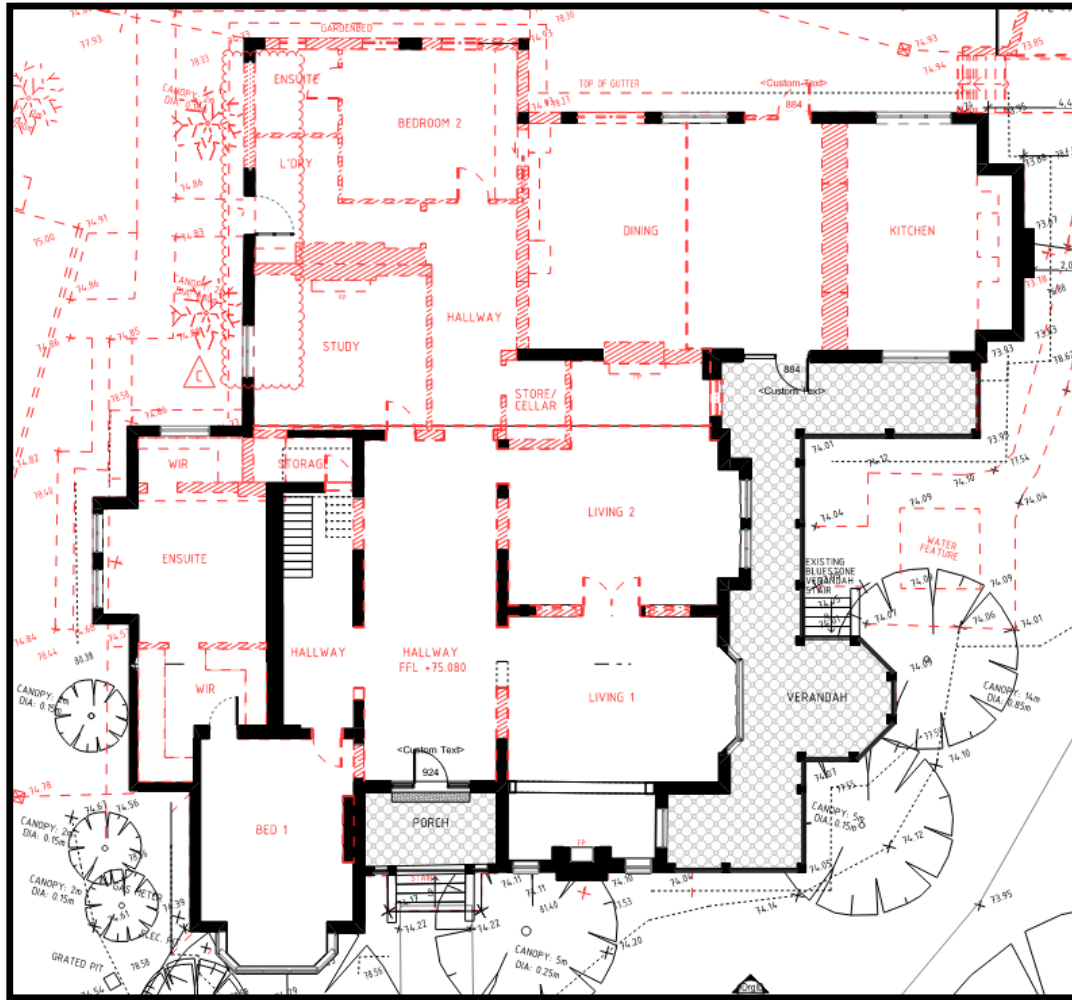
The prior planning permit assessments have necessitated a thorough examination of what elements of the building are original, early (modification to the original form, but have remained in situ for a long time) and altered fabric.

In relation to demolition, the components of the dwelling that have been proposed for demolition include door openings and window openings on the western wing. It is understood that the western wing had been reconstructed after its conversion from private hospital, back to private residence. Whilst some parts of the western wing are within the same footprint as the original dwelling, some of this is reconstructed fabric.

There has been various views held by heritage advisors as to the exact extent of reconstructed fabric. This has been considered by Council's Heritage Advisor and provided guidance on their recommendations.

It is noted that the ground floor demolition plan isn't specific regarding the retention of the eaves around the building. A condition will be imposed on any planning permit issued that specifies the retention of the eaves.

The demolition plan also shows internal demolition/ alteration. Internal demolition does not require a planning permit. That means that internal alterations can occur without a planning permit.



Above - Internal Alterations

The following figures show the extent of demolition on each of the elevations:

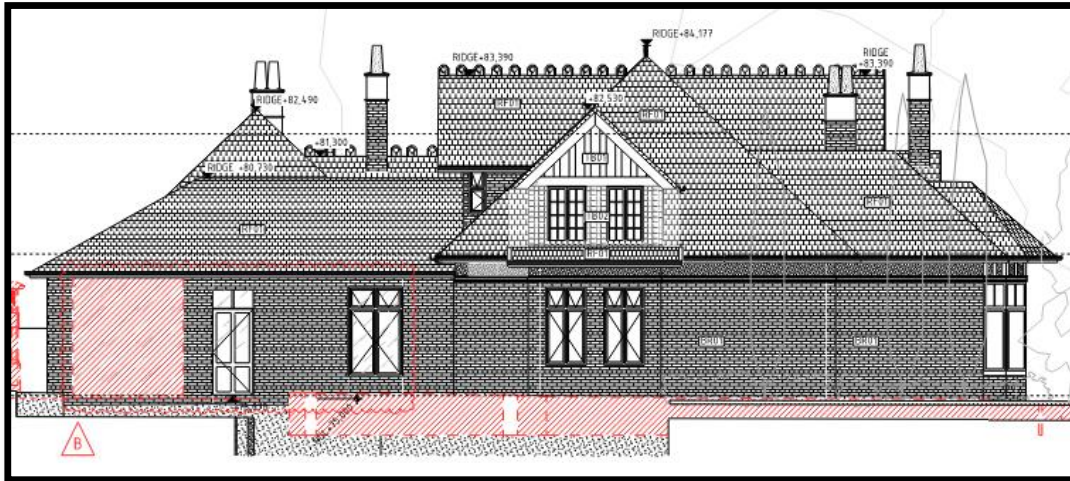
South Elevation:

- Principal Facade - All elements retained.

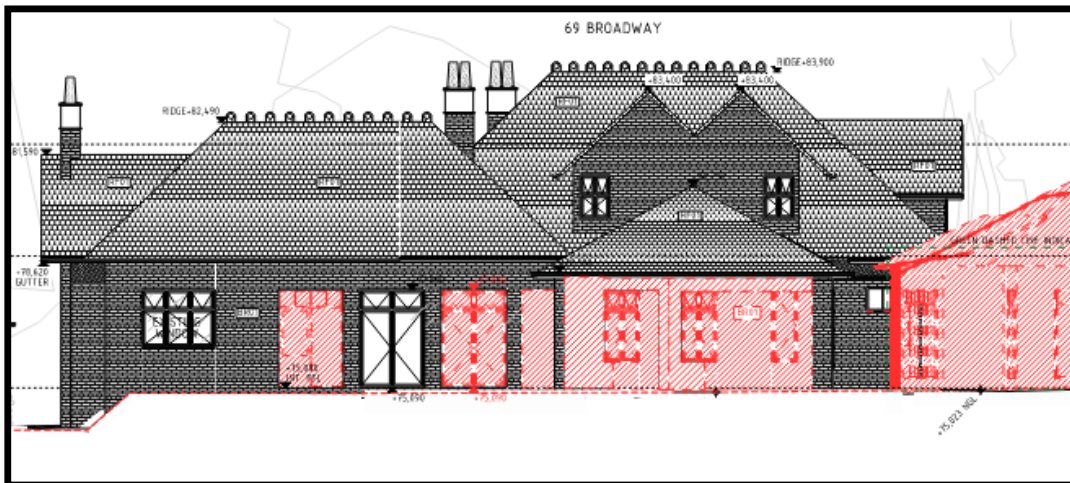
the past. For this reason, the reinstatement of door, which connects to existing internal doorway is supported.

West Elevation:

- Portion of wall.



Above - West Elevation Demolition Plan



Above - North Elevation Demolition Plan (Rear of dwelling)

North Elevation:

- Portion of original wall
- Original openings, including: 5 windows and 1 door.

In relation to the landscaping, the following components are to be removed or demolished:

- Removal of lap pool, located adjacent to northern boundary.
- Removal of Tennis Court.
- Various other landscaping features, such as pathways.

The extent of demolition is largely limited to portions of the dwelling that are not visible from the street and is sections of the building previously altered and does not impact the significance or understanding of the place or Heritage Precinct or the appreciation of the existing host dwelling.



Above - Wall from West Elevation

The extent of demolition has been heavily reduced throughout the process and scrutinised by Council's Heritage Advisor. All unique architectural features, such as the chimneys and roof forms are going to be retained. The extent of demolition is kept below the eaves at all points of the dwelling which results in no modification of the roofline.

It is noted that the proposal seeks to demolish the internal fireplace servicing the dining room and second living room. Given the structural nature that fireplaces provide to chimneys, the permit will feature a condition that requires structural engineering advice to ensure adequate protection is given to the above chimney.

Proposed conditions:

- Correction of the proposed demolition floor plan to show the retention of the eaves for the dwelling.
- Provide structural engineering advice and methodology on how the chimney above the Dining/Living 2 rooms will be supported within the roof space to allow the demolition of the fireplace.

Summer House:

The proposal seeks to demolish the Summer House, not inclusive of the wall on boundary, where connected to 71 Broadway.

Consideration has been given to the heritage value that this outbuilding provides to the site, understanding of the place and relevant comments from the recent VCAT decision. Council's Heritage Advisor noted in the referral that the Summer House was not original, nor significant fabric. Specifically noting that the Heritage Policy seeks to retain *significant built fabric* on the site. Given the significant difference between the dates of construction, the Summer House is not considered to have any significant heritage value. The Summer House is also not noted in the associated Statement of Significance for the subject site, giving it less protection than the original host building.

For the purposes of this assessment, it is noted that Member Gaschk broadly supported the demolition of the Summer House, provided that appropriate assessment had been undertaken in subsequent redevelopment proposals.

The demolition of this outbuilding has been considered during this assessment and the findings of Council's Heritage Advisor agreed with the view of the Member, that the demolition of the non-original outbuilding could be supported.

Alterations and Additions:

Design Response:

The proposed design response is successful in its massing, siting and scale as a response to the significant graded host dwelling. The addition is sited to the rear, with a lightweight pergola structure flanking the kitchen, sitting below the eaves and being a clearly subservient element to the main dwelling.

The lightweight pergola structure connects to the extended living room, which is the main part of the single storey extension. The flat roof, low profile and massing below key significant fabric is successful in keeping the visibility of the extension clearly

subservient to the host building and clearly distinguishable from the ornate and extravagant roof form of the Queen Anne era dwelling.

The lightweight pergola is setback 32m from the street, whilst the main extension is setback 42m, with the latter being approximately located where the existing Summer House is.



Above – 3D Render of the lightweight pergola

Council's Heritage Advisor, as part of their written referral, required that the pergola be a lightweight structure. During the review of the Discussion Plans and meeting, the pergola was identified as being structurally independent of the main dwelling. A condition will be placed on the permit to ensure this.

Proposed Condition:

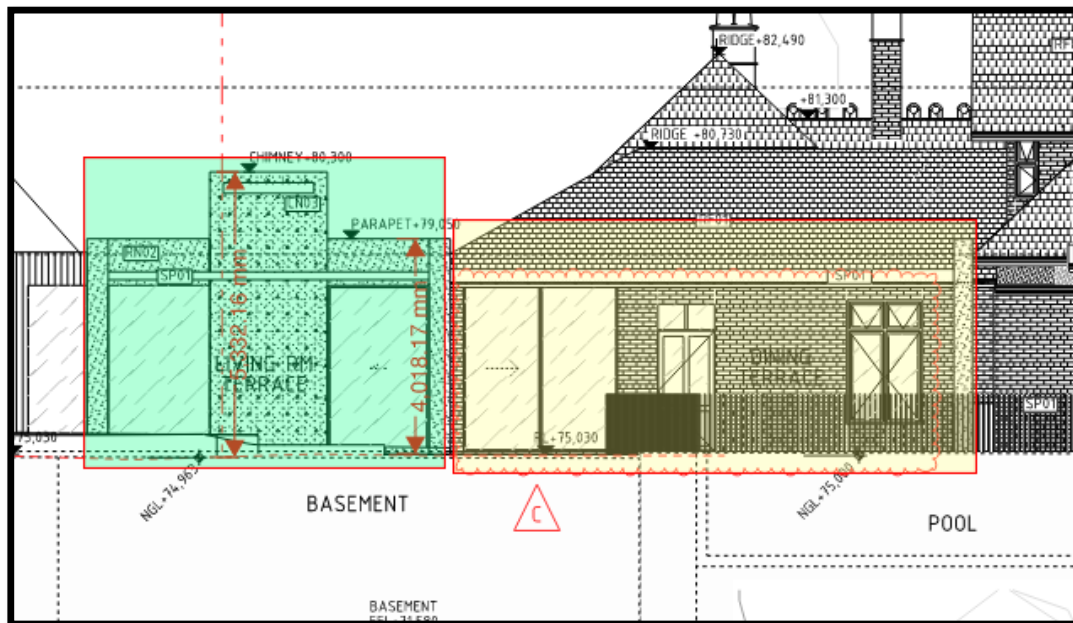
- Provide additional details, either sectional plan or similar, demonstrating that the lightweight pergola is structurally independent from and sits below the eaves of the host dwelling.

The interface with the proposed extension is a high-quality design response, allowing the principal dwelling to continue to address the corner siting, and does not affect the appreciation of the high-quality architecture where viewed from the street. The contemporary architecture is clearly distinguishable from the new and is modest in its scale and location. The highest point of the extension is 5.33m that is below the existing chimney height with the majority of the single-storey extension set at a maximum height

of 4.01m. The modest height, significant setback from the street and contemporary design language are all successful in complying with the Heritage Policy.

The dwelling extension is considered to be sympathetic to the host building, not being designed to replicate historic forms, but to be clearly distinguishable, allowing the materiality on site that has heritage value to remain the focal point of the site.

Given that the whole original roof form is retained as well as many original walls/openings, this allows the extension to be readily removed in the future if the needs of future occupants' changes.



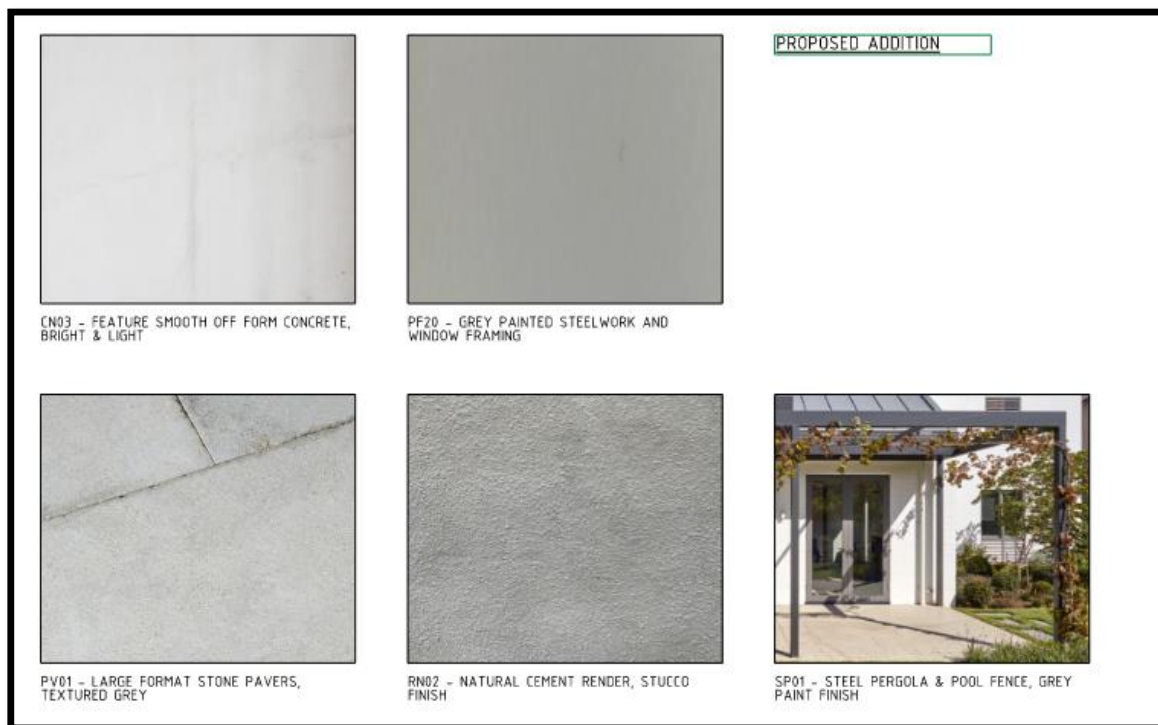
Above - West Elevation - Lightweight pergola structure, shown in yellow and living room shown in green above

Siting:

The extension is located to the rear of the subject site, in the north-west corner. This siting is considered to be the least sensitive and allows for larger setbacks from the street frontage. Clearly distinguishable and behind the commanding presence of the original dwelling, the siting is considered acceptable.

Materials:

The materiality and colours are contemporary in nature and serve as an appropriate backdrop to the regal brickwork, tiles and stucco of the original dwelling.



Above - Material Schedule

The lightweight pergola structure is noted as being of being constructed of steel, finished in a grey paint (PF20 above). The remainder of the ground floor extension is to be finished in smooth off form concrete, where relating to the chimney and a grey stucco/render finish, where relating to the walls of the extension.

The materiality and finish are supported due to the clear distinction able to be made from the extension and the original building. The grey contrasts successfully with the warmer colours found on the host building and further aides in the identification of contemporary forms and the significant fabric on site.

Basement Entry & Basement:

The proposal also seeks to provide for a basement with 6 car parks, bike workshop, gym, home theatre and other recreational/services. The basement will not be visible from the street and on that basis, it is supported.

The basement entry will be located 5.2 metres from the southern Broadway frontage, behind the existing front gate. The entrance is kept largely at grade, where feasible to cut down on visibility as it will be flush with the natural ground level. The entry wall is to be finished in a natural cement render, which is supported due to the siting away from

the main dwelling, scope for new soft landscaping the associated basement entry walls is to be finished in the same grey render as the main dwelling extension. Given the requirement to have the basement entry fenced, the fence treatment is to be a 1.2m steel batten style fence, that terminates behind the projected bay window in line with Council's Heritage Advisor's recommendation.

Council's Heritage Advisor noted that the surface treatment to the basement entry was to be concrete aggregate, to match existing. This detail was taken from the HIS and Landscape Plan. Council will provide the following condition to ensure this surface treatment is provided on the final endorsed set.

Proposed Conditions:

- Provide the basement entry surface finish as concrete aggregate and update the material schedule.

OBJECTION RESPONSE

Those matters not already addressed in the foregoing report are discussed below:

Total Number of Objections Received:	14
Summary of Objection	Officer Comment
Demolition of Summer House	<p>The Summer House is not mentioned in the Statement of Significance, nor is it significant in of itself.</p> <p>Council does not give its retention the same value as the significant fabric of the main building. This is reflected in the delegate report and the Heritage Referral.</p> <p>This has been discussed in detail in the 'Demolition' section of this report.</p>
Architecture of extension is not in keeping with the dwelling or heritage precinct.	<p>The proposed dwelling extension is in line with Heritage Policy and is supported. The design language is clearly distinguishable as a contemporary insertion and reads as a secondary, subservient element to the heritage dwelling.</p> <p>This is discussed in the 'Alterations & Additions' section of the report.</p>

Impacts of basement to aquifers.	<p>Council cannot consider the perceived impact to aquifers in the area associated with this application.</p> <p>Council is limited in its assessment, being that of the decision guidelines of the Heritage Overlay and any incorporated documents that have statutory weight.</p> <p>If the project progresses, drainage assessment will be completed under the Building Permit stage.</p>
The extension will impact the significance of the objectors dwelling	The impact created by a dwelling extension in a Heritage Overlay has no basis on the heritage value of individual houses in the precinct.
The extension is visible from the street	<p>The main part of the extension is setback over 40m from Broadway and would not be readily visible from the street.</p> <p>Notwithstanding the above, the proposal also complies with the sight-line test at Clause 15.03-1L.</p>
No evidence that the works will aide in the long-term conservation of the property	<p>The proposal has been designed and massed in a way to retain significant built fabric.</p> <p>Given the overall minimum alteration to significant and contributory built form, the long term conservation of the property will be assured. Modern facilities will be provided as a part of the dwelling offering that will co-exist with the heritage fabric.</p>
The extension is too large	<p>There is no control over the quantum of extension allowed on a heritage property.</p> <p>A part of the building permit process will assess the application against various siting regulations.</p>

	<p>The extension is a ground floor only extension, with the ceiling height being 4.01m high above natural ground level.</p> <p>The design response is subdued in its approach to providing improved internal amenity for future owners, with a minor increase to floor area and overall building height.</p>
Mock heritage architecture should be used.	<p>The proposed design response is in line with Heritage Policy, which seeks to support additions that:</p> <p><i>Ensure Interpretive, that honestly admit their modernity while relating to the heritage character of their surroundings, or are a replication of historic forms and detailing.</i></p> <p>There is no requirement for the design language to be faux Queen Anne Era.</p>
Material schedule omitted from advertising documents	<p>The material schedule was inadvertently omitted by Council in the preparation of the material for public notice.</p> <p>This is not grounds for the application to be re-advertised. Copies of the material schedule were made available to residents who may have sought further clarity on this aspect of the proposal.</p> <p>The materials schedule is also contained within this report.</p>
Visibility of basement entry.	<p>The basement entry will have limited to no visibility from the street and has been sited to maximize the distance from the original dwelling, given the dwelling was designed to be 'seen in the round'.</p> <p>This has been discussed in the 'Alterations and Additions' section of this report.</p>

Home owner no longer lives in house.	Whether or not an applicant lives in/or owns a home does not influence Council's assessment of the application.
The proposal will breach the covenant.	The application will not breach the covenant. This is discussed in the 'Covenant' section of this report and is supported by external advice received by Council.
The proposal does not have a pitched roof.	<p>There is no requirement in the Heritage Policy for extensions to have a pitched roof.</p> <p>The absence of a roof reduces the overall size and bulk of the addition which assists in lowering it's impact to the host dwelling and streetscape, in general.</p> <p>The proposed design response is in line with Heritage Policy.</p>
Impact to peppercorn tree at 71 Broadway	The planning controls that relate to the site do not have any specific tree controls under the Boroondara Planning Scheme. However, a Tree Management Plan has been provided as a means to demonstrate that the extension will not have an impact on the peppercorn tree. The basement works will require a Tree Protection Local Law permit to ensure that this tree can be protected and retained.

Clause 15.03-1L - Heritage

<p>Clause 15.03-1L 'Significant' heritage places</p> <p><i>To preserve 'significant' heritage places, protecting all significant heritage fabric including elements that cannot be seen from the public realm.</i></p> <p><i>To facilitate sympathetic new buildings which extend the life of 'significant' heritage places.</i></p> <table border="1"> <thead> <tr> <th>Consider the following policies (as appropriate):</th> <th>Assessment</th> </tr> </thead> <tbody> <tr> <td>Demolition</td> <td>✓ Complies</td> </tr> <tr> <td>Conservation and alterations</td> <td>✓ Complies</td> </tr> <tr> <td>Additions and New Buildings</td> <td>✓ Complies</td> </tr> <tr> <td>Fences</td> <td>N/A</td> </tr> <tr> <td>Landscape setting</td> <td>✓ Complies</td> </tr> <tr> <td>Vehicle accommodation, outbuildings and services</td> <td>✓ Complies</td> </tr> <tr> <td>Roads and laneways</td> <td>✓ Complies</td> </tr> </tbody> </table>	Consider the following policies (as appropriate):	Assessment	Demolition	✓ Complies	Conservation and alterations	✓ Complies	Additions and New Buildings	✓ Complies	Fences	N/A	Landscape setting	✓ Complies	Vehicle accommodation, outbuildings and services	✓ Complies	Roads and laneways	✓ Complies
Consider the following policies (as appropriate):	Assessment															
Demolition	✓ Complies															
Conservation and alterations	✓ Complies															
Additions and New Buildings	✓ Complies															
Fences	N/A															
Landscape setting	✓ Complies															
Vehicle accommodation, outbuildings and services	✓ Complies															
Roads and laneways	✓ Complies															

Residential Zone

The Garden Area provisions of the Boroondara Planning Scheme do not apply unless there is a permit trigger under the zone. In the case of this application, where a permit is required under the Heritage Overlay only, Garden Area will be assessed under the Building Regulations.

Clause 32.09-9 Maximum Building Height

A building must not be constructed for use as a dwelling or a residential building that:

- Exceeds the maximum building height specified in a schedule to this zone; or
- Contains more than the maximum number of storeys specified in a schedule to this zone.

Mandatory Maximum Building Height (NRZ3)			
	Requirement	Proposed	Assessment
Building height requirement	9m	7.24m (No change)	✓ Complies
Maximum number of storeys	2	2 (No change)	✓ Complies

INTERNAL REFERRALS (Appendix)

The application was referred to the following:

Heritage

Please note that the attachments and hyperlinks have been omitted from this reproduction of the comments.

Heritage Referral

Application Address:	69 Broadway, Camberwell
Application Number:	PP22/0734
HO precinct:	HO 159 - Prospect Hill Road Precinct
Grading:	Significant
Description of Proposal:	Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay
Section 57A amendment:	No
VicSmart:	No

Pre-Application Meeting or advice:	Yes
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Relevant Planning History:	Yes
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Specific Planner's Instructions:	Please turn your mind to Council's previous position on the retention of the summer house.
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Era of Building:	Federation Queen Anne
Statement of Significance	<p>https://www.boroondara.vic.gov.au/media/file/heritage-policy-statements-significance-reference-document.pdf</p> <p>The Prospect Hill Road Precinct, Camberwell (HO159), is of heritage significance for the following reasons:</p> <p>-The areas north of the railway line comprise a generally intact collection of late Victorian and</p>

	<p>Federation houses, all very well designed and with a high level of integrity to their gardens and street appearance. The precinct is one of the most intact and homogenous estates of this type in Melbourne, rivalling the Central Park- Stanhope Street region in Malvern and the other leading Boroondara concentrations of this period, the Grace Park Estate in Hawthorn (HO152) and the Barry Street Precinct in Kew (HO143). It is the foremost precinct of combined late Victorian-Federation building stock in the former Camberwell municipality.</p> <p>- Many late Victorian and Federation houses in this area have been custom-designed, giving the precinct a distinct identity (this is particularly true for areas north of Prospect Hill Road). The area as a whole is marked by a general cohesion in scale, address of the streets, property dimensions, materials and detailing and fence height. Though there are variations, the streets have a general uniformity in their mature street tree coverage, basalt kerbs and pitching, asphalt foot paving, and driveway width. Within the general precinct heavy traffic volumes have been kept to four streets in three axes: Stanhope Grove-Trafalgar Road, Prospect Hill Road, and Broadway west. The Read Gardens, a small but mature park, is a central focal point.</p> <p>-The north-western section of the Prospect Hill Precinct, the former Tara Estate (bounded by the south side of Canterbury Road, the east side of Loch Street, the south side of the Broadway and the western edge of HO159), is Camberwell's most intact and distinguished concentration of Victorian and Edwardian building stock. It was developed from 1890 following the subdivision of the land around John O'Shannessy's residence, Tara (1859, now 2 Berwick Street). The area has a high level of visual cohesion and period expression, deriving from its consistency of scale, form, materials and siting. Many buildings within the Estate are of individual distinction, having been custom-designed in variations on the prevailing Italianate and Federation styles. This area also features some interwar development.</p> <p>-The general late-Victorian and Federation character of the Prospect Hill Precinct is modulated by the former Hollies Estate along Cookson Street, which comprises</p>
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	<p>an excellent and intact series of interwar designs spanning that entire period (1919-1940), and including the Christian Science Church, winner of the Victorian Architecture Medal in 1938. The interwar character of the group is enhanced by the survival of original fences, mature gardens and street surfacing, and relates well to the existing railway cutting landscape to the south.</p> <p>-To the east of the Tara Estate, the Russell Estate (bounded by Russell Street, the south side of Canterbury Road, the Broadway and Sefton Place and the railway line) was subdivided between 1888 and 1903 and was largely developed by the 1920s. Its building stock is predominantly late Victorian and Federation but also features some interwar development. At the north-eastern corner of the Prospect Hill Precinct, Broadway and Sefton Place are generally Federation in character, and feature a number of Queen Anne villas of individual distinction.</p> <p>-South of the railway line, development is predominantly late Victorian and Federation in character and includes, in Royal Crescent/Craig Avenue, a particularly fine collection of Queen Anne villas.</p> <p>-Also south of the railway line but north of Prospect Hill Road, the former Prospect Hill Estate extends from the west side of Lorne Grove eastward. Building stock in this area is generally consistent with the late Victorian and Federation theme of the place as a whole, although there is also some interwar development.</p> <p>-The southern areas of the Prospect Hill Precinct (from the south side of Prospect Hill Road to the southern edge of the precinct) were developed for the Riversdale, Kasouka and Gladstone Park Estates from the late nineteenth century. As for the balance of the precinct, these areas are predominantly late Victorian and Federation, with some streets of particularly high integrity and with individually significant buildings. The south-eastern corner of the precinct (Brinsley and Wandin Roads and part of Riversdale Road) comprises a mix of Federation and interwar Bungalow houses, and is generally less intact.</p>
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	<p><u>Significance of Individual Property</u></p> <p>The subject dwelling is a 'significant' heritage place within HO159, with the following Individual Statement of Significance drawn from the heritage database Hermes:</p> <p><i>Architecturally, a highly successful but partly altered Queen Anne style house, designed by its major practitioners, which is enhanced by the surrounding Queen Anne precinct and its corner siting.</i></p> <p><i>Historically, considered with the nearby George Vial house, this corner is expressive of the rising middle classes born from the emerging secondary industries in Victoria, in this case the leather manufacturing trade. As well as reflecting the subtle evolution of post-Federation house styles, most houses investigated in the Broadway were inhabited by the families of solid businessmen. They represent the domestic style of the upper middle class, a group which most clearly led Camberwell's rebirth after the depressed 1890's: of local and regional importance.</i></p> <p>Research shows that the original dwelling, built by 1904 and named 'Wee Nestie', remains on site. The pool house was added by 1945 and the dwelling extended to the south east after 1945 in a like-for-like style to the original dwelling (see below images).</p> <p>Although partly altered, the dwelling continues to represent a very strong example of a Queen Anne style house which is both individually significant and contributory to the wider precinct.</p> <p>Solar energy controls apply, but no relevant external paint controls, internal alteration controls or tree controls apply under the Schedule to Clause 43.01.</p>
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Assessment against Clause 15.03 Heritage

15.03-1L Significant heritage places strategies

Retain significant built fabric and not normally allow demolition.

Permit partial demolition of significant built fabric for the purpose of additions and alterations only if the partial demolition, additions and alterations will not adversely

affect the cultural heritage significance of the place and will assist the long term conservation of the building.

Support the demolition of non-original and non-contributory additions.

Ensure alterations, including restoration or reconstruction works, maintain the significance and integrity of the heritage place.

Encourage reconstruction of features or finishes formerly removed, only where historic evidence of original or earlier appearance can be found.

Ensure that materials and restoration techniques consistent with the historic period of the heritage place are used.

Discourage the painting of previously unpainted surfaces. This does not apply to non-original features.

Discourage the rendering of previously non-rendered surfaces.

Discourage painting in a manner that detracts from the understanding of the place, including painting in corporate colours, painting over and covering windows and the loss of contrast that provides for articulation of heritage features.

Discourage sandblasting of rendered, masonry or timber surfaces.

Discourage the introduction of architectural features, unless there is evidence that they were originally present.

Ensure development does not alter fabric that contributes to the cultural heritage significance of any part of a 'significant' heritage place including elements that cannot be seen from the public realm.

Ensure development does not obscure fabric that contributes to the cultural heritage significance of any part of a 'significant' heritage place that addresses the public realm.

Use materials and surface finishes that are complementary to the fabric of the heritage place.

Encourage the reuse of previously demolished building materials from the heritage place in the design and construction of new additions to buildings.

Incorporate design details that complement the design of the heritage place (including the type and form of windows, doors, architectural features and verandahs), that are:

- Interpretive, that honestly admit their modernity while relating to the heritage character of their surroundings, or are a replication of historic forms and detailing.*
- Located and massed in a manner that does not detract from or dominate significant fabric of the heritage place (through siting and massing). This should be achieved utilising a combination of setbacks, heights and physical separation as appropriate. This does not apply to commercial buildings.*
- Located to the rear of the heritage place, where possible.*
- Sympathetic with heritage fabric of the place rather than any 'non-contributory' elements of the place.*

Discussion:

It is proposed to demolish the following (in summary - refer to demolition plans for full detail):

Main dwelling - exterior ground floor

- An east¹-facing window to the verandah to the main façade (facing Broadway)
- A number of existing openings and portions of wall to the northern and eastern facades (not facing Broadway), including portions of the original fabric and post-1945 additions

Main dwelling - roof

- A small portion of the original hipped roof (eave) to the northern portion of the dwelling (not facing Broadway)

Outbuildings and landscaping

- 'Summer house' (except wall on boundary) and adjoining storage shed
- Lap pool, associated paving and safety fence
- Tennis court
- Pathway leading to the main entry
- Pathways and water-feature to the west of the dwelling
- Water-feature to the south of the dwelling
- Existing driveway
- Small trees to the south and east of the tennis court, and to the west of the dwelling

The extent of the proposed demolition that does not affect original or early (and therefore potentially significant fabric) can be supported without discussion. This includes:

- Lap pool, associated paving and safety fence
- Tennis court (removed to enable excavation and construction of the below-ground portions of the proposed development, which (it is assumed) would be substantially reinstated in a like for like ground profile).
- Existing openings and wall in post-1945 portion dwelling, being those on the northern elevation of the existing dining-kitchen space

The proposed removal of hard and soft landscaping elements (including existing driveway) are discussed below under 'Landscaping'.

The proposed demolition of the 'Summer house' can be supported. The 'Summer house' is not original. Although it is pre-1945 (and potentially 1920s) this situates the 'Summer house' in a later stylistic era than the original Queen Anne dwelling, and thus too late to be considered early fabric with significance associated directly with the main dwelling. Nor is it considered significant in its own right, noting it is not identified in the individual place statement of significance and is reasonably

¹ Noting the dwelling is positioned broadly diagonal to a north-south axis, and so the descriptions of elevations here follow those in the applicant's drawings.

extensively modified. It is noted that this analysis and conclusion corresponds with (but is arrived at independently from) the finding of VCAT in *Verrocchi v Boroondara CC* [2022] VCAT 94 [at 109]. Nevertheless, it is of historical interest as part of the evolution of the site. As is recommended by the applicant's heritage advisor in the Heritage Impact Statement that accompanied the application, it is recommended that a photographic survey of the existing summerhouse be undertaken prior to demolition, and the resulting material be presented to Council for archival purposes.

The proposed demolition of the east-facing window to the verandah to the main façade can be supported in light of the evident alteration of this opening, as described in the applicant's Heritage Impact Statement.

The proposed demolition to the northern and western elevations of the original building (including walls, windows, doors and a portion of the roof/eave - see extract from demolition plans below) require further discussion, as follows.

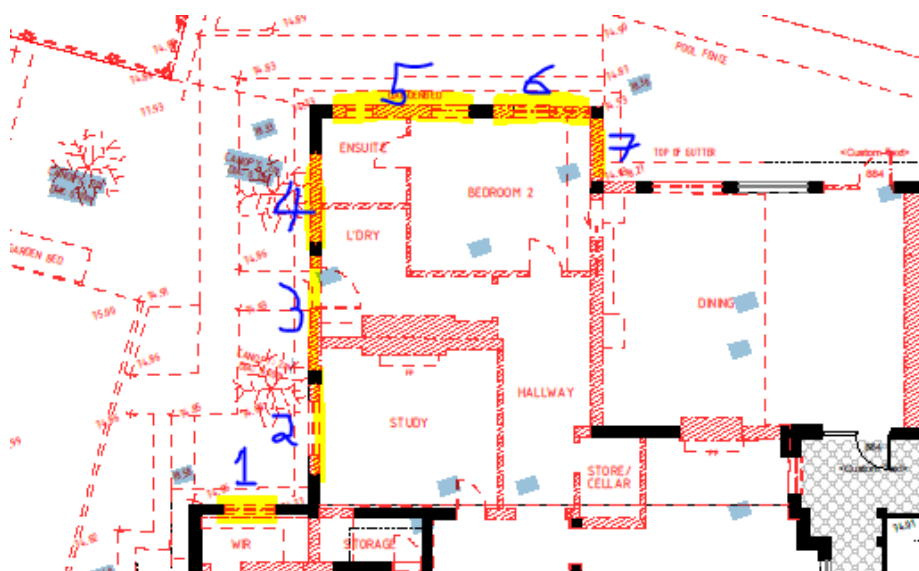


Figure 1. Annotated ground floor demolition plan.



A photograph of a red brick house with a tiled roof. A large, mature tree stands in the front yard, casting shadows on the brick wall. A paved walkway leads from the foreground towards the house. The sky is clear and blue.

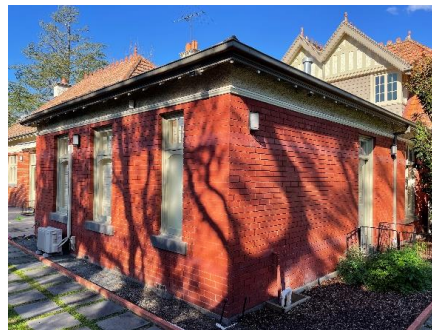


Figure 3. Photographs of rear wing (supplied by applicant)

It is claimed in the applicant's Heritage Impact Statement (HIS) that this portion of the building features 'reconstructed windows, openings, possibly reconstructed walls', and in support the HIS shows an aerial image of the house during its period as a hospital, prior to its reconversion into a residence and the clearly substantial alterations that would have been required to accommodate this. No further substantiation has been provided, and it is noted from the 1904 MMBW image that this portion of the house (at least in footprint) appears to be original.

Here it is also relevant to consider that while this area may not be visible from the public realm, as was recently confirmed in the VCAT decision as a general principle for interpreting the Boroondara Heritage Policy:

...the fact one cannot see the loss of the original fabric on the building from the public realm, does not alter the key focus of heritage policy that firstly seeks to preserve all original heritage fabric. The starting point as stated under clause 22.03 [now 15.03] must be to preserve significant heritage places, whether they can be seen from the public realm or not. By extension, this extends to the loss of any original heritage fabric that cannot be seen from the public realm. In my view, it is not significant or relevant whether one can see the original fabric from the street setting or not.

- *Verrocchi v Boroondara CC* [2022] VCAT 94 [at 98].

It is noted that the VCAT member specified 'all original *heritage* fabric' [my emphasis] rather than simply 'all original fabric'. For fabric to be considered 'heritage' it is necessary to be regarded as having a degree of significance. This is consistent with Boroondara's Heritage Policy, which states 'Retain *significant* built fabric and not normally allow demolition' and 'Permit partial demolition of *significant* built fabric for the purpose of additions and alterations only if the partial demolition, additions and alterations will not adversely affect the cultural heritage significance of the place and will assist the long term conservation of the building' [my emphasis].

In light of the above analysis and guidance, it is recommended that the extent of proposed demolition be limited to points 5, 6 and 7 shown at Figure 1 above, as the minimum required to reasonably accommodate a connection between the original fabric and new development at the point of minimum impact to potentially original features—that is, at a point that will not affect the cultural significance of the place. It is further recommended however that demolition be to the below eaves portions only and that demolition of the eaves and roof form (shown as number 8 on Figure 2 above) be removed from the proposal, as there is no evidence that this original (and significant) fabric has been altered. It is assessed that this extent of demolition would not adversely affect the significance of the place, and allow an addition that may enable long term continuing use of the building otherwise completely intact and thus encourage its conservation.

Additions / alterations:

It is proposed to construct the following (in summary - refer to plans for full detail):

- A single storey pavilion-style addition to the north-west of the main retained building, incorporating an al fresco terrace adjoining the pool area
- Further al fresco areas to the west (covered with an open steel pergola) and north of the retained building (open), with associated paving and (to the north) garden beds
- A substantial underground addition to the west of the retained building, incorporating carparking (for six vehicles); gym; games room with bar; wine room; home theatre; bike store/workshop; sauna; and sundry services/storage spaces. (Note that vehicle accommodation is addressed in a separate section below);

It is further proposed to alter the existing building to replace an east-facing window to the verandah to the main façade with a new (period reproduction) door. New steps are proposed for the front veranda at the east of the house, intended to match existing steps at the front entrance (south).

I address the proposed single storey addition before turning to the other proposed additions / alterations.

Siting

The proposed single storey addition would be sited to the north west portion of the property, and north/north-west of the retained significant building. It would be broadly situated in the least sensitive (and thus preferred) portion of the site from the perspective of substantial new additions, in a location that would be as far as possible from both street frontages and behind the front and most ornate portion of the retained building. The siting is therefore supported.

Height and Setbacks

The proposed single storey addition would be of a modest height, at approximately 5.33m at the highest point, just above the height of the eaves of the retained significant graded building. A chimney would be at 5.33m height. As noted above, the overall setback from the street (as viewed from the closest point, ie south) would be behind the rear building line of the retained significant graded building. The height and setbacks are supported.

Building Form

It is proposed to build a low, rectangular pavilion-style addition with large glazed bays. The building form would be easily distinguishable from the retained significant Queen Anne building as a contemporary addition. It would emphasise a sense of horizontality, in keeping with the lower level of the retained building but clearly distinguishable from and subservient to the strongly diagonal and vertical emphasis of the Queen Anne forms. The proposed building form is supported.

Roof Form

The proposed roof form is flat. This is in keeping with the contemporary, broadly modernist scheme and allows the pavilion to retain a low profile and refrain from any competition in scale or form with the retained Queen Anne roof forms, which are a substantial part of the building's significance. The proposed roof form is supported.

Materials, surface finishes and details

It is proposed to use a combination of natural cement render finish for the walls, exposed smooth off form concrete for the chimney, and large glazed windows/sliding doors. The materials and proportions all reinforce the contemporary architectural approach and contrast with those of the Queen Anne building. In the circumstances, having regard to the siting, scale and profile of the proposed addition, these can be supported as a relatively neutral, understated backdrop to the dramatic scale and material palette of the retained Queen Anne building, reading less as an alteration and more as an individual building achieving a degree of separation.

Terraces / al fresco areas

The proposed terraced al fresco / kitchen garden area to the north is supported.

The proposed terraced area to the west is supported, subject to the recommendation that any alfresco area in this location retain the original openings to the building (as recommended above) and replace the proposed steel pergola (which from the roof plan appears to have an awning) for a more lightweight shading option that minimises intervention in, and ideally is independent from, the original built fabric.

Alterations to front façade / verandah

It is noted that the proposed conversion of the window under the verandah to the east of the house into a door is supported by the applicant's heritage advisor, who states that the window and its opening has been modified but that the bluestone sill may remain original. It is proposed to include a period reproduction door (possibly date-stamped to ensure it is not mistaken for authentic fabric). It is agreed with the heritage advisor that such an alteration would not normally be supported, but that the degree of alteration of the opening that is evident allows this minor modification to the façade. It is further noted that in plan this opening appears to line up with a formal hallway, and so it is not entirely impossible that this would not be reinstating a former door from a previous period. The proposed replacement is supported, and it is recommended that the proposed new door feature a date stamp that is not capable of being painted over, to show its provenance, ensuring it is not mistaken for original fabric on close inspection.

The proposed new steps can be supported as a minor addition to the façade that would not reduce the significance of the place.

(see below for matters relating to fences, vehicle accommodation, outbuildings, services, landscaping, signage, commercial buildings and subdivision)

15.03-1L All places - landscape setting strategies

Retain or restore (where evidence can be found) original hard and soft landscape elements that contribute to the significance of the heritage place.

Design hard and soft landscaping to not detract from the heritage values of the place.

Discussion:

The proposed landscaping includes the following (in summary - refer to plans for full detail):

- Pool, pool terrace and fence
- Internal fence between the proposed vehicle ramp entry and retained significant graded house
- 'Pickleball' Court
- Various minor hard and soft landscaping

The proposed pool, terrace and fence would be positioned in part of the area formerly taken up by the tennis court, and well away from the house. The terrace, although sizable, would not constitute an unreasonable area of hard landscaping, again noting the portion of soft landscaping between it and the house which would in fact be greater under the proposal than it is currently with the tennis court and associated fencing. The pool and terrace is supported.

The proposed internal metal rod fence between the proposed vehicle ramp entry and retained significant graded house is a new landscape element that would be positioned forward of the existing low fence in this vicinity. While it would be visually permeable, it would nevertheless be an intrusive contemporary element in this sensitive portion of the façade (being an original projecting bay) and it is recommended that it be positioned so as to join the house approximately at the point at which the existing fence does. This would provide greater clearance at this corner of the property from this visually intrusive element.

15.03-1L All places - vehicle accommodation, outbuildings and services strategies

Ensure vehicle accommodation and other services do not dominate heritage places.

Minimise new vehicle cross-overs for heritage places with narrow street frontage, where few or no crossovers exist or where rear laneway access is available.

Discourage the widening of vehicle crossovers, or the construction of large areas of paving or other hard surfaces in the front setback where this is not responsive to the heritage place, except in the interests of traffic safety.

Encourage the location of new carports, garages and outbuildings to the rear of the main building (excluding verandahs, porches, bay windows or similar projecting features) except where the character of the heritage place supports the location of carports, garages and outbuildings to the side of the heritage building behind the main front building line.

Encourage any new carports, garages and outbuildings that are visible from the street to use wall openings, roof forms and materials that complement the main building or the characteristics of the heritage precinct.

Discourage the location of swimming pools in the front setback.

Support rain water tanks, hot water systems, air-conditioning units and other equipment in areas visible from the street only where they will not detract from the heritage significance of the place.

Avoid visible roof fixtures, such as solar panels, on the principal visible roof form.

Ensure visible roof fixtures are aligned with the profile of the roof and not mounted on protruding frames.

Discussion:

It is proposed to accommodate vehicles via a new driveway and large vehicle apron / turning circle in the front setback (material not specified), and a vehicle ramp leading to an underground carpark with space for up to six vehicles, ramp also to be located in the front setback to the south west of the retained contributory building.

At its closest point, the vehicle ramp and its infrastructure (including a concrete retaining wall, and aboveground balustrade/fence of approximately 1.2m) would be approximately 4.5m from the projecting bay of the retained significant Queen Anne dwelling. It is offset to an angle away from the dwelling and would be of minimal visibility from the streetscape as it stands currently, however the Boroondara Heritage Policy requires a disregard of vegetation and fences as permanent

screening when determining if a proposed addition is visible from the street for significant and contributory heritage places. It is also important to consider as noted in the applicant's HIS that it was established at VCAT that the dwelling was designed to be seen 'in the round'.

The proposed position of the ramp maximises landscaping to the west of the retained house, however given the size of the land parcel, it is difficult to understand why the siting has been chosen in such relatively close proximity to a sensitive portion of the house, being a street-facing projecting bay. It is therefore recommended that the siting of the basement ramp entry be reconsidered to provide greater clearance from the retained significant graded dwelling. In considering alternative options, it is recommended also that the degree of visibility from the streetscape and the need to retain landscaping be considered.

The proposed driveway would (according to the landscape plan and HIS) be constructed in a concrete aggregate material similar to existing. This is supported. However, the extent of paving associated with the large vehicle apron / turning circle in the front setback is not supported, as this would incorporate 'large areas of paving or other hard surfaces in the front setback where this is not responsive to the heritage place' as is clearly discouraged in the heritage policy. It is recommended that this portion of the proposed paving be removed from the proposal so as to remain as is or that any new driveway be no wider than existing.

Recommendations

On heritage grounds the works proposed in this application should be modified as follows prior to further consideration:

	Suggested condition	Explanation
1	A photographic survey of the existing summerhouse be undertaken prior to demolition, and the resulting material be presented to Council for archival purposes.	<i>The proposed demolition of the 'Summer house' can be supported as it is not original or significant fabric. Nevertheless, it is of historical interest as part of the evolution of the site.</i>
2	The extent of proposed demolition be limited to the portions shown at points 5, 6 and 7 (below the eaves) in the annotated ground floor demolition plan at Figure 1.	<i>This would be the minimum required to reasonably accommodate a connection between the original fabric and new development at the point of minimum impact to potentially original features—that is, at a point that will not affect the cultural significance of the place.</i>

3	Demolition of the eaves and roof form (shown as number 8 on Figure 2 above) be removed from the proposal.	<i>There is no evidence that this original (and significant) fabric has been altered.</i>
4	The proposed alfresco area to the west retain the original openings to the building (See Recommendation 1 above) and replace the proposed steel pergola (which from the roof plan appears to have an awning) for a more lightweight shading option that minimises intervention in, and ideally is structurally independent from, the original built fabric.	<i>This would allow the proposed structures to retain significant fabric and not dominate the heritage place.</i>
5	Any door replacing the window under the verandah to the east of the house feature a date stamp that is not capable of being painted over.	<i>This would show the provenance of the new fabric, ensuring it is not mistaken for original fabric on close inspection.</i>
6	The proposed internal metal rod fence between the proposed vehicle ramp entry and retained significant graded house be positioned so as to join the house approximately at the point at which the existing fence does.	<i>The proposed internal metal rod fence is a new landscape element that would be positioned forward of the existing low fence in this vicinity. While it would be visually permeable, it would nevertheless be an intrusive contemporary element in this sensitive portion of the façade (being an original projecting bay). The recommendation would provide greater clearance at this corner of the property from this visually intrusive element.</i>
7	The siting of the proposed basement ramp entry be reconsidered to provide greater clearance from the retained significant graded dwelling. In considering alternative options, it is recommended also that the degree of visibility from the streetscape and the need to retain landscaping be considered.	<i>At its closest point, the vehicle ramp and its infrastructure (including a concrete retaining wall, and aboveground balustrade/fence of approximately 1.2m) would be approximately 4.5m from the projecting bay of the retained significant Queen Anne dwelling. As noted in the applicant's HIS it was established at VCAT that the dwelling was designed to be seen 'in the round'. Given the size of the land parcel, it is difficult to understand why</i>

		<i>the siting has been chosen in such relatively close proximity to a sensitive portion of the house.</i>
8	The large vehicle apron / turning circle in the front setback be removed from the proposal so as to remain as is or that any new driveway be no wider than existing.	<i>This would incorporate 'large areas of paving or other hard surfaces in the front setback where this is not responsive to the heritage place' as is clearly discouraged in the heritage policy.</i>

PLANNING				NOT FOR CONSTRUCTION	
DATE	NO	REVISION		BY	REVISION
05/08/2022	01	ISSUE FOR PLANNING APPLICATION		AC	16/03/23
05/01/2022	A	RESPONSE TO COUNCIL #PI		AC	19/6
10/07/2023	B	RESPONSE HERITAGE ADVISOR RECOMMENDATIONS		AC	19/6
31/03/2023	C	RESPONSE HERITAGE ADVISOR RECOMMENDATIONS & OBJECTIONS		AC	19/6

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PROJECT

VERROCCHI HOUSE

69 CROWBERRY

CAMBERWELL, VIC

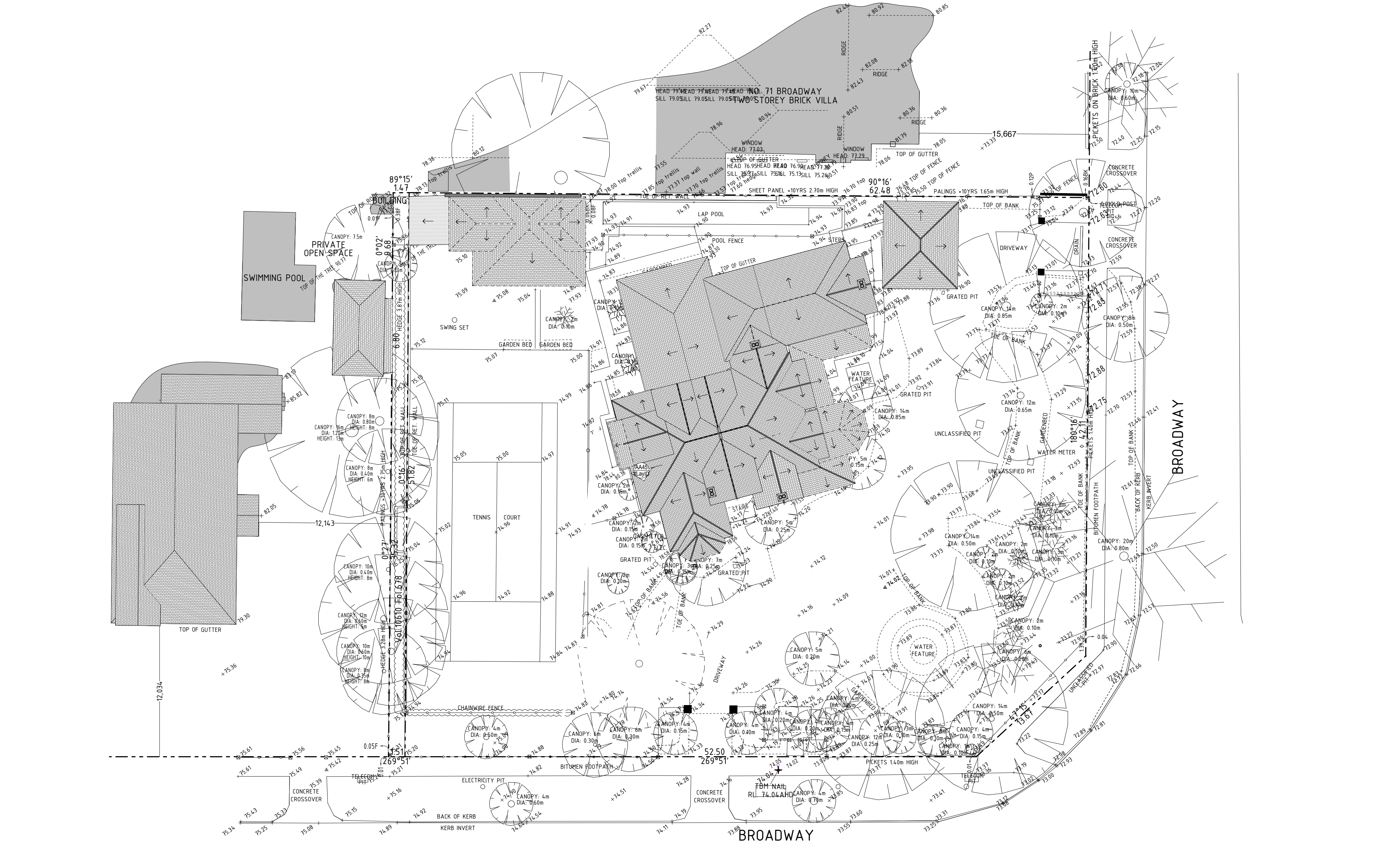
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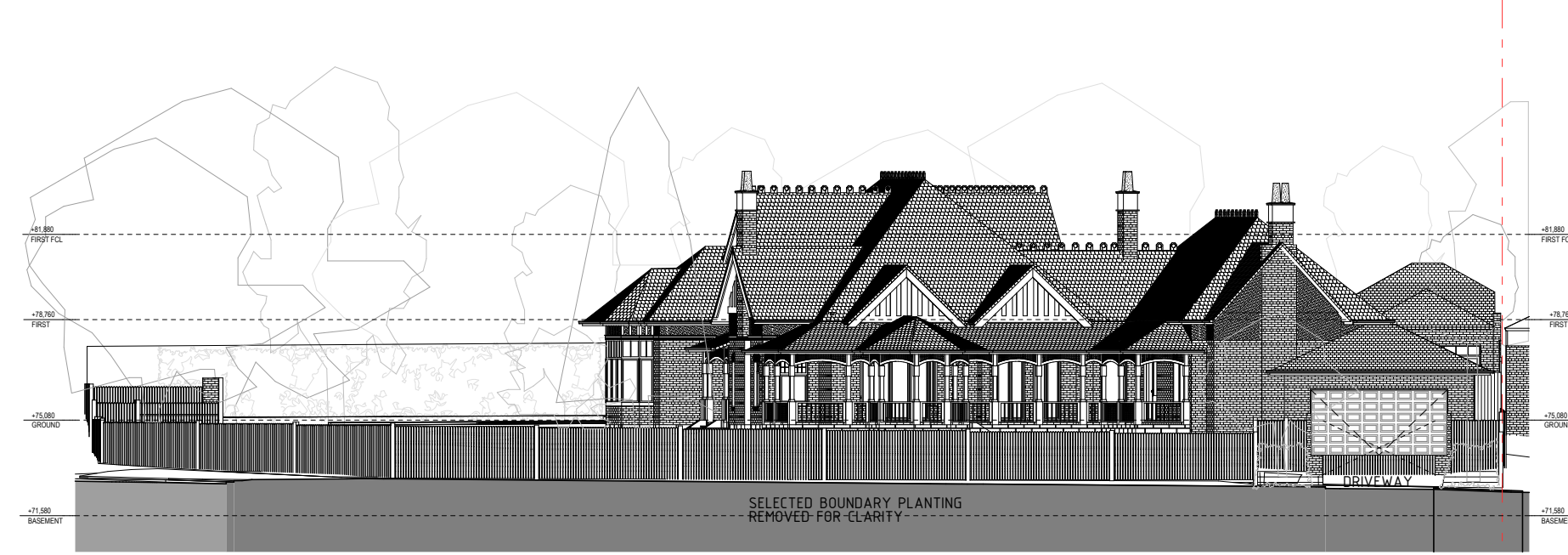
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DRAWN	AC	DRAWING NO	
RECEIVED	P&G	TP0-01	REV NO

PRINTED: 21/06/2023

VERROCCHI CAMBERWELL WITHOUT PREDPLOT



02 Ex. Street Elevation - Broadway South 1:200



03 Ex. Street Elevation - Broadway East 1:200

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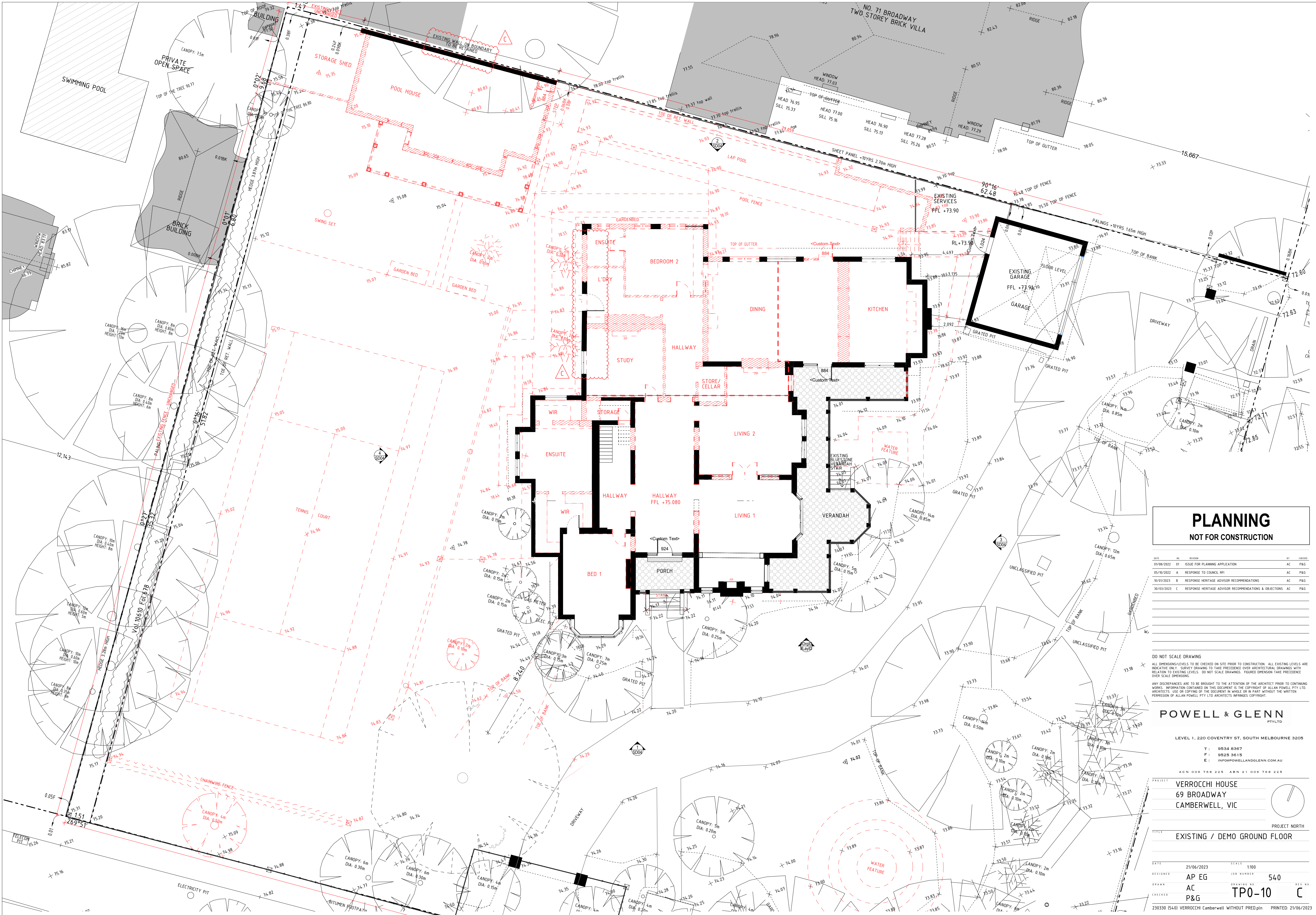
PROJECT VERROCCHI HOUSE
69 BROADWAY
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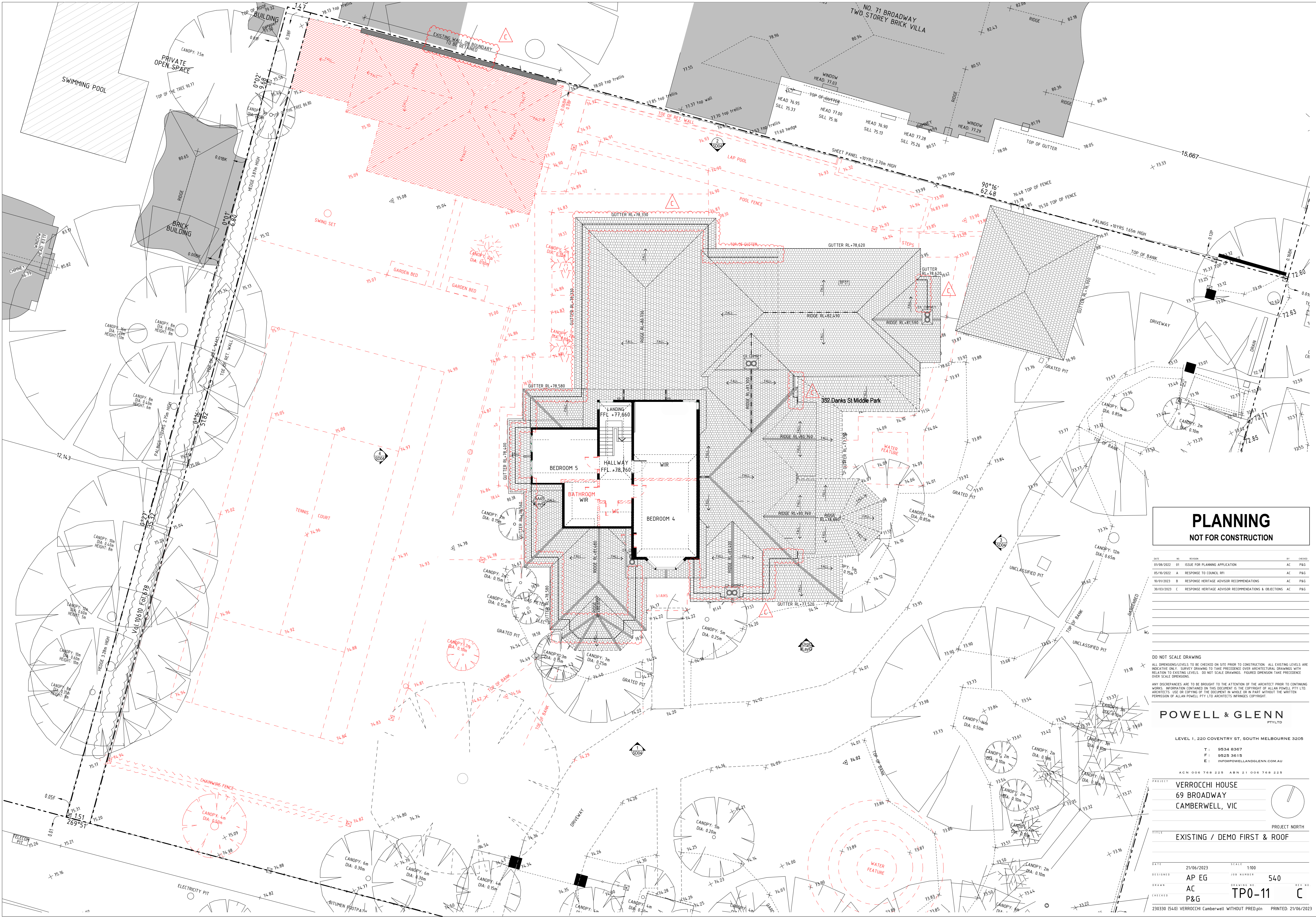
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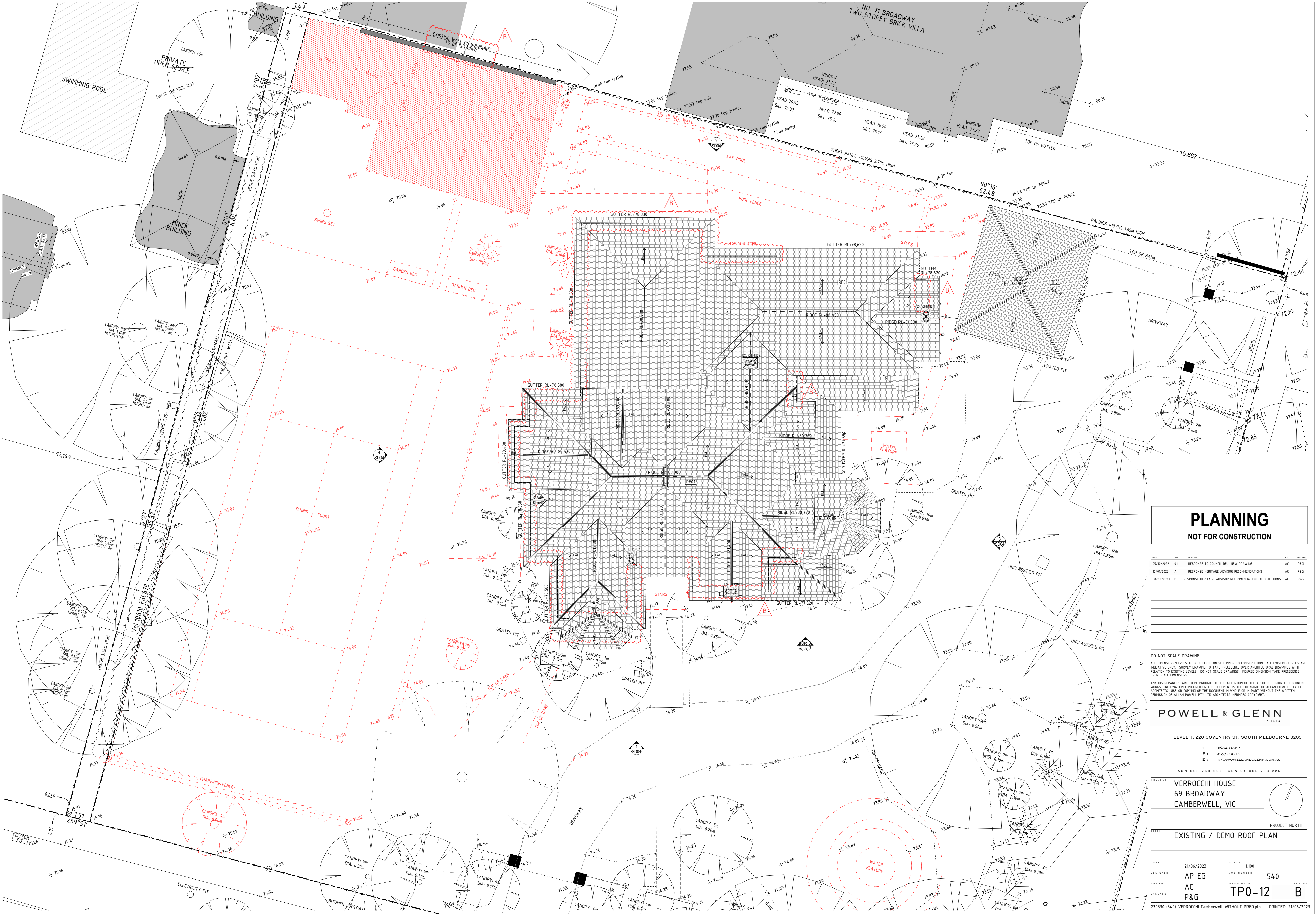
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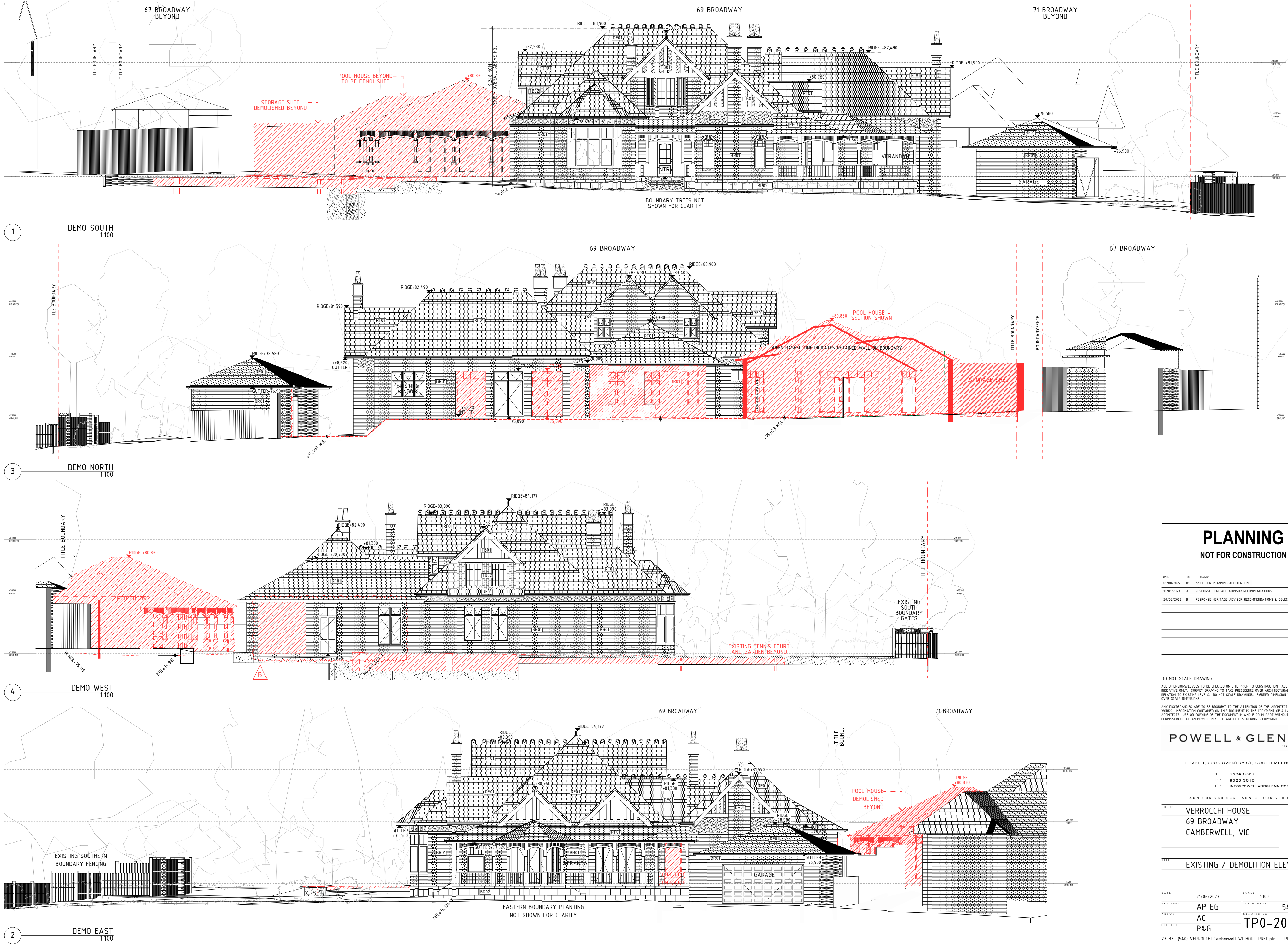
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10/01/2023	A	RESPONSE HERITAGE ADVISOR RECOMMENDATIONS	AC	P&G
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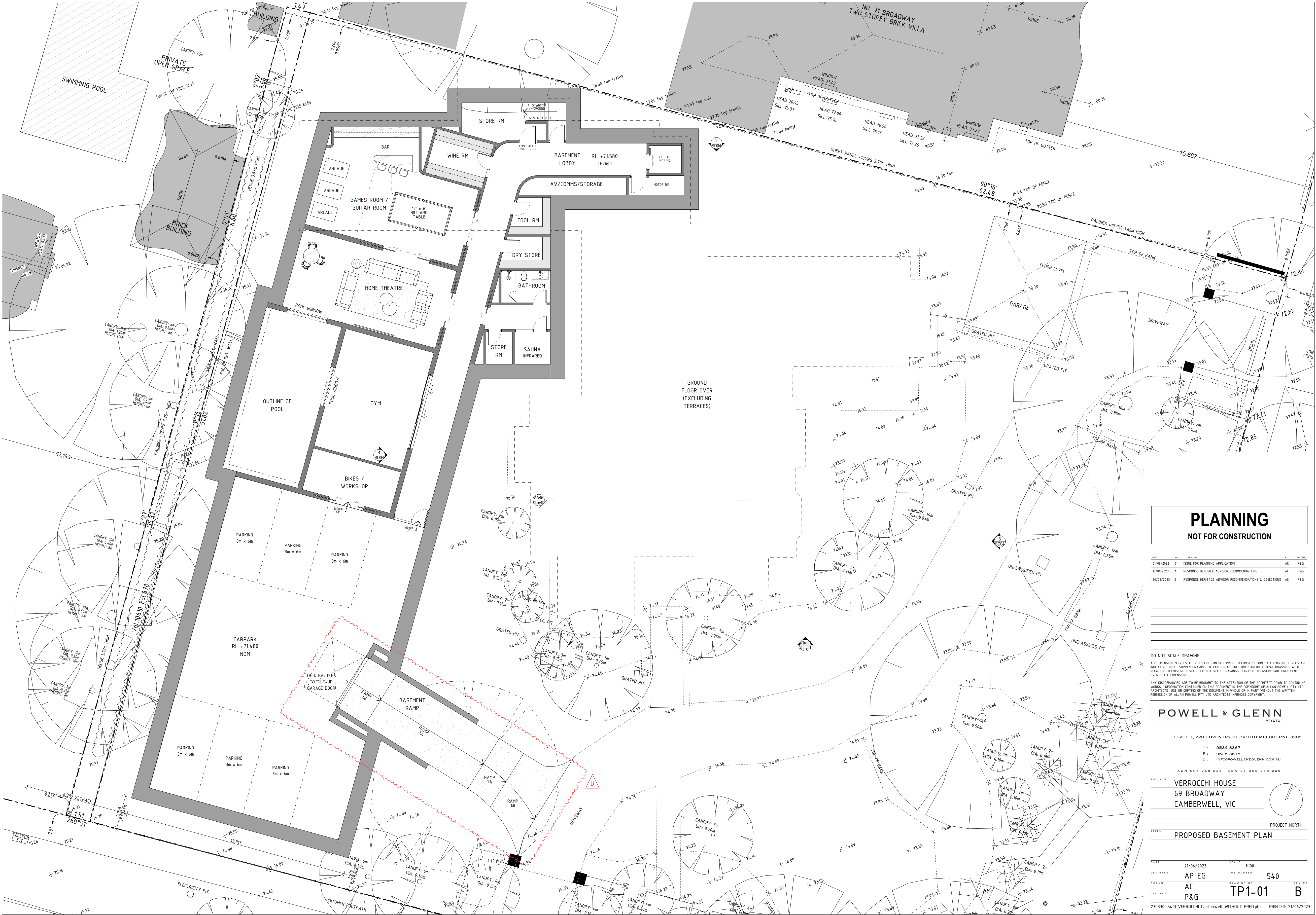
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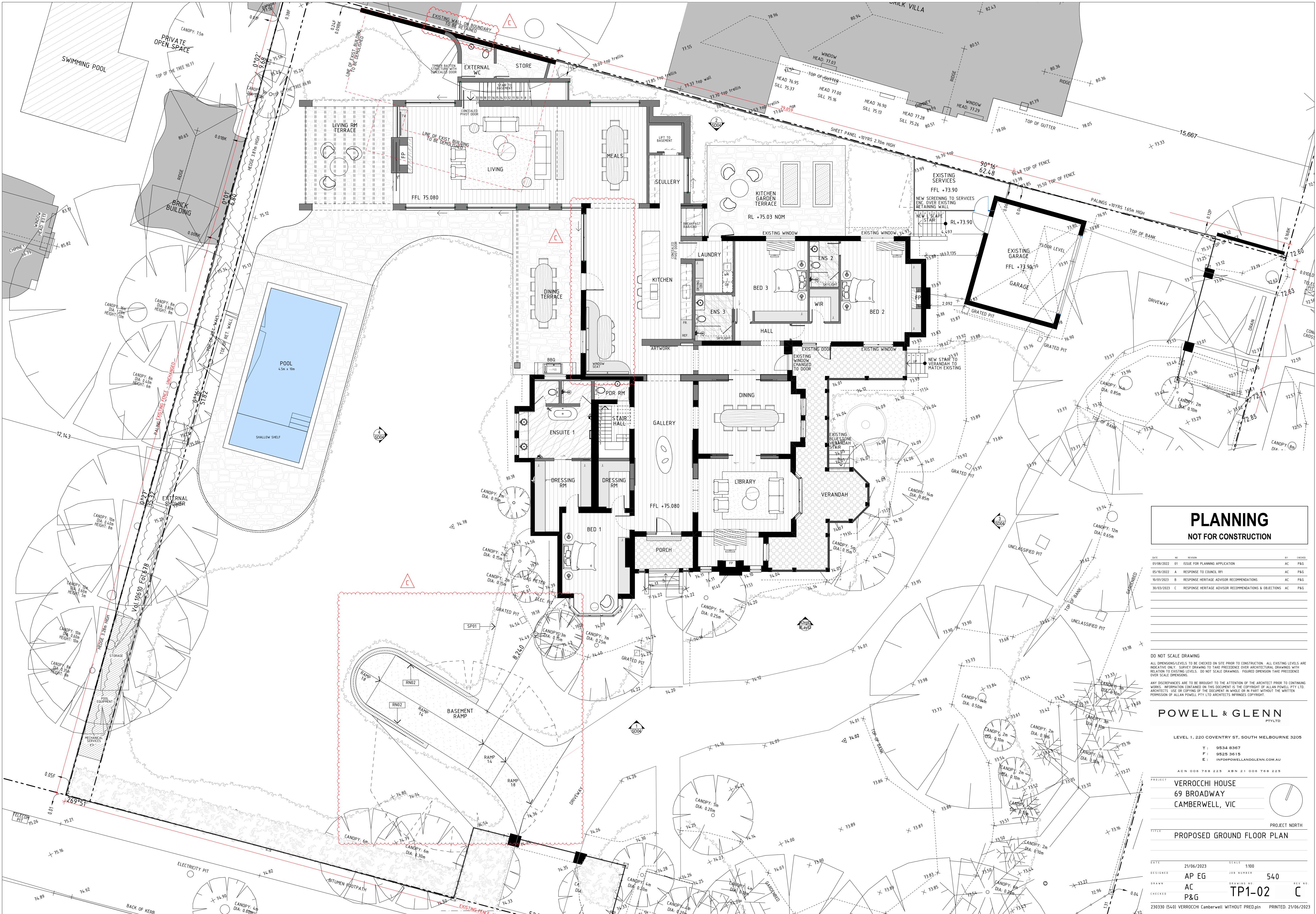
PROJECT
VERROCCI HOUSE
69 BROADWAY
CAMBERWELL, VIC

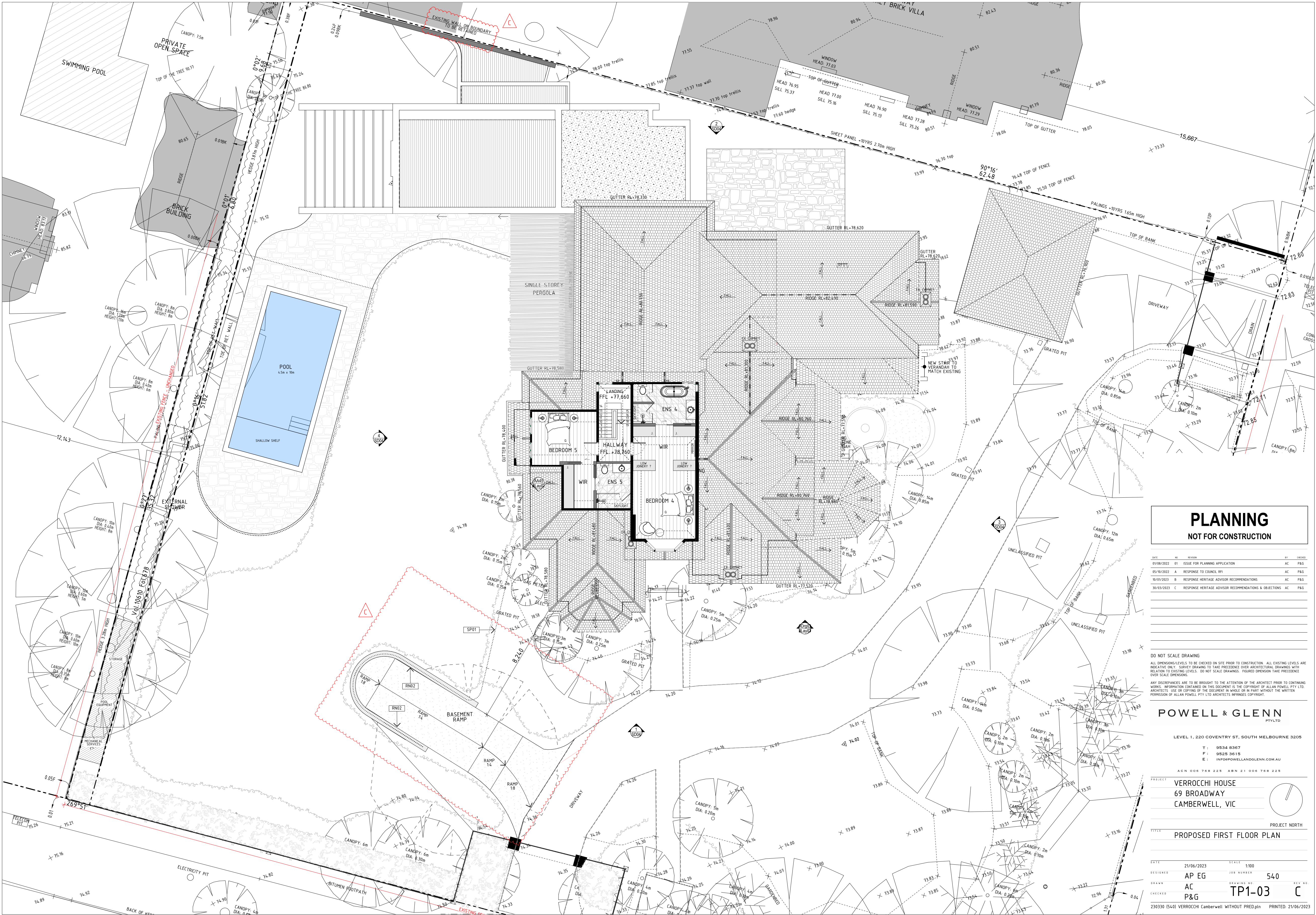
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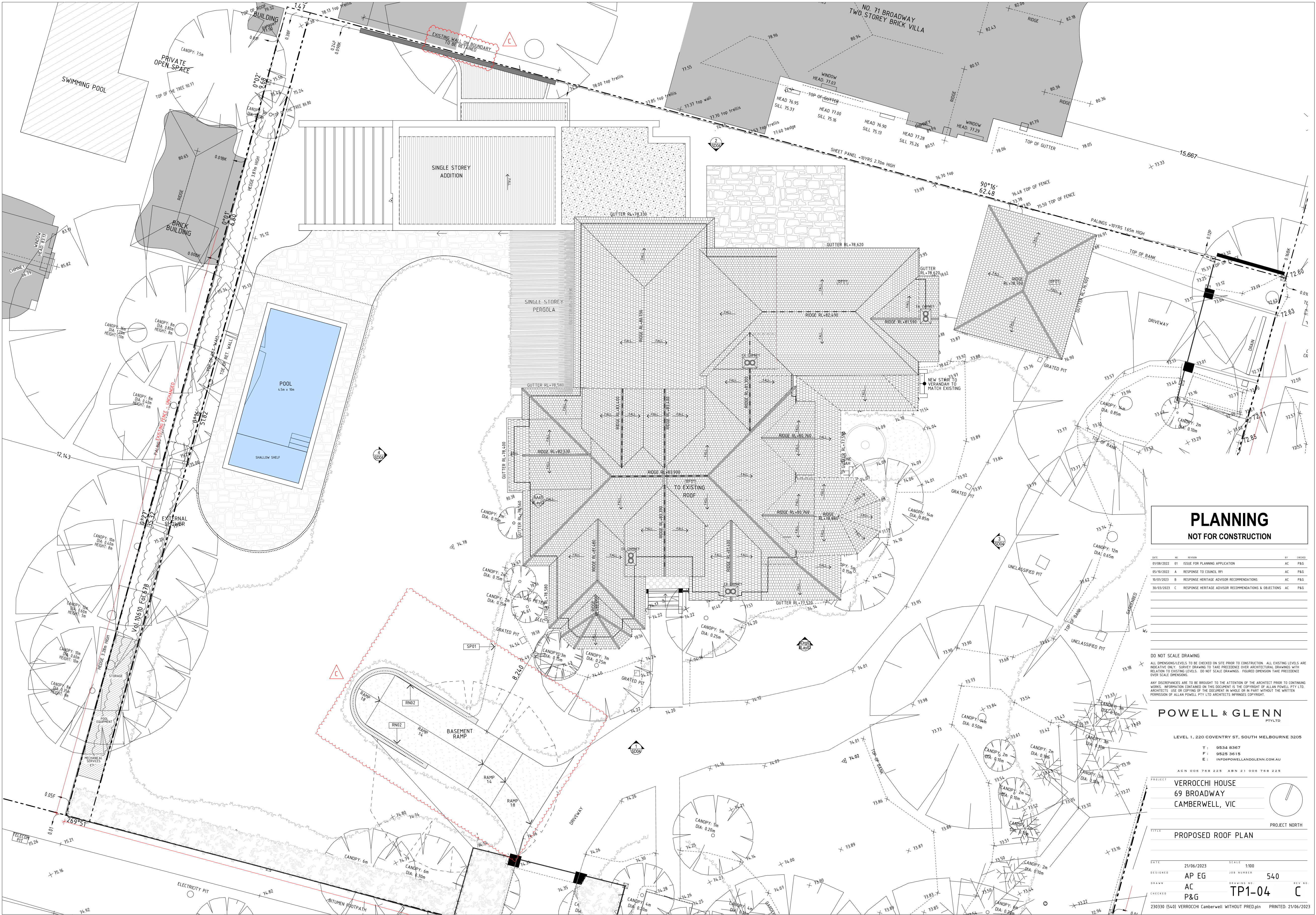
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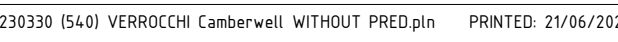
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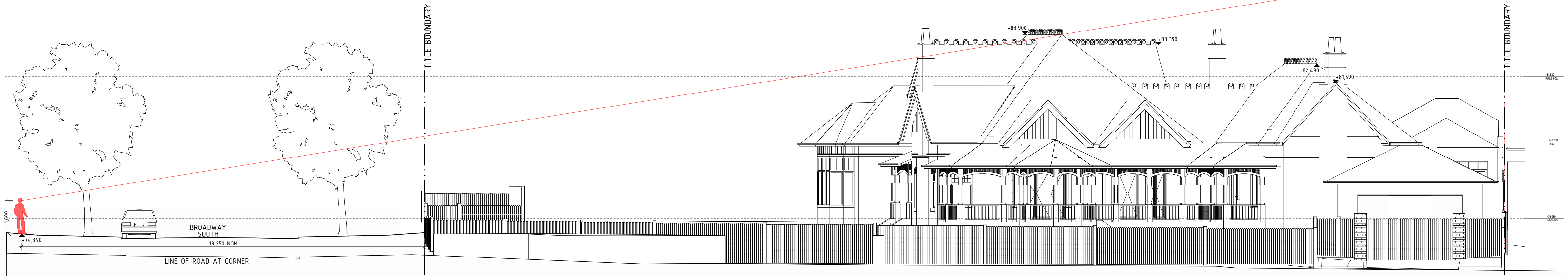




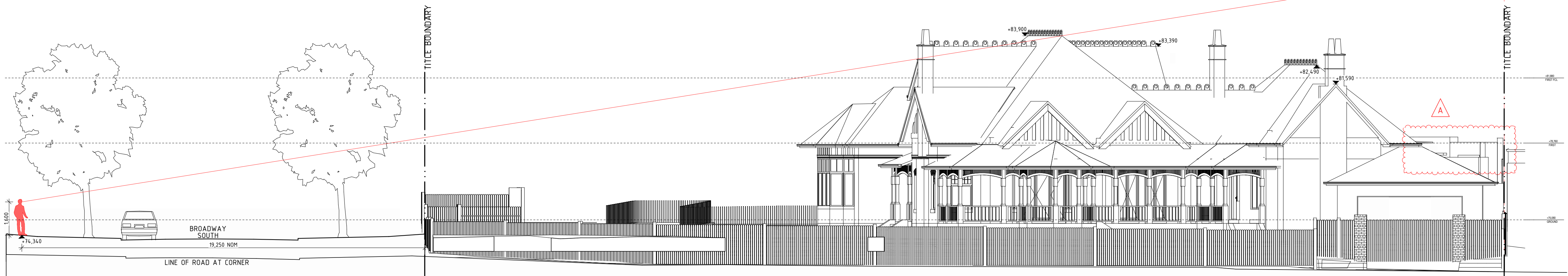








1 Sightline Elevation East Exist
1:100



2 Sightline Elevation East Prop
1:100

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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
SIGHTLINE ELEVATIONS EAST

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CHECKED	P&G	REV NO	A

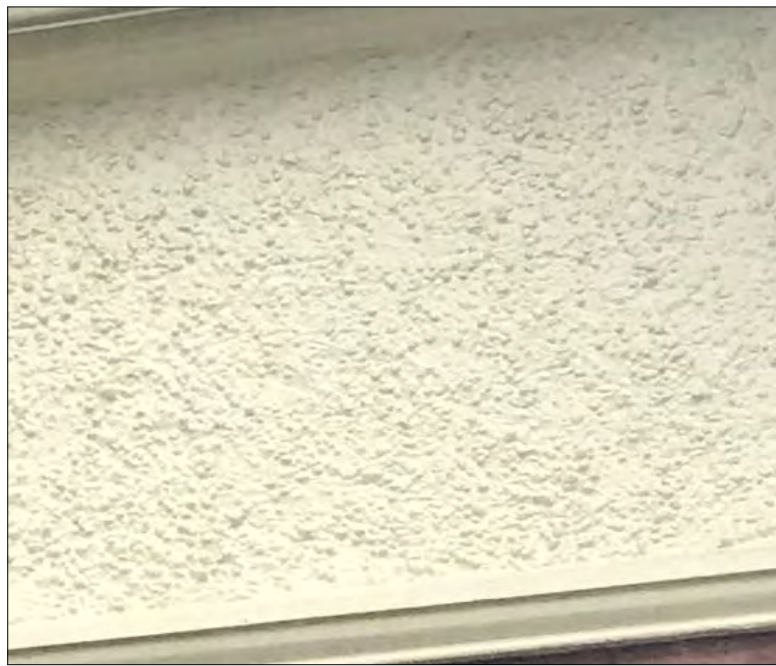
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BR01 – EXISTING RED BRICK



CN02 – EXISTING CREAM COLOURED CONCRETE DRIVEWAY



RN01 – EXISTING CREAM COLOURED STUCCO RENDER



TB01 – EXISTING PAINTED TIMBER STRAPPING

EXISTING HOUSE



RF01 – EXISTING TERRACOTTA ROOF TILES

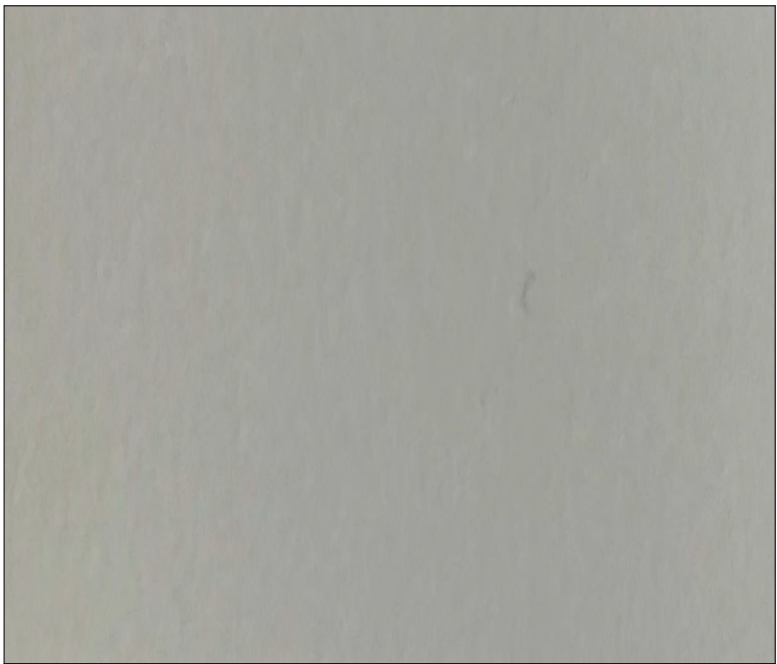


TB02 – EXISTING PAINTED TIMBER SHINGLES

EXISTING HOUSE

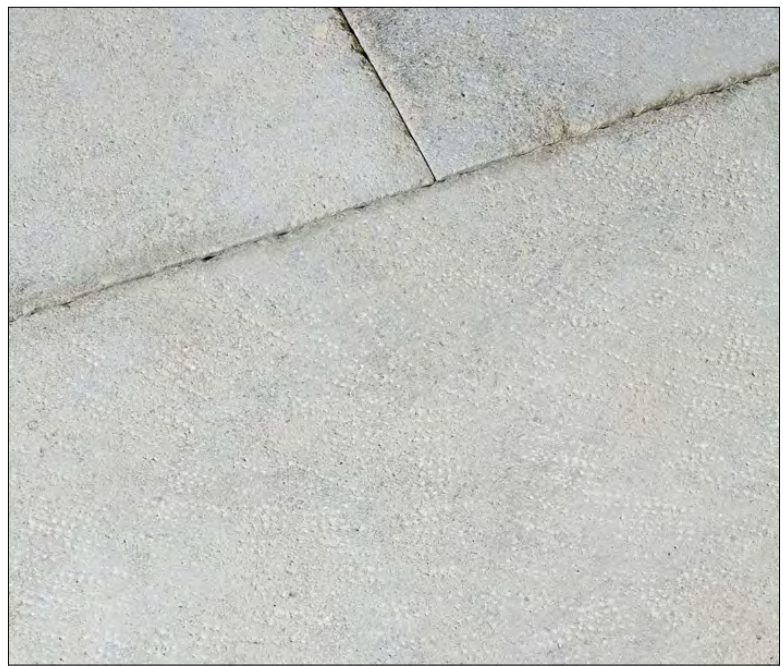


CN03 – FEATURE SMOOTH OFF FORM CONCRETE, BRIGHT & LIGHT

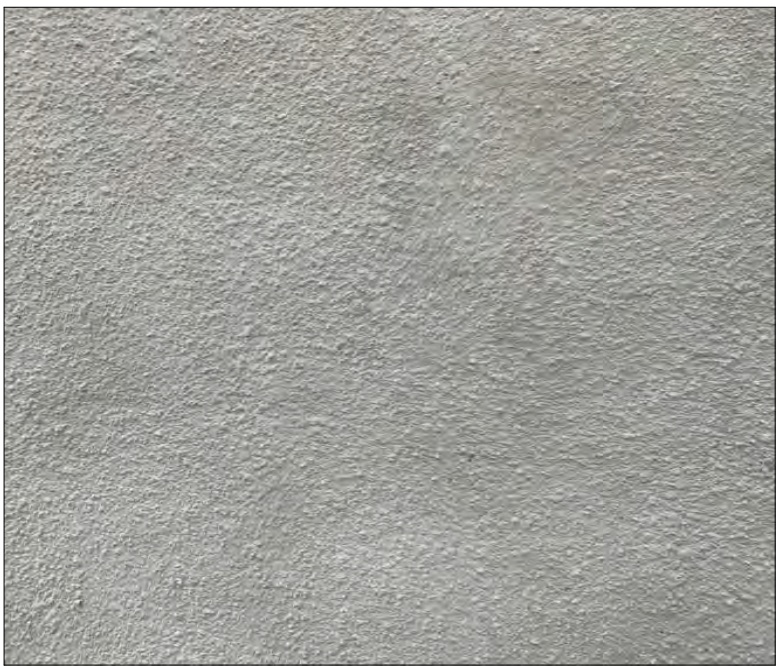


PF20 – GREY PAINTED STEELWORK AND WINDOW FRAMING

PROPOSED ADDITION



PV01 – LARGE FORMAT STONE PAVERS, TEXTURED GREY



RN02 – NATURAL CEMENT RENDER, STUCCO FINISH



SP01 – STEEL PERGOLA & POOL FENCE, GREY PAINT FINISH

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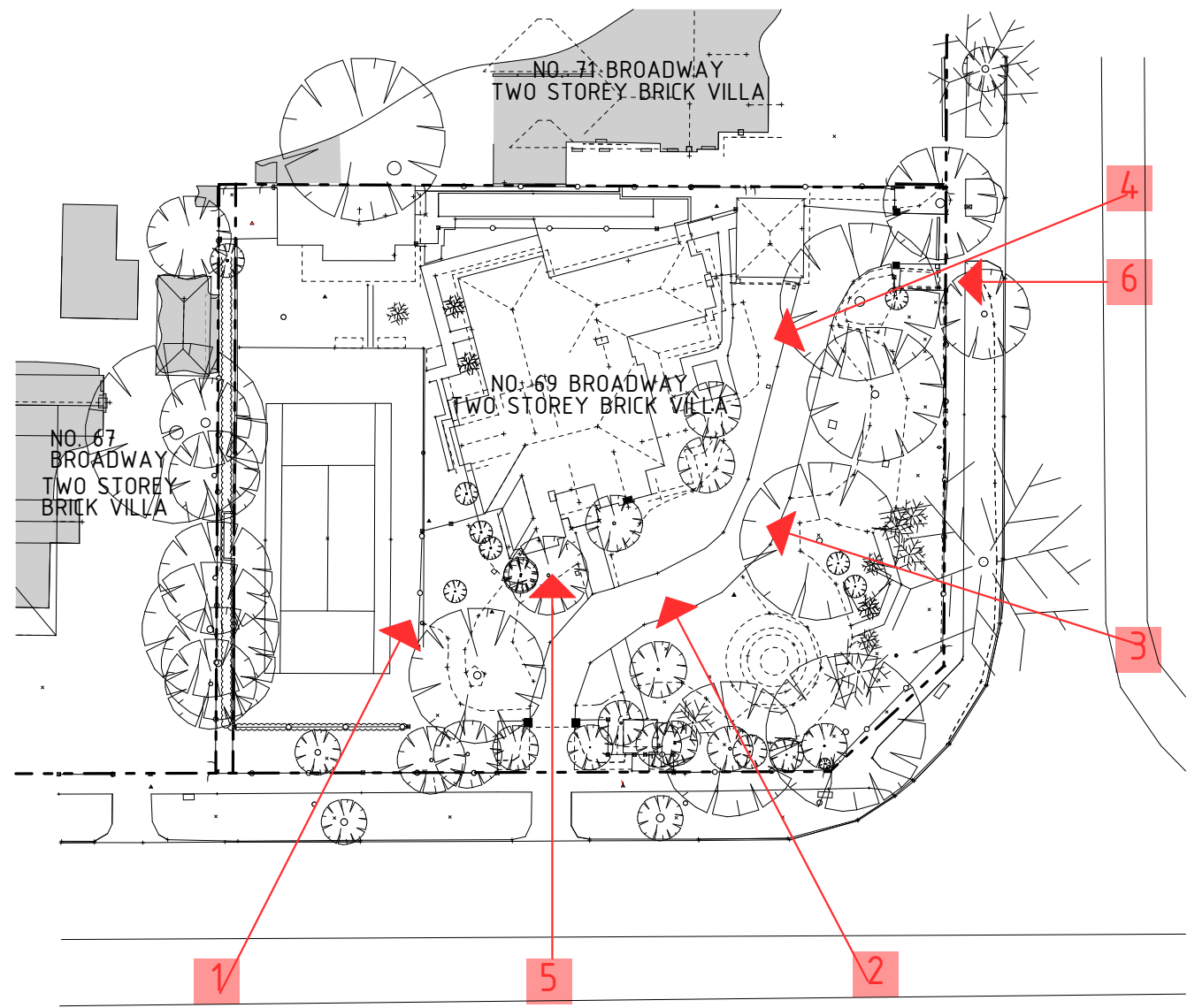
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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
MATERIALS SCHEDULE

DATE	21/06/2023	SCALE	
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OBLIQUE VIEW 1 - EXISTING STREET PHOTO



OBLIQUE VIEW 2 - EXISTING STREET PHOTO

SK4 OBLIQUE VIEW MAP 1:500

PROPOSED ADDITION SHOWN
HATCHED IN GREY FOR
CLARITY

PLANNING

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10/01/2023	A	RESPONSE HERITAGE ADVISOR RECOMMENDATIONS	AC	P&G
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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
OBLIQUE VIEW DIAGRAMS 1 & 2

DATE 21/06/2023 SCALE 1:200, 1:500
DESIGNED AP EG JOB NUMBER 540
DRAWN AC DRAWING NO TP9-02 REV NO B
CHECKED P&G

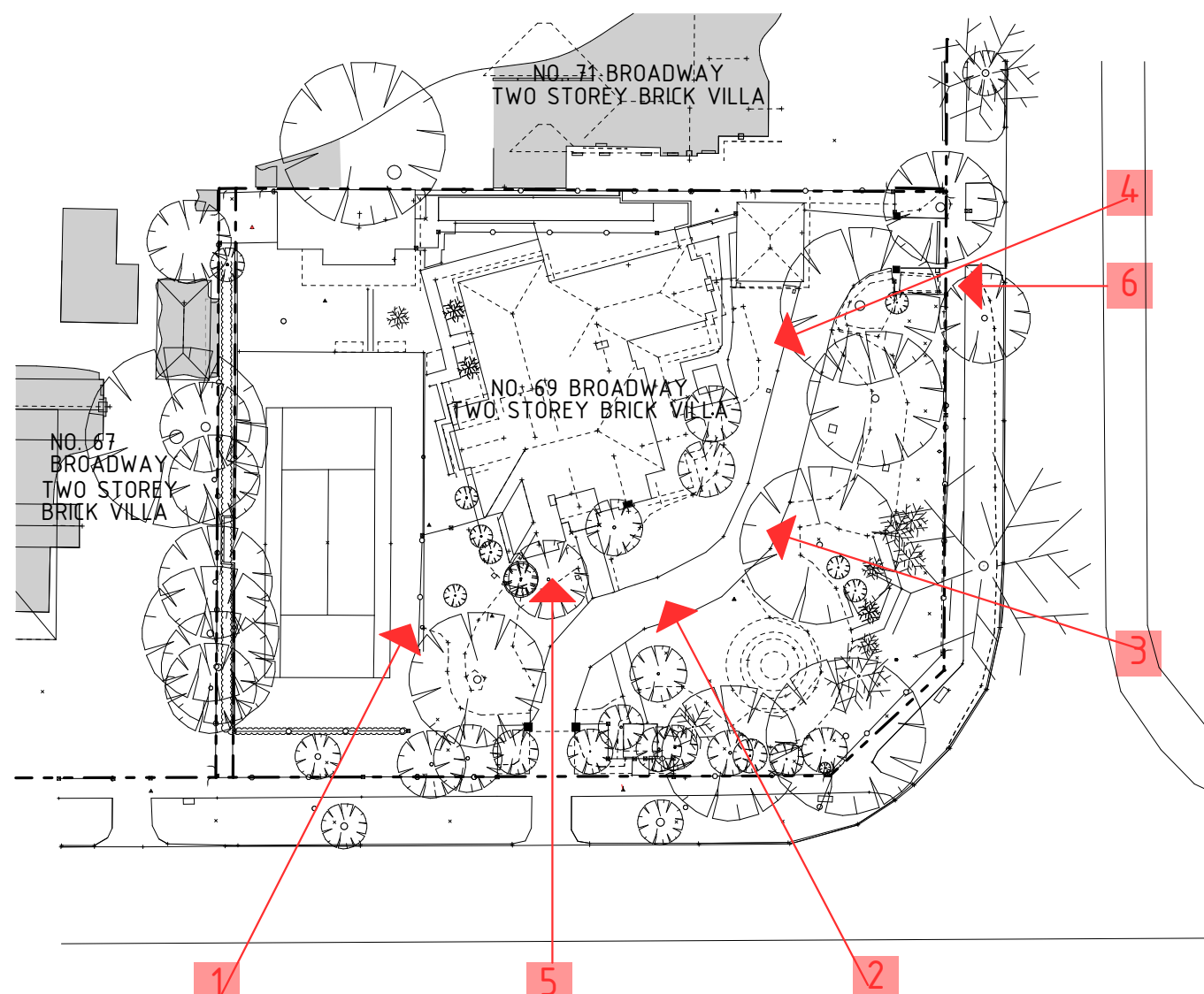
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03 OBLIQUE VIEW SOUTH EAST - EXISTING
1:200



03 OBLIQUE VIEW SOUTH EAST - PROPOSED
1:200



SK2 OBLIQUE VIEW MAP
1:500

PROPOSED ADDITION SHOWN
HATCHED IN GREY FOR
CLARITY

PLANNING

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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
OBLIQUE VIEW DIAGRAMS 3

DATE	21/06/2023	SCALE	1:200, 1:500
DESIGNED	AP EG	JOB NUMBER	540
DRAWN	AC	DRAWING NO.	TP9-03
CHECKED	P&G	REV NO.	01

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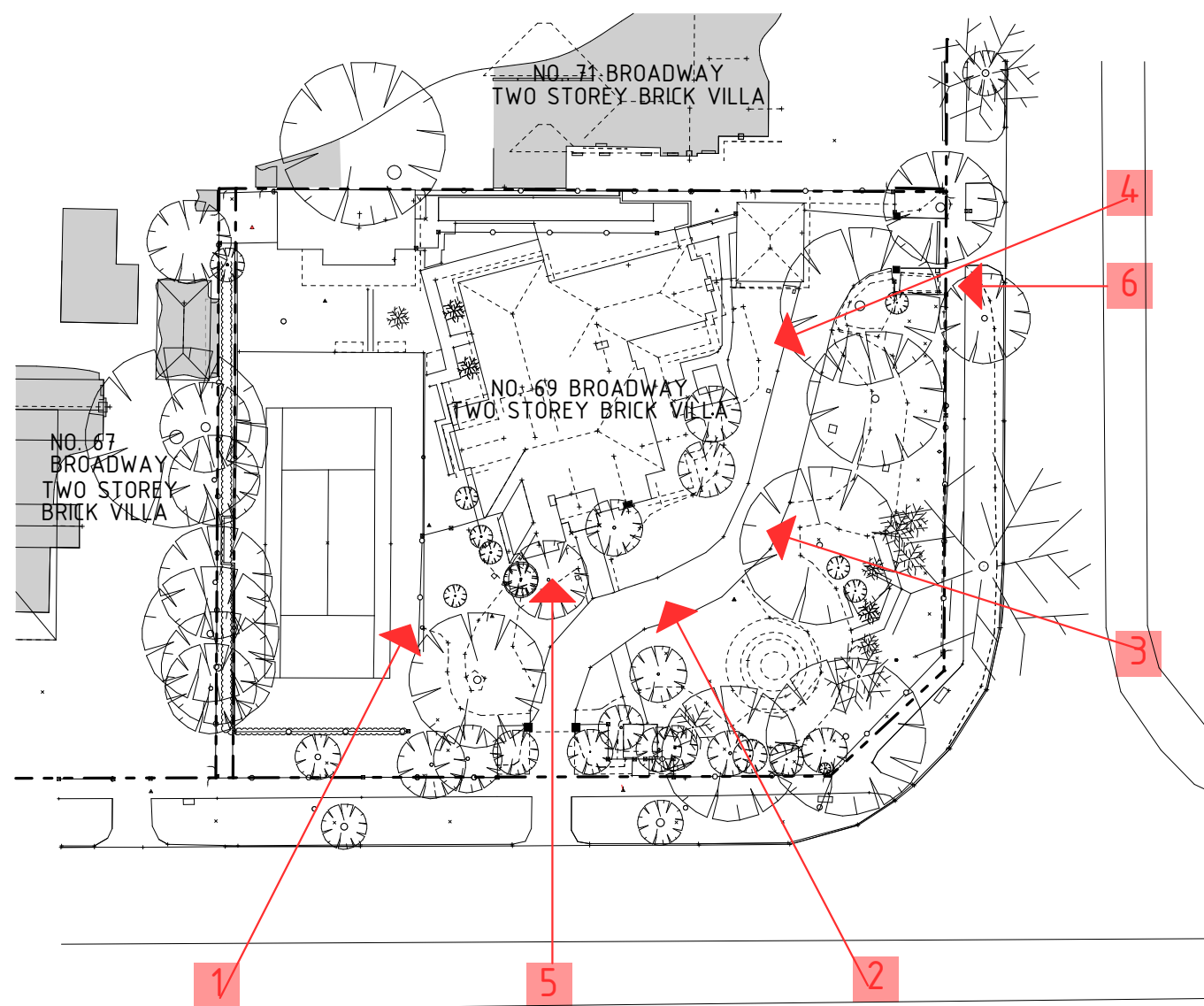
OBLIQUE VIEW 3 - EXISTING STREET PHOTO



04 OBLIQUE VIEW NORTH EAST - EXISTING
1:200



04 OBLIQUE VIEW NORTH EAST - PROPOSED
1:200



SK2 OBLIQUE VIEW MAP
1:500

PROPOSED ADDITION SHOWN
HATCHED IN GREY FOR
CLARITY

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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
OBLIQUE VIEW DIAGRAMS 4

DATE	21/06/2023	SCALE	1:200, 1:500
DESIGNED	AP EG	JOB NUMBER	540
DRAWN	AC	DRAWING NO	TP9-04
CHECKED	P&G	REV NO	01

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OBLIQUE VIEW 4 - EXISTING STREET PHOTO



01 OBLIQUE VIEW SOUTH WEST - EXISTING



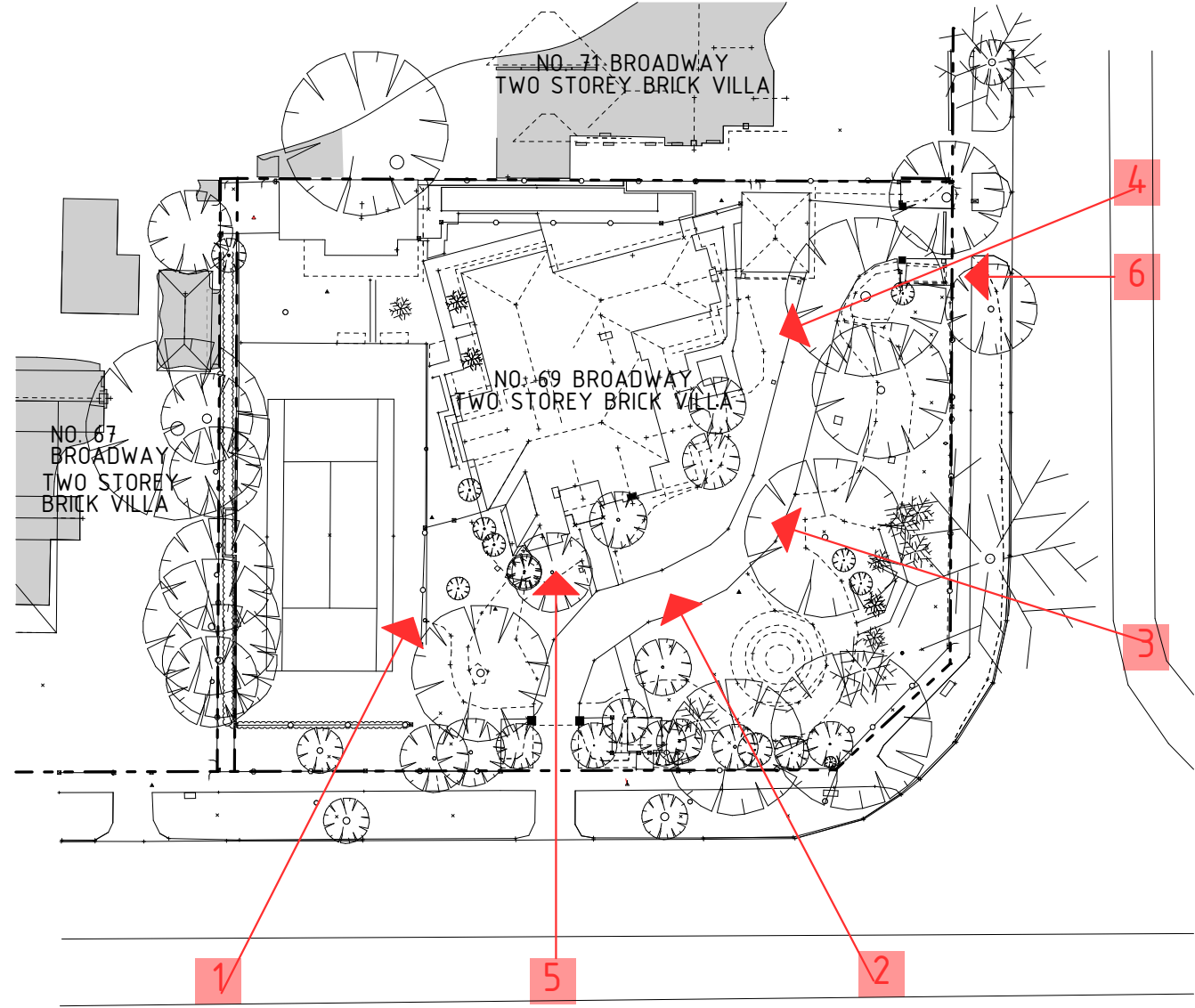
01 OBLIQUE VIEW SOUTH WEST - PROPOSED



02 OBLIQUE VIEW SOUTH - EXISTING



02 OBLIQUE VIEW SOUTH - PROPOSED



4 OBLIQUE VIEW MAP 1:500



OBLIQUE VIEW 1 - EXISTING STREET PHOTO



OBLIQUE VIEW 2 - EXISTING STREET PHOTO

PLANNING NOT FOR CONSTRUCTION

DATE	NO.	REVISION	BY	CHECKED
01/08/2022	01	ISSUE FOR PLANNING APPLICATION	AC	P&G
10/01/2023	A	RESPONSE HERITAGE ADVISOR RECOMMENDATIONS	AC	P&G
28/03/2023	B	RESPONSE HERITAGE ADVISOR RECOMMENDATIONS & OBJECTIONS	AC	P&G

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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
OBLIQUE VIEW DIAGRAMS 1 & 2
COLOUR

DATE	21/06/2023	SCALE	1:200, 1:500,
DESIGNED	AP EG	JOB NUMBER	540
DRAWN	AC	DRAWING NO.	TP9-05
CHECKED	P&G	REV. NO.	B

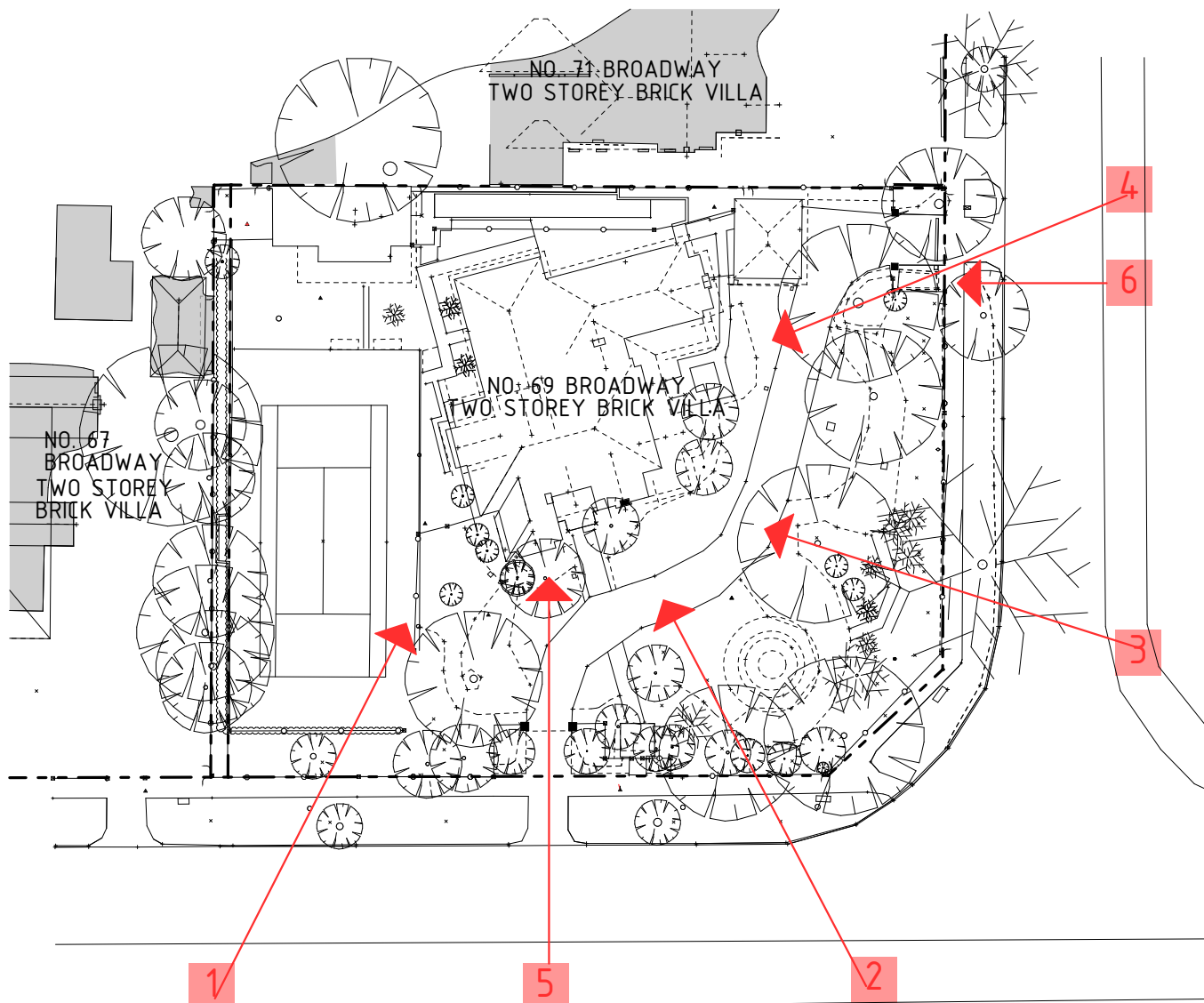
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03 OBLIQUE VIEW SOUTH EAST - EXISTING



03 OBLIQUE VIEW SOUTH EAST - PROPOSED



2 OBLIQUE VIEW MAP 1:500

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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
OBLIQUE VIEW DIAGRAM 3 COLOUR

DATE	SCALE	1:200, 1:500, 1:66.67
21/06/2023	DESIGNED	AP EG
	DRAWN	AC
	CHECKED	P&G
		TP9-06
		01

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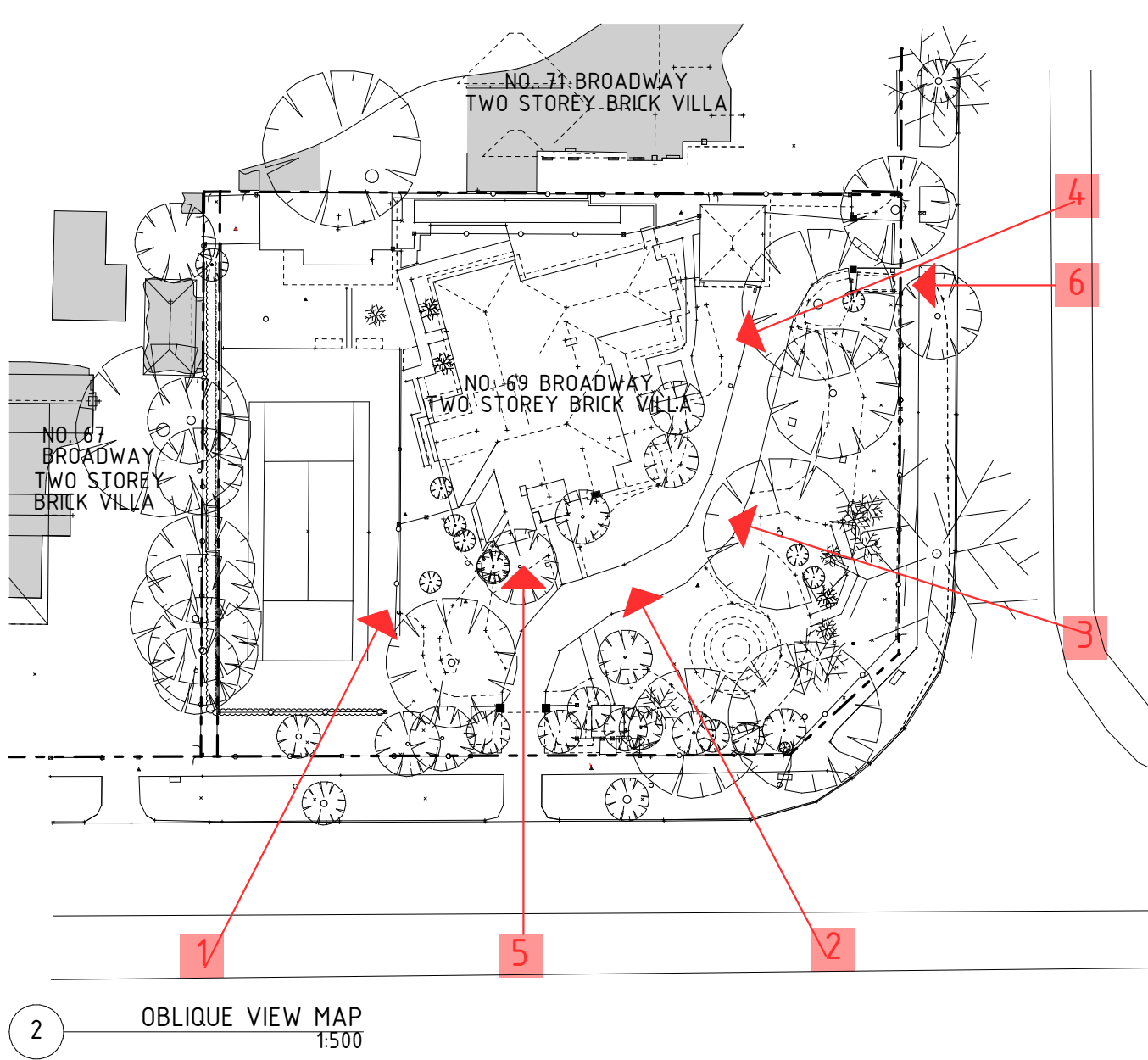
OBLIQUE VIEW 3 - EXISTING STREET PHOTO



04 OBLIQUE VIEW NORTH EAST - EXISTING



04 OBLIQUE VIEW NORTH EAST - PROPOSED



OBLIQUE VIEW 4 – EXISTING STREET PHOTO

PLANNING

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PROJECT

VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE

OBLIQUE VIEW DIAGRAM 4 COLOUR

DATE	SCALE
21/06/2023	1:200, 1:500, 1:76.92

DESIGNED	JOB NUMBER
AP EG	540

DRAWN	DRAWING NO.	REV NO.
AC	TP9-07	01

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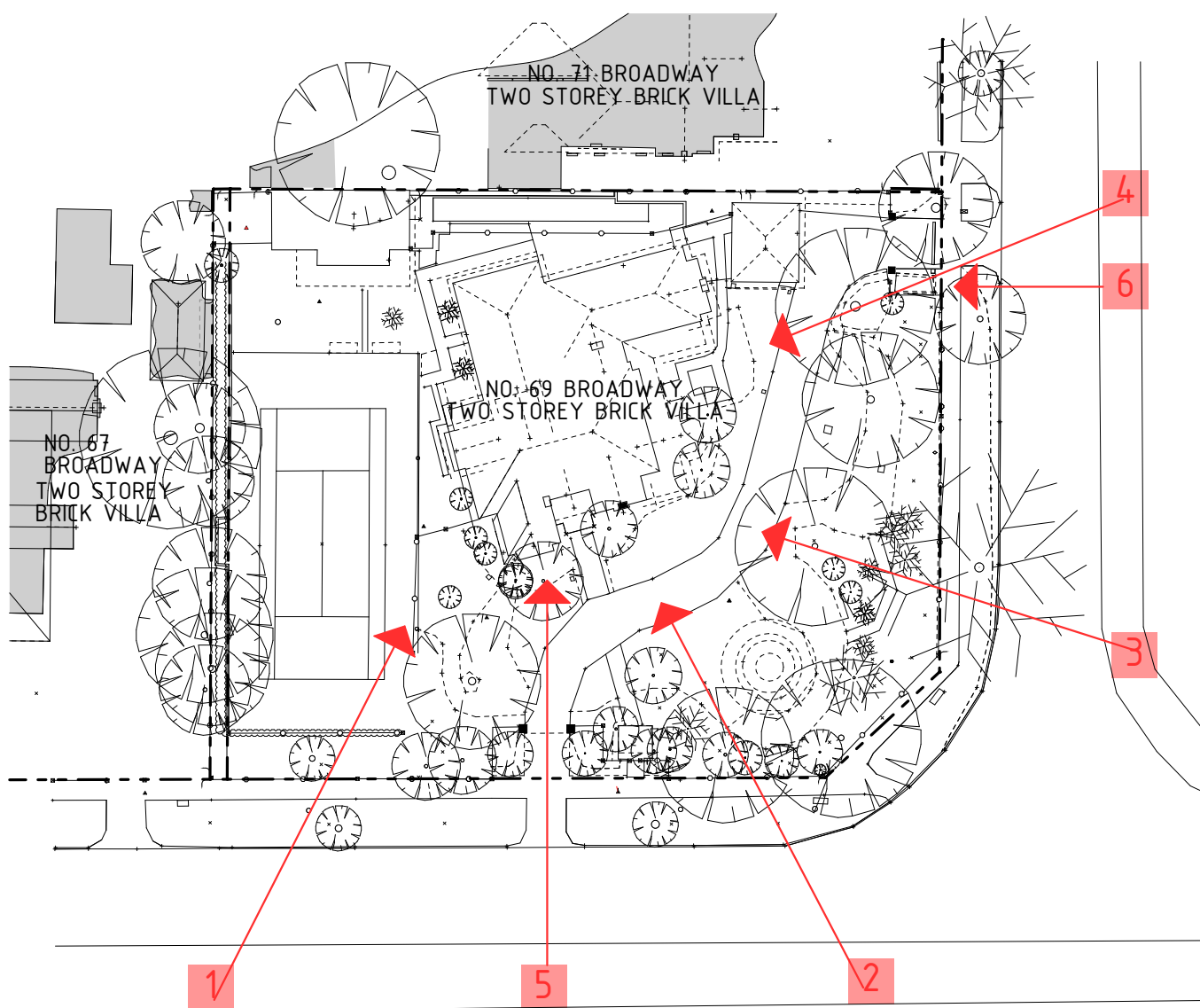
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05 OBLIQUE VIEW SOUTH DRIVEWAY - EXISTING



05 OBLIQUE VIEW SOUTH DRIVEWAY - PROPOSED



1 OBLIQUE VIEW MAP 1:500

PLANNING

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DATE	NO.	REVISION	BY	CHECKED
01/08/2022	01	ISSUE FOR PLANNING APPLICATION	AC	P&G
10/01/2023	A	RESPONSE HERITAGE ADVISOR RECOMMENDATIONS	AC	P&G

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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
OBLIQUE VIEW DIAGRAM 5 COLOUR

DATE	SCALE	DESIGNED	DRAWN	CHECKED	REV NO.
21/06/2023	1:500, 1:100	AP EG	AC	P&G	A

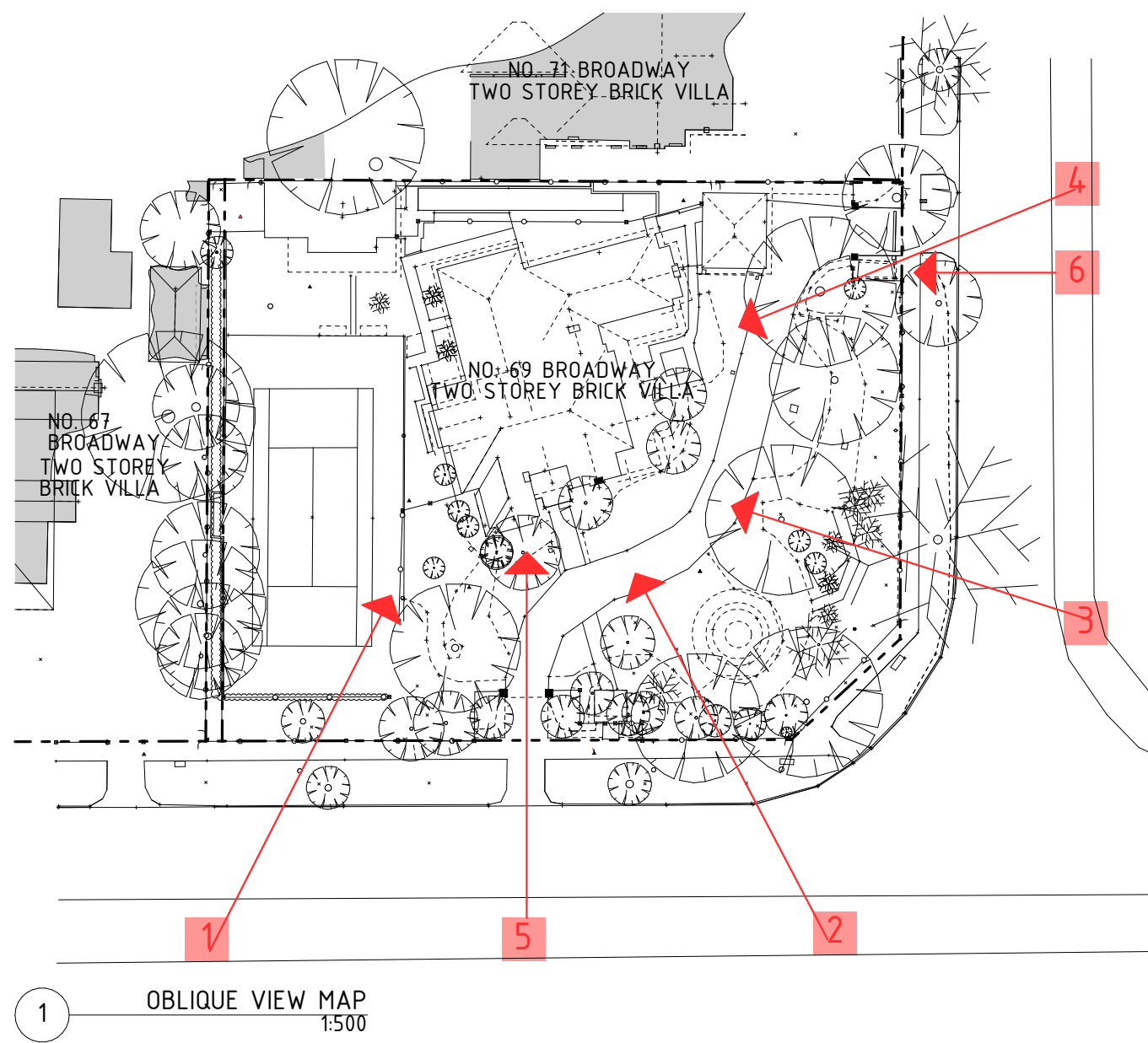
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06 VIEW EAST - EXISTING



06 VIEW EAST - PROPOSED



PLANNING
NOT FOR CONSTRUCTION

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01/08/2022	01	ISSUE FOR PLANNING APPLICATION	AC	P&G

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PROJECT
VERROCCHI HOUSE
69 BROADWAY
CAMBERWELL, VIC

TITLE
VIEW DIAGRAM 6 COLOUR

DATE	SCALE
21/06/2023	1500, 175.22, 175.20
DESIGNED AP EG	JOB NUMBER 540
DRAWN AC	DRAWING NO. TP9-09
CHECKED P&G	REV NO. 01

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PLANNING PROPERTY REPORT



Environment,
Land, Water
and Planning

From www.planning.vic.gov.au at 21 April 2023 09:31 AM

PROPERTY DETAILS

Address: **69 BROADWAY CAMBERWELL 3124**
 Lot and Plan Number: **Lot 1 TP591642**
 Standard Parcel Identifier (SPI): **1\TP591642**
 Local Government Area (Council): **BOROONDARA**
 Council Property Number: **242010**
 Planning Scheme: **Boroondara**
 Directory Reference: **Melway 46 A11**

www.boroondara.vic.gov.au

[Planning Scheme - Boroondara](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Melbourne Water Retailer: **Yarra Valley Water**
 Melbourne Water: **Inside drainage boundary**
 Power Distributor: **CITIPOWER**

STATE ELECTORATES

Legislative Council: **SOUTHERN METROPOLITAN**
 Legislative Assembly: **HAWTHORN**

OTHER

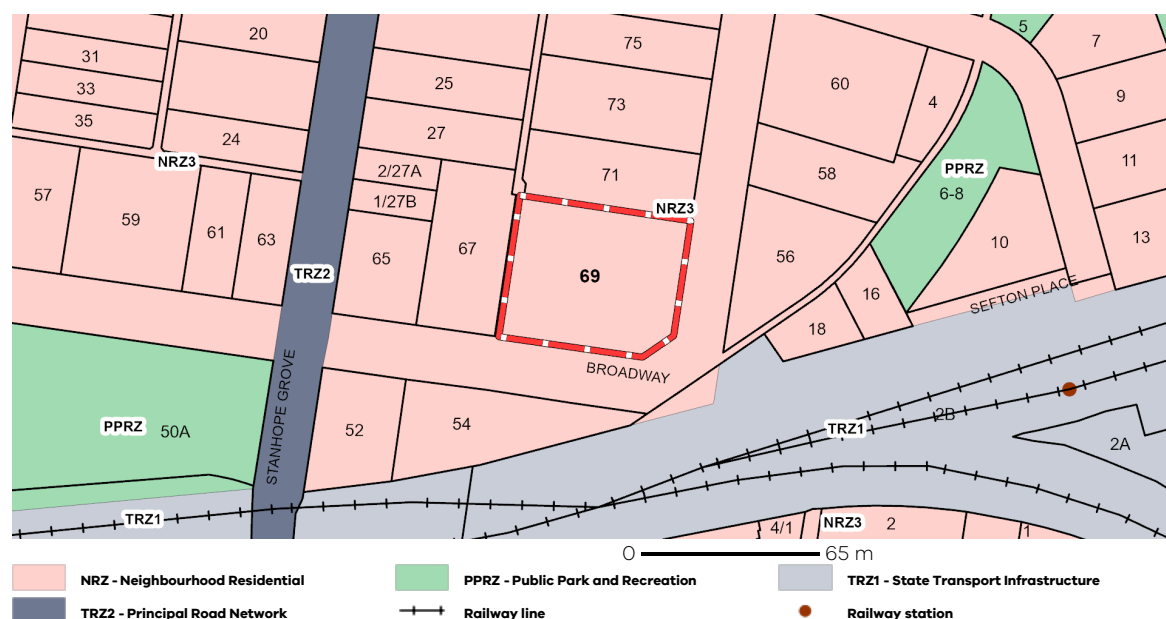
Registered Aboriginal Party: **Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation**

[View location in VicPlan](#)

Planning Zones

[NEIGHBOURHOOD RESIDENTIAL ZONE \(NRZ\)](#)

[NEIGHBOURHOOD RESIDENTIAL ZONE - SCHEDULE 3 \(NRZ3\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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PLANNING PROPERTY REPORT: 69 BROADWAY CAMBERWELL 3124

Page 1 of 3

PLANNING PROPERTY REPORT



Environment,
Land, Water
and Planning

Planning Overlay

HERITAGE OVERLAY (HO)

HERITAGE OVERLAY - SCHEDULE (HO159)



Further Planning Information

Planning scheme data last updated on 19 April 2023.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

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PLANNING PROPERTY REPORT: 69 BROADWAY CAMBERWELL 3124

Page 2 of 3

PLANNING PROPERTY REPORT



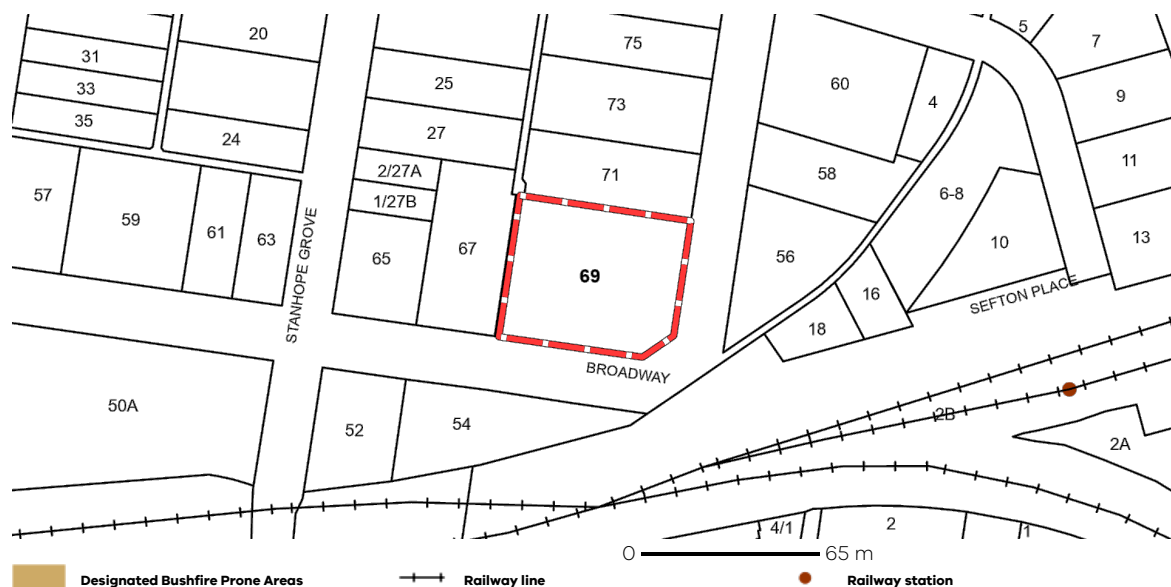
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and Planning

Designated Bushfire Prone Areas

This property is not in a designated bushfire prone area.
No special bushfire construction requirements apply. Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#).

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](#) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](#)

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PLANNING PROPERTY REPORT: 69 BROADWAY CAMBERWELL 3124

Page 3 of 3

3.2 PP22/0573 - Construction of a three-storey apartment building comprising ten (10) dwellings over basement - 65 Walpole Street Kew

65 Walpole Street, Kew (Studley Ward)

Application no.: PP22/0573

Responsible director: Scott Walker, Director Urban Living

Authorised by: David Cowan, Manager Planning and Placemaking

Report officer: Chiara Lorini, Senior Urban Planner

Executive Summary

Proposal

It is proposed to demolish the existing dwelling and construct a three (3) storey, apartment building comprising 10 dwellings with basement car parking. The site is located within the General Residential Zone (Schedule 3) and is not affected by any planning overlays.

Fourteen (14) objections have been received to the application.

Issues

The following key issues are addressed in the Planning Assessment Report (Attachment 1):

- Neighbourhood Character;
- Compliance with Rescode; and
- Objections Received.

Officer's response

Council officers have undertaken a thorough assessment of the proposal against the Boroondara Planning Scheme. Overall, the design achieves a high level of compliance with the requirements of the Neighbourhood Residential Zone and Clause 55 (ResCode) of the Boroondara Planning Scheme. Furthermore, the proposal is fully compliant with the statutory car parking requirements at Clause 52.06.

The proposal is consistent with the objectives as outlined in Clause 15.01-5L (Neighbourhood Character).

The proposed building heights, materiality, setbacks and window treatment ensure off-site amenity impacts, such as overshadowing, overlooking and visual bulk are minimised. Whilst it is architecturally contemporary in style, the design and materials are respectful of the neighbourhood character.

Details of the proposal, discussion of all objections and assessment against relevant controls and policies are contained in the attachments to this report.

Officers' recommendation

That the Urban Planning Delegated Committee resolve that a Notice of Decision to Grant a Planning Permit PP22/0573 for 'Construction of a three-storey apartment building comprising ten (10) dwellings over basement and construction of a front fence exceeding the requirements of Clause 55.06-2' at 65 Walpole Street, Kew be issued under the Boroondara Planning Scheme subject to the following conditions:

Amended plans required

1. Before the development starts, amended plans to the satisfaction of the responsible authority must be submitted to and approved by the Responsible Authority. The plans must be drawn to scale with dimensions and electronic copies provided (unlocked PDF). When the plans are endorsed they will then form part of the permit. The plans must be substantially in accordance with the S.57a plans but modified to show:
 - a. The Tree Protection Zone and Structural Root Zone of Tree Nos. 1, 3, 4, 7, 8, 9, 10, 12 and 13 (as identified in the Arborist Report submitted with the application prepared by Galbraith and Associates (dated 24/02/2022) drawn on all site and floor plans;
 - b. Notation on all site and floor plans that Tree Nos. 1, 3, 4, 7, 8, 9, 10, 12 and 13 are to be retained and protected in accordance with the endorsed Tree Management Plan required by this Permit;
 - c. Any modifications to the location or layout of buildings and/or works recommended in the endorsed Tree Management Plan required by this Permit;
 - d. The siting of any necessary stormwater detention pit, underground services and pits, and/or rainwater harvesting tank to be located outside any area set aside for deep-soil planting and outside the Tree Protection Zone of any trees to be retained/protected.
 - e. Permanent fencing within the Tree Protection Zone of Trees 3 and 4 constructed utilising non-destructive excavation and on pier foundations with any required plinths constructed above existing grade.
 - f. Notation on all site and floor plans that no strip footing is permitted within the Tree Protection Zone of Trees 3 and 4.
 - g. Notation on all site and floor plans that no services are to be located within the Tree Protection Zone of Tree 4.
 - h. Notation on all site and floor plans that indicates no soil level changes within the calculated TPZ of any retained tree (excluding built form only)
 - i. Initiatives contained within the Sustainable Design Assessment in accordance with condition 14 of this permit along with the roof material to have a maximum solar absorbance of 0.4;
 - j. A schedule of construction materials, external finishes and colours (including physical swatch samples);
 - k. A Landscape Plan in accordance with condition 3 of this permit;
 - l. A Tree Management Plan in accordance with condition 6 of this permit. And
 - m. A Water Sensitive Urban Design Response in accordance with condition 11 of this permit
 - n. A Waste Management Plan in accordance with condition 23 of this permit,

Layout not to be altered

2. The layout of the site and the size, levels, design and location of buildings and works shown on the endorsed plans must not be modified for any reason (unless the Boroondara Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.

Landscape plan

3. A landscape plan to the satisfaction of the responsible authority must be submitted to and approved by the Responsible Authority. The plan must be drawn to scale with dimensions and electronic copies provided (unlocked PDF). When endorsed, the plan will form part of the permit.

The landscape plan must be generally in accordance with the landscape concept plan dated May 2022 prepared by Etched Projects Pty Ltd, except that the plan must show:

- a) A survey (including botanical names) of all existing trees to be retained and of those to be removed. The intended status of the trees shown on the landscape plan must be consistent with that depicted on the development layout plan;
- b) A planting schedule of all proposed trees, shrubs and ground covers including botanical names, common names, pot sizes, sizes at maturity and the quantities of each plant;
- c) Details of the surface finish of all pathways, paved areas and accessways;
- d) All hard surfaces proposed within the tree protection zone of Tree Nos. 1, 3 and 4 (as identified in the Arborist Report submitted with the application Galbraith and Associates (dated 24/02/2022) must be constructed of permeable materials; be constructed above current grade; and be constructed on foundations that maintain appropriate permeability for each tree, to the satisfaction of the Responsible Authority;
- e) Detailed construction specifications for all permeable surfaces that include cross-section diagrams.
- f) One (1) canopy tree (minimum two metres tall when planted and must achieve a minimum mature height of 13 metres and canopy spread of 7 metres) in the front setback of the property;
- g) Four (4) small trees (minimum two metres tall when planted and must achieve a minimum mature height of 7 metres and canopy spread of 4 metres) in the Southeast, Southwest, Northeast and Northwest corners of the property;
- h) Each canopy tree must be provided a minimum of 49 m² of deep soil, with the available soil area clearly shown on the landscape plan.
- i) Each small tree must be provided a minimum of 12 m² of deep soil, with the available soil area clearly shown on the landscape plan.
- j) All trees must comply with Australian Standard AS2303:2015 - Tree Stock for Landscape Use.
- k) All canopy trees must be planted by an AQF Level 3 Qualified Arborist, Landscape Gardener or Horticulturist.
- l) All trees must be planted more than 2 metres away from any structures, property boundaries, easements, existing trees or shrubs.
- m) All small trees must be planted more than 1 metre away from any structures, paving, decking, property boundaries, easements, existing trees or shrubs;
- n) All trees within side and rear setbacks adequately setback from common boundaries to avoid mature canopy overhang of neighboring spaces.
- o) Location of raingardens consistent with the development plans;
- p) Planting required by any other condition of this permit; and

- q) Landscaping and planting within all open areas of the site.

Completion of landscaping works

4. Landscaping as shown on the endorsed landscape plan/s must be carried out and completed to the satisfaction of the Responsible Authority prior to the occupation of the development.

Landscaping maintenance

5. All landscaping works shown on the endorsed landscape plan/s must be maintained and any dead, diseased or damaged plants replaced, all to the satisfaction of the Responsible Authority.

Tree Management Plan

6. Concurrent with the submission of amended plans required by Condition 1 of this Permit and prior to any demolition or site works, a Tree Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The Tree Management Plan must be prepared by a minimum AQF Level 5 qualified and experienced Arborist in relation to the management and maintenance of Tree Nos. 1, 3, 4, 7, 8, 9, 10, 12 and 13 (as identified in the Arborist Report submitted with the application prepared by Galbraith and Associates (dated 24/02/2022)). The Tree Management Plan must make specific recommendations in accordance with the Australian Standard AS4970: 2009 - Protection of Trees on Development Sites and detail the following to ensure that all retained trees remain healthy and viable during construction:

- a) A Tree Protection Plan drawn to scale that shows:
- i. Tree Protection Zones and Structural Root Zones of all trees to be retained;
 - ii. All tree protection fenced off areas and areas where ground protection systems will be used;
 - iii. The type of foundations (illustration or notation) within each Tree Protection Zone;
 - iv. Any services to be located within the Tree Protection Zone and a notation to state that all services will either be located outside of the Tree Protection Zone, bored under the tree protection zone, or installed using hydro excavation under the supervision of the project arborist; and
 - v. A notation to refer to the Tree Management Plan for specific detail on what actions are required within the Tree Protection Zone.
- b) Details of how the root system of any tree to be retained will be managed. This must detail any initial non-destructive trenching and pruning of any roots required to be undertaken by the project arborist; and details of how any permeable surfaces within the Tree Protection Zone of retained trees will be constructed;
- c) Supervision timetable and certification of tree management activities required by the Project Arborist to the satisfaction of the Responsible Authority;

- d) All remedial pruning works that are required to be performed on trees during demolition and development of the site. The pruning comments must reference Australian Standards 4373:2007 Pruning of Amenity Trees and provide a detailed photographic diagram specifying what pruning will occur.
Note: Only Council or Authorised Council Contractors can prune Trees Nos. 4. Any request for the pruning of trees on public land must be made through Council's Environmental Sustainability and Open Spaces Department.
- e) The recommendations contained in the approved Tree Management Plan must be implemented to the satisfaction of the Responsible Authority and any changes to the endorsed Tree Management Plan will require written authorisation from the Responsible Authority.

Tree Management Plan and Construction Management Plan

- 7. If a Construction Management Plan is required as a condition of this permit it must be in accordance with the Tree Management Plan and Tree Protection Plan.

Contractors to be advised of trees to be retained and protected

- 8. The owner and occupier of the site must ensure that, prior to the commencement of buildings and works, all contractors and tradespersons operating on the site are advised of the status of trees to be retained and protected as detailed in the endorsed Tree Management Plan and are advised of any obligations in relation to the protection of those trees. A written record must be maintained on site of all contractors inducted regarding this condition. At the request of an authorized officer of Council this written record must be provided to council.

Regulation of activities in Tree Protection Area

- 9. No vehicular or pedestrian access, trenching or soil excavation is to occur within the Tree Protection Area as detailed in the endorsed Tree Management Plan without the prior written consent of the Responsible Authority. No storage or dumping of tools, equipment or waste is to occur within the Tree Protection Zone.

Documentation and Certification by Project Arborist

- 10. a) Prior to the commencement of any site works, including demolition and excavation, the Responsible Authority must be provided with evidence that a project arborist has been engaged as part of the ongoing consultant team to oversee the design and construction, and to ensure the development does not have a detrimental impact on the ongoing health and stability of the trees to be retained. The project arborist must hold suitable qualifications and experience to the satisfaction of the Responsible Authority. Evidence of the appointment of the project arborist must be submitted to the satisfaction of the Responsible Authority (quoting the Planning Permit number and site address, emailed to Boroondara@boroondara.vic.gov.au) not less than seven (7) days before the commencement of works on site.

- b) Prior to the commencement of any site works, including demolition and excavation, a timetable for the supervision and certification of tree management activities which is to the satisfaction of the Responsible Authority must be prepared by the project arborist and submitted to the Responsible Authority for approval. A signed and dated copy of each stage of the supervision timetable certified by the project arborist (quoting the Planning Permit number and site address, emailed to Boroondara@boroondara.vic.gov.au) must be submitted to the Responsible Authority not more than seven (7) days following the completion of each stage.

Water Sensitive Urban Design

11. Concurrent with the endorsement of plans, the applicant must provide a Water Sensitive Urban Design Response addressing the Application Requirements of Clause 53.18 'Stormwater Management in Urban Development' to the satisfaction of the Responsible Authority. The response must include:

- A site plan showing the location of proposed stormwater treatment measures and the location and area (square metres) of impermeable surfaces that drain to each treatment measure.
- A written statement outlining how the application achieves current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (1999). Please note that for the modelling requirement you can use the following free program to demonstrate best practice, which is equivalent to a score of 100% or more: <<http://storm.melbournewater.com.au>>
- If any water tank is proposed, the plans must indicate the tank's capacity in litres and what the tank is connected to (e.g. toilets).

Drainage

12. The site must be drained to the satisfaction of the Responsible Authority.

Sediment laden run-off

13. No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourses during and after development, to the satisfaction of the Responsible Authority.

Sustainable Design Assessment

14. Concurrent with the endorsement of plans pursuant to Condition 1 of this permit, a Sustainable Design Assessment must be submitted to and approved to the satisfaction by the Responsible Authority. The Sustainability Management Plan must demonstrate a best practice standard of environmentally sustainable design and be generally in accordance with the report by Greenviro Consulting dated 05/09/2022 and received by Council on 12/09/2022, but modified to include the following changes:

- a. BESS credit Energy '3.4 Clothes Drying' no longer claimed unless clotheslines are shown on plans for each apartment
- b. BESS credit Water '4.1 Building System Water Use Reduction' scoped out
- c. The correct communal recreational area included in BESS credit Urban Ecology '1.1 Communal Spaces'

Where alternative ESD initiatives are proposed to those specified in conditions above (including condition 1), the Responsible Authority may vary the requirements of this condition at its discretion, subject to the development achieving equivalent (or greater) ESD outcomes in association with the development.

15. All works must be undertaken in accordance with the endorsed Sustainable design Assessment to the satisfaction of the Responsible Authority. No alterations to these plans may occur without the written consent of the Responsible Authority.

Vehicle crossovers

16. Any new vehicle crossover or modification to an existing vehicle crossover must be constructed to the satisfaction of the Responsible Authority.

Removal of redundant vehicle crossovers

17. All disused or redundant vehicle crossovers must be removed and the area reinstated with footpath, naturestrip, kerb and channel to the satisfaction of the Responsible Authority.

Boundary walls

18. The external faces of walls on or facing boundaries must be cleaned and finished to an acceptable standard to the satisfaction of the Responsible Authority.

External lighting

19. All external lighting must be designed, baffled and located so as to prevent light from the site causing any unreasonable impacts on the locality, to the satisfaction of the Responsible Authority.

Security alarms

20. All security alarms or similar devices installed on the land must be of a silent type in accordance with any current standards published by Standards Australia International Ltd and must be connected to a registered security service, to the satisfaction of the Responsible Authority.

Concealment of pipes

21. All pipes (except down-pipes), fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from external view, to the satisfaction of the Responsible Authority.

Maintenance of waste storage area

22. All bins and receptacles used for the collection and storage of solid waste, recyclables and other wastes must be kept in a designated area, to the satisfaction of the Responsible Authority. This storage area must be:

- (a) Properly paved and drained to a legal point of discharge;
- (b) Screened from view with a suitably designed enclosure;
- (c) Supplied with adequate hot and cold water; and
- (d) Maintained in a clean and tidy condition free from offensive odours

to the satisfaction of the Responsible Authority.

Waste management plan

23. A waste management plan to the satisfaction of the responsible authority must be submitted to and approved by the Responsible Authority. Once satisfactory, such plan will be endorsed and must be implemented to the satisfaction of the Responsible Authority. The plan must provide the following details of:

- (a) the type/s and number of waste bins;
- (b) screening of bins;
- (c) type/size of trucks;
- (d) frequency of waste collection;
- (e) plan showing the layout of the bins at collection time including sufficient clearances from all street services, features and infrastructure; and
- (f) delivery of bins to waste collection points and retrieval of bins once collected

to the satisfaction of the Responsible Authority.

Construction management plan

24. Prior to the commencement of any site works, including demolition and excavation, a Construction Management Plan must be submitted to and endorsed by the Responsible Authority. No works are permitted to occur until the Plan has been endorsed by the Responsible Authority. Once endorsed, the construction management plan will form part of the permit and must be implemented to the satisfaction of the Responsible Authority. The plan must be prepared in accordance with Council's Construction Management Plan Template and provide details of the following:

- a) Hours for construction activity in accordance with any other condition of this permit;
- b) Measures to control noise, dust, water and sediment laden runoff;
- c) Measures relating to removal of hazardous or dangerous material from the site, where applicable;
- d) A plan showing the location of parking areas for construction and sub-contractors' vehicles on and surrounding the site, to ensure that vehicles associated with construction activity cause minimum disruption to surrounding premises. Any basement car park on the land must be made available for use by sub-constructors/tradespersons upon completion of such areas, without delay;
- e) A Traffic Management Plan showing truck routes to and from the site;
- f) Swept path analysis demonstrating the ability for trucks to enter and exit the site in a safe manner for the largest anticipated truck associated with the construction;
- g) A plan showing the location and design of a vehicle wash-down bay for construction vehicles on the site;
- h) Measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the construction management plan;
- i) Contact details of key construction site staff;
- j) A site plan showing the location of any site sheds, on-site amenities, building waste storage and the like, noting that Council does not support site sheds on Council road reserves; and
- k) Any other relevant matters, including the requirements of VicRoads and Yarra Trams.

Hours for demolition and construction

25. All works including earthworks, demolition and construction activity associated with the approved development must take place only during the following hours, except with the prior written consent of the Responsible Authority:

Monday to Thursday: 7:00am to 6:00pm
Friday: 7:00am to 5:00pm
Saturday: 9:00am to 5:00pm
Sunday & Public Holidays: No construction

Provision of letter boxes

26. Provision must be made on the site for letter boxes and receptacles for papers to the satisfaction of the Responsible Authority.

Permit to expire:

27. This permit will expire if:

- a) The development does not start within two (2) years of the issue date of this permit; or
- b) The development is not completed within four (4) years of the issue date of this permit.

The Responsible Authority may extend the times referred to if a request is made in writing before the permit expires or:

- (i) within six (6) months afterwards if the development has not commenced; or
- (ii) within twelve (12) months afterwards if the development has not been completed.

Council and the Victorian Civil and Administrative Tribunal are unable to approve requests outside of the relevant time frame.



PLANNING ASSESSMENT REPORT Urban Planning Delegated Committee

Application Number	PP22/0573
Date Application Received	11/07/2022
Planning Officer	Chiara Lorini
Applicant	Zoe Hiou C/- Contour Consultants Australia Pty Ltd
Owner	Z Hiou
Property Address	65 Walpole Street, Kew
Proposal	Construction of a three-storey apartment building comprising ten (10) dwellings over basement and construction of a front fence exceeding the requirements of Clause 55.06-2
Ward	Studley
Zoning	General Residential Zone - Schedule 3 (GRZ3)
Overlays	None
Neighbourhood Character Precinct	9
Particular Provisions	Clause 52.06 (Car Parking) Clause 53.18 'Stormwater Management in Urban Development' Clause 55 (ResCode)
Permit Triggers	Clause 32.08-6 (GRZ) of the Boroondara Planning Scheme, a permit is required to: <ul style="list-style-type: none"> • Construct two or more dwellings on a lot; and • Construct a front fence higher than 1.5 metres,
Covenant	No

Aboriginal Cultural Heritage?	No
Potential Overland Flow?	No
Advertised?	Public notice of the application was given on 20 October 2022 by Council posting notices to abutting and nearby property owners and occupiers and by the display of a sign(s) on the site for a period of not less than 14 days.
Number of Objections Received	14
Plans Assessed in this report	Revised Plans formally amended under S57a of the <i>Planning and Environment Act</i> (The Act) on 28 March 2023.
Recommendation	Notice of Decision to Grant a Planning Permit, subject to conditions

PROPOSAL

See Appendix A - Plans

An application has been made to Council for construction of a three-storey apartment building comprising ten (10) dwellings over basement and construction of a front fence exceeding the requirements of Clause 55.06-2

Details of the proposal are summarised as follows:-

- The proposed dwellings will be located within a three storey (above basement) apartment style development.
- The style of the building will be contemporary in design utilising curved brickwork and render with metal cladding accents with a flat (metal) roof form.
- Basement access will be via a single entry to Walpole Street.
- The proposal provides for 20 car parking spaces and 10 bicycle spaces (in excess of the statutory requirement).

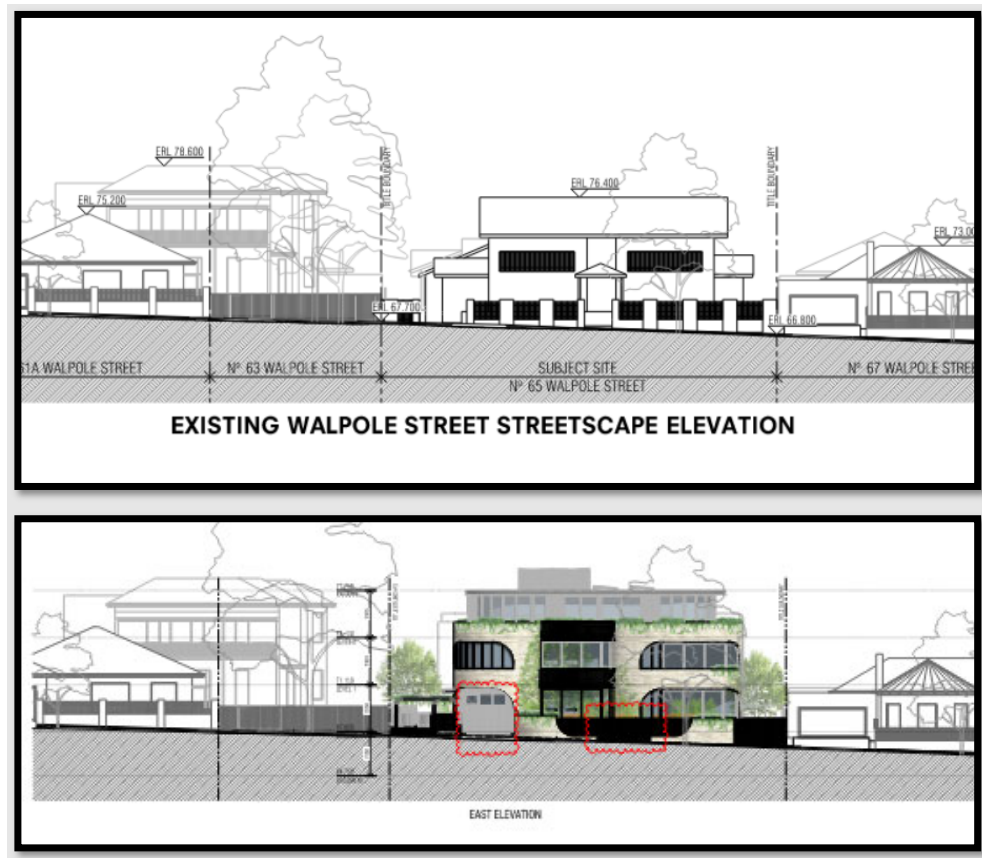


Figure 1 existing and proposed streetscape elevations

THE SITE

Appendix B - Locality Plan

Site Location	The subject site is located on the eastern side of Walpole Street
Width of Frontage	27.79m
Maximum Depth of Site	39.73m
Total Site Area	1104m ²
Easements	The subject site is not encumbered by any easements.
Fall of the Land	The site is generally flat with minimal fall across the allotment

Existing Front Fence Details	A 2m metre high brick pillar with steel picket infill fence is located along the frontage of the site
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- The subject site is currently developed with a two-storey brick dwelling with a hipped tile roof.
- The existing dwelling is setback a minimum of 9 metres from Walpole Street.
- Vehicle access is via a crossover and driveway adjacent to the southern boundary of the site.



Figure 2- Existing site frontage

THE SURROUNDING AREA



Figure 3 - Aerial view of subject site

PERMIT/SITE HISTORY

A review of Council records indicates that there have been no previous planning applications at the subject site.

NOTICE OF APPLICATION

Pursuant to Section 52 of the *Planning & Environment Act 1987*, the application was advertised by:-

- Sending notices to the owners and occupiers of adjoining land; and
- Placing a sign on the land for a period of 14 days.

OBJECTIONS RECEIVED?

14 objections have been received to the proposal. The grounds of objection are summarised as follows:-

- Does not fit in streetscape;
- Poor outcome with regard to neighbouring heritage property;
- Too many apartments;
- Excessive height, visual bulk, and site coverage and insufficient side setbacks and landscaping;
- Overlooking and overshadowing;
- Excessive traffic to Walpole Street;
- Exacerbate existing poor road condition in Walpole Street;
- Strain local services (water, internet etc);
- Poor response to Neighbourhood character; and
- Errors on plans.

AMENDMENTS TO THE PROPOSAL

An amendment to a planning application was lodged with Council after notification. The proposed changes are as follows:-

- Updated the front fence to include pedestrian access following Council Urban Design feedback;
- Added a high level window to the Walpole Street frontage to apartment G01 bedroom following Council Urban Design Feedback;
- Relocation and redesign of the raingarden in response to Council ESD feedback;

- Curved edges provided at level 1 and 2 to the north-west and south-west corners in response to Council Urban Design feedback;
- Privacy screening introduced at level 1 and 2 south façade;
- Recess added to level 2 west façade
- Material finish change areas from render to metal batten.

It was considered that the proposed changes were minor in nature and did not warrant re-notification.

INTERNAL REFERRALS

The application was referred to the following, please refer to Appendix C for a copy of the referral comments.

Internal Referrals

Arborist	Supported subject to conditions
ESD	Supported subject to conditions
Traffic & Transport	Supported
Drainage	Supported subject to conditions
Infrastructure	Supported subject to conditions
Urban Designer	Supported
Waste Services	Supported

GOVERNANCE ISSUES

The implications of this report have been assessed and are not considered likely to breach or infringe upon the human rights contained in the *Victorian Charter of Human Rights and Responsibilities Act 2006*.

The officers responsible for this report have no general or material conflicts of interest requiring disclosure.

The report to Council and any decision arising of Council will be made available on Council's website and by inspection at the Council Offices in accordance with the requirements in the *Local Government Act 2020*, Council's Governance Rules and Public Transparency Policy.

CONSIDERATIONS

In assessing this application, consideration has been given to the following:-

- The objectives of planning in Victoria as detailed in Section 4 of the *Planning & Environment Act 1987*;
- Section 60 of the *Planning & Environment Act 1987*;
- The relevant provisions and decision guidelines of the Boroondara Planning Scheme including the decision guidelines of Clause 65; and
- The objections received.

This proposal does not raise any significant adverse social or economic impacts. General social and economic impacts are addressed by the planning policy assessment below.

PLANNER'S ASSESSMENT

The following planning policies are relevant to the assessment of the current application:

- Clause 11 - Settlement
- Clause 12.01-1L - Protection of Biodiversity - Boroondara
- Clause 15 - Built Environment
 - Clause 15.01-1S - Urban Design
 - Clause 15.01-1L-01 Urban Design and Built Form Outcomes
 - Clause 15.01-2S - Building Design
 - Clause 15.01-5S - Neighbourhood Character
 - Clause 15.01-5L - Neighbourhood Character
- Clause 15.02 - Sustainable Development
 - Clause 15.02S - Energy and resources Efficiency
 - Clause 15.02L - Energy and resources Efficiency - Boroondara
- Clause 16 - Housing
 - Clause 16.01-1S - Housing Supply
 - Clause 16.01-1R - Housing Supply - Metropolitan Melbourne
 - Clause 16.01-1L - Housing Supply - Boroondara
 - Clause 16.01-2S - Housing Affordability
- Clause 18 - Transport
 - Clause 18.01-3S - Sustainable and Safe Transport
 - Clause 18.01-3L - Sustainable Personal Transport - Boroondara
 - Clause 18.02-4L-02 Car parking - Boroondara

- Clause 19.03-3S - Integrated Water Management
- Clause 19.03-3L - Integrated Water Management

Policy Context (Housing Framework):

The subject site is located within an established residential area and is well located in relation to jobs, services and public transport. Its location is appropriate for residential growth pursuant to Clause 16.01-1S and Clause 16.01-1L (Housing Supply), which seeks to ensure new housing is provided within established urban areas.

Clause 16.01-1L (Housing - Boroondara) seeks to facilitate development that is consistent with the level of change anticipated by the Housing Framework Plan at Clause 02.04. The Housing Framework Plan identifies the subject site as being within the contemporary townhouse/general inner urban precinct. This precinct is described as being able to support moderate change reflecting a mixture of detached dwellings, villas and townhouses as well as apartment buildings.

The subject site is zoned within the General Residential zone. The objectives of the General Residential Zone at Clause 32.08 with regard to housing is:

- *To encourage development that respects the neighbourhood character of the area;*
and
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*

The proposal is consistent with anticipated scale of change within the area. Further, as discussed in the subsequent section of this report, the proposal responds positively to the existing and preferred character of the area.

The subject site has convenient access to community facilities:

- 600m to the south of the subject site is Kew Junction Major Activity Centre and tram access;
- 500m to the east of the subject site is public open space (Eglington Reserve);
- 500m to south east of the subject site is the Kew Recreation Centre.

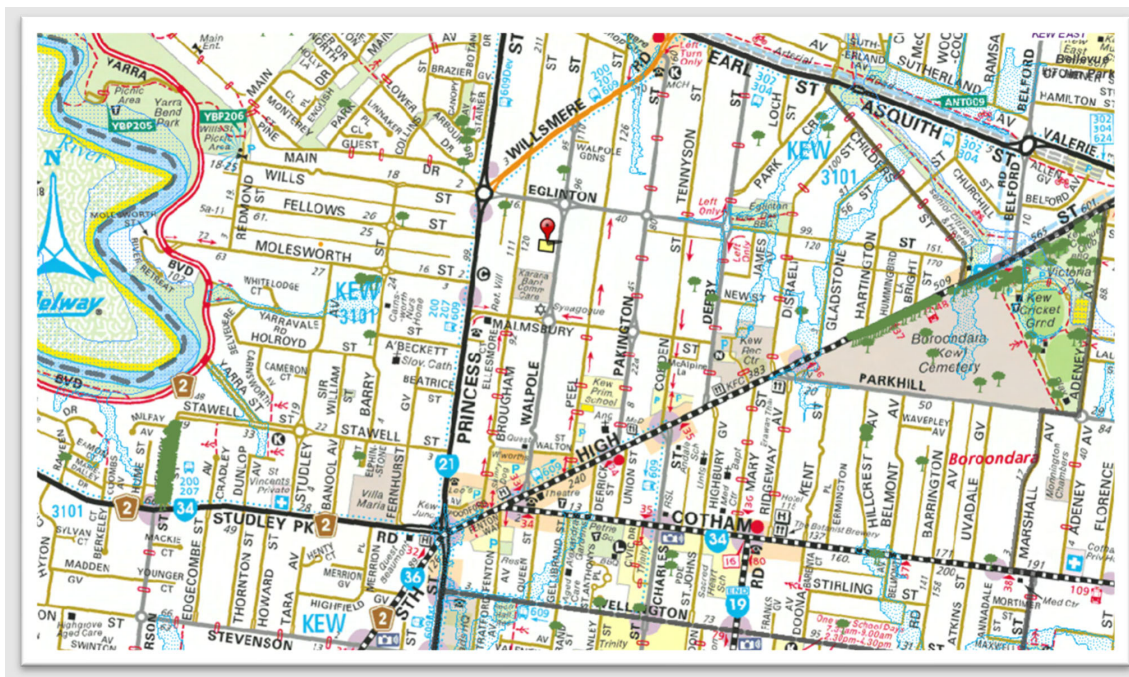


Figure 4 - subject site and location to nearby services

Mandatory Zoning Requirements

The proposal complies with the following mandatory requirements within the General Residential Zone (Schedule 3).

Minimum Garden Area Requirement			
Lot size	Requirement	Proposed	Assessment
400 - 500m ²	25%	N/A	N/A
501 - 650m ²	30%	N/A	N/A
Above 650m ²	35% (387m ²)	47% (516m ²)	✓ Complies

Mandatory Maximum Building Height (GRZ3)			
	Requirement	Proposed	Assessment
Building height requirement	11m	10.12m	✓ Complies
Maximum number of storeys	3	3	✓ Complies

Neighbourhood Character

Clause 15.01-5S and Clause 15.01-5L (Neighbourhood Character) seeks to ensure development respects the existing neighbourhood character and contributes positively to a preferred neighbourhood character of an area. Within the General Residential Zone - Schedule 3, it seeks to facilitate development that integrates with and complements the varied scale and type of development in the precinct. Clause 15.01-5L (Neighbourhood Character) includes the following neighbourhood character strategies for the zone (as relevant):

- *Design building facades to be consistent with those that are characteristic of the streetscape.*
- *Set development back from the front, side and rear boundaries, consistent with the preferred character of the precinct.*
- *Provide a transition in building scale and setbacks to residential properties located within the Neighbourhood Residential Zone 3 and public open space areas.*
- *Design and site development adjacent to a property in an individual Heritage Overlay fronting onto the same street so that it provides for a transition in scale and does not detrimentally impact the heritage significance of the place.*

Council's Neighbourhood Character Precinct Statements (City of Boroondara, 2013) are included as a reference document in the policy. It is located within Neighbourhood Character Precinct 9, which is described as an area which contains 1 and 2 storey dwellings and 2 and 3 storey apartments that date from the 1880s until now. The Neighbourhood Character Precinct statement notes that '*the area has a relatively dense, eclectic feel created by the mixture of apartments*'.

The Neighbourhood Character Precinct Statement seeks to encourage development that integrates with the scale and form of buildings in the precinct, and which respects the historic houses of the area and also enhances the landscape setting of dwellings.

The proposed development is consistent with the character of the area in that it maintains the detached and existing streetscape rhythm, and respects the scale and form of buildings to the streetscape. The proposal includes landscaping within the front setback in keeping with a traditional front garden presentation thereby integrating with the streetscape.

To the south of the subject site is the individually significant dwelling at 63 Walpole Street (HO353). This dwelling is a double storey Italianate Victorian with polychromatic brickwork and is set within a garden setting on an irregular semi battle axe lot. As the former front yard of the mansion has been subdivided into a separate allotment to create 61A Walpole Street, the dwelling to 63 Walpole therefore has limited streetscape frontage and visibility. The dwelling at 61A Walpole Street is not within the heritage overlay and comprises of a 1970s dwelling.

The streetscape elevations indicates that the proposed development adopts a scale, form, and setbacks that are respectful of the heritage significance of this dwelling.



Figure 5: Streetscape Elevation

The below discussions are in relation to Clause 15.01-5L and the Neighbourhood Character Precinct Statement (NCPS). Tables assessing the development against each design response listed in the NCPS can be found in the appendix of this report.

Building Height

Neighbourhood Character Precinct Statement 9 seeks to maintain the appearance of the existing one and two storey scale and pitched roof character of the precinct.

Standard B7 and GRZ3 specifies a height of 11m. The development proposed is three storeys and a maximum height of 10.12m, complying with both requirements.

Whilst the proposed building includes a third level, it is a visually recessive element as it is setback from the levels below.

Front Setback:

Council's Neighbourhood Character Precinct Statement seeks to maintain and enhance the existing streetscape rhythm. It seeks to ensure buildings are setback no less than the average distance of the front setback of the adjoining properties on either side or 9m, whichever is less. This is consistent with Standard B6 (Street Setback).

The proposal will maintain the existing rhythm of the streetscape with a minimum front setback of 8.5m from Walpole Street at ground level. This is consistent with the adjacent dwelling to the north, and the 7.6m setback of the dwelling located at 61A Walpole Street. The front setback will also be consistent with the existing dwelling on the site.

Roof form:

Council's Neighbourhood Character Precinct Statement notes that no building type or style predominates within the area and that *'roof forms vary with many older homes exhibiting pitched roofs while the later apartments and dwellings have flat roofs'*.

The discrete character along Walpole Street, consistent with the NCPS, displays a varied character with regard to roof forms. Other apartment style developments and some dwellings within proximity to the site display flat roof forms while older detached homes and apartments have traditional pitched roofs.

The proposal includes a flat roof form which given the varied character of the streetscape in this area is considered an acceptable response and will not create an atypical outcome within the neighbourhood. The proposed flat roof form of the dwelling will further integrate within the streetscape via the use of eaves.

Materials:

Council's Neighbourhood Character Policy seeks to ensure building materials complement the character of the streetscape. Dwellings in the immediate streetscape surrounds of the subject site are generally comprised of brick and render.

The proposal comprises facades of predominantly face brickwork and render with some minor application of accent metal cladding. This is considered consistent with the prevailing materiality of the streetscape. The proposed materials are supported by Council's Urban Designer.

Front Fence

Council's Neighbourhood Character Precinct Statement seeks to ensure that front fences are no more than 1.5m or the average fence height in the street. This is consistent with Standard B32

It is proposed to construct a 1.665-2m high front fence (accommodating the minor slope across the width of the frontage). The proposed fence comprises brickwork with steel picket infill, allowing for a high level of visual permeability.

The existing prevailing character to either side of the subject site is for 1.7-2m high fencing, generally constructed of brick with steel infill for visual permeability. The proposed fencing is therefore considered consistent with the established streetscape character and rhythm.

Side and Rear Setbacks:

The proposed development will comply with the objective to Standard B17 (Side and Rear Setbacks) which seeks the provision of side and rear setbacks that respects the neighbourhood character, and limits the impact on the amenity of existing dwellings. The proposal complies with the numeric standard setbacks to the south and west. To the north, a minor variation to the numeric standard of 0.1-0.11m can be supported as the proposed design has utilised central recesses in varied materiality to all sensitive interfaces to break the massing of the proposal. In addition, the curved masonry walls, corner balcony breaks and with the uppermost level recessive setback further reduces the massing of the proposal.

Off-Site Amenity

The proposed development complies with the objective and the numerical requirements of the Standards at Clause 55.04-3 (B19) Daylight to Existing Windows, Clause 55.04-4 (B20) North Facing Windows, Clause 55.04-5 (B21) Overshadowing Open Space and Clause 55.04-6 (B22) Overlooking.

With regard to overlooking, at ground level, the existing and proposed boundary fencing between 1.8-2.3m adequately limits overlooking opportunity in accordance with the standard.

At first floor level to the northern and western elevations the proposal includes fixed opaque glazing to 1.7m to all windows and screening to 1.7m (minimum 25% transparency) of all balconies.

The western end of the southern elevation shows the first floor windows screened where potential overlooking opportunities to the SPOS and habitable room windows of 63 Walpole Street exist. The eastern end of the southern elevation does not require screening as there are no overlooking opportunities to secluded private open space. No screening is required for outlook to the driveway and front garden of 63 Walpole Street.

At the second floor, the balconies encapsulate both dwellings at the uppermost level. Screening is shown to the balconies to 1.7m to the southern, western and northern elevations in accordance with the standard to limit overlooking opportunities.

With regard to overshadowing, the standard limits the extent of new shadow over secluded private open space of adjacent dwellings. The proposal complies with the standard as the new shadow created over the front and side garden area and car parking bays of 63 Walpole Street are not included in the assessment under the standard,

Tree Removal and Landscaping

Tree removal:

Clause 12.01-1L (Protection of biodiversity - Boroondara), seeks to retain significant trees and canopy trees.

The subject site does remove any vegetation worthy of retention and the extent of tree removal is supported by Council's Arborist, subject to replacement planting.

It appropriately protects Trees 1 and 3 to the neighbouring site and Tree 4 (street tree) and is supported by Council's Arborist. This is consistent with Neighbourhood Character Precinct Statement, which seeks to ensure the retention of large trees.

Landscaping (Front setback):

Clause 12.01-1L (Protection of biodiversity - Boroondara), seeks to provide sufficient space in front and rear gardens to accommodate large canopy trees and particularly supports the use of indigenous planting in development. It is policy to consider providing at least one canopy tree in backyard and front yard areas.

Neighbourhood Character Precinct Statement 9 seeks to maintain and enhance the landscaped setting of dwellings. In particular, it seeks to ensure front gardens incorporate soft landscaping that complements the streetscape. It discourages front gardens that are dominated by hard surfaces and the loss of large trees.

The proposal includes ground cover, shrubs and canopy tree provision within the front and side setbacks that will position the development within a soft landscaped setting to the streetscape.

Councils Arborist has recommended only a minor modification to canopy tree provision (an additional 1m mature height to the large canopy proposed).

Landscaping (SPOS areas)

Council's Neighbourhood Character Policy seeks to provide for areas of secluded private open space area with a minimum dimension of 4m to enable the planting and retention of large trees. The planting of trees in backyards is further supported from a biodiversity perspective at Clause 12.01-1L (Protection of biodiversity - Boroondara).

Ground floor dwellings G03 and G04 to the rear of the site are provided with areas of SPOS to the north eastern and south eastern corners of the site with a minimum dimension of 5.25m that accommodate small canopy trees, as demonstrated by the landscaping plans

On-site Amenity

The proposal complies with Clauses 55.05-3 (Daylight to New Windows), Clause 55.04-4 (Private Open Space), and Clause 55.05-5 (Solar Access to Open Space) with regard to on site amenity.

In addition the proposal also complies with the design requirements of Clause 55.07 (Apartment Developments) pertaining to such matters as energy efficiency, communal open space, accessibility requirements for persons with limited mobility, storage, minimum room depth requirements, and ventilation.

Private Open Space

The proposed development complies with Clause 55.05-5 (B29) Solar Access to Open Space, Clause 55.05-4 (B28) Private Open Space, and Clause 55.07-9 (B43) Private Open Space (Apartments).

Car Parking and Traffic

The proposed development provides for 20 car parking spaces within the basement that meets the requirement set out in Clause 52.06 (Car Parking). As such, no reduction in car parking is sought.

The application is supported by Council's Traffic and Transport Engineers, who have determined that the proposal will not unreasonably increase or impact on the traffic to Walpole Street.

OBJECTION RESPONSE

Summary of Objection	Planner's Comments
Neighbourhood character	A detailed assessment regarding neighbourhood character has been undertaken in the Neighbourhood Character Policy (Clause 15.01-5L) section of this report and Appendix B of the report.
Impact to adjacent Heritage Dwelling	The existing significant graded dwelling at 63 Walpole Street is situated on an irregular semi battle axe allotment and has limited streetscape frontage or visibility. Notwithstanding this, it is considered that the proposed development adopts side setbacks, scale and massing that is respectful of the heritage significance of the adjoining allotment.
Overdevelopment	<p>The proposal satisfies the requirements of ResCode in respect to site coverage, setbacks, permeability, car parking, and open space provision and therefore the proposal is not considered to be an over development of the site.</p> <p>Dwelling density in and of itself is not a relevant consideration in the assessment of this proposal, as it is not an adequate measure of the external impacts that may be caused by the built form or of the internal</p>

	amenity within the development. The high level of internal amenity of the proposed dwellings and the limited off-site amenity impacts suggests that the application has not attempted to squeeze too many dwellings onto the land.
Visual bulk and inadequate setbacks.	A detailed assessment regarding visual mass and bulk impacts has been undertaken in the policy and ResCode sections of this report.
Overshadowing	The extent of shadow complies. A detailed assessment regarding overshadowing impacts has been undertaken in the ResCode section of this report.
Overlooking	No overlooking will occur. A detailed assessment regarding overlooking impacts has been undertaken in the ResCode section of this report.
Loss of trees	Council's Arborist has assessed the trees to be removed and has no objection given their poor condition/or size being below the Tree Protection Local Law threshold. The balance of vegetation on the site contributes little to the overall neighbourhood character of the area. A condition on the planning permit will require a landscape plan to be submitted and endorsed as part of the planning permit to provide appropriate planting. Council's Arborist has also assessed the development impact to adjoining property trees and has determined that conditions and a tree management plan should allow for the

	successful retention of neighbouring trees and street tree.
Lack of visitor parking	The proposed development exceeds the relevant planning scheme requirement in respect to the provision of car parking. The development provides for appropriate on-site car parking relative to the number of bedrooms in the proposed dwellings. No reduction in car parking is being sought and therefore there is no planning permit trigger that would enable a further consideration of car parking for this application.
Increased traffic	<p>Walpole Street currently experiences around 3733 vehicle movements per day. The proposal will generate an additional 54 vehicle movements. It is considered that this can be adequately accommodated along Walpole Street and the surrounding Road network without significant impact.</p> <p>Council's Traffic and Transport Engineer has assessed the application and has raised no concerns regarding the impact of the proposal on the surrounding traffic network. The increased traffic movement associated with 9 additional dwellings on the site from existing conditions can be readily accommodated in the surrounding street network.</p>
Noise, disturbance and damage to property during construction.	<p>Potential damage to the adjoining property from construction is not a matter that can be considered through the planning process. It is a matter that would be need to be addressed by the relevant Building Surveyor through the issue of building notices and the taking out of insurance prior to the commencement of construction.</p> <p>Some noise and other off site impacts are inevitable when any construction occurs. The</p>

	developer will be required to meet relevant Local Law and EPA regulations regarding construction practices to ensure these impacts are mitigated.
Noise generated by additional dwellings.	The residential use of the dwellings does not require a planning permit and is not a planning matter. Residential noise associated with a dwelling is considered normal and reasonable in an urban setting. Any future issues of amenity, if they arise, should be pursued as a civil matter.
Error to plans with regard to neighbouring garden and car parking area arrangement.	Council officers have conducted inspections and carried out their own assessment of the proposal against the relevant matters set out in the Boroondara Planning Scheme. Officers are of the view that there is sufficient information available to allow an informed decision to be made in respect to the proposal.
Poor response to the requirements of the Boroondara Planning Scheme	A detailed assessment regarding neighbourhood character has been undertaken in the Neighbourhood Character Policy (Clause 15.01-5L) and Clause 55 Summary section of this report and Appendix B and C of the report.
Insufficient landscaping and canopy tree provision	A detailed assessment regarding landscaping been undertaken in the Neighbourhood Character Policy (Clause 15.01-5L) and Clause 55 Summary section of this report and Appendix B and C of the report.
Not in keeping with backyard character of area	Review of the immediate surrounds of the site does not indicate a distinct backyard character or green spine. Notwithstanding this, it is considered that the application provides adequate front, side and rear setbacks to position the development within a landscaped setting.

Apartment developments underway in the street are altering the character.	The subject site is located within Neighbourhood Character Precinct 9, which is described as an area which contains 1 and 2 storey dwellings and 2 and 3 storey apartments that date from the 1880s until now. The proposed development is considered consistent with the established and preferred neighbourhood character as detailed the Neighbourhood Character Policy (Clause 15.01-5L) section of this report and Appendix B of the report.
Poor road conditions in Walpole Street	Existing poor road condition and maintenance problems in the area cannot be addressed through the current application, nor should the burden of relieving these existing problems be imposed on the developer of the subject land.
Pressure on infrastructure.	The capacity of services in the area is a matter for the relevant servicing authorities. The applicant will be required to ensure appropriate connections at the subdivision stage of the project.

RECOMMENDATION

That Council having considered all of the matters required under Section 60 of the *Planning & Environment Act* 1987 and the Boroondara Planning Scheme decides to grant a **Notice of Decision to Grant a Planning Permit subject to conditions.**

APPENDIX A - REFERRAL COMMENTS

The application was referred to the following:

Arborist**ARBORIST REFERRAL RECOMMENDATION SUMMARY:**

- The proposal is supported subject to minor changes (to be achieved through conditions)

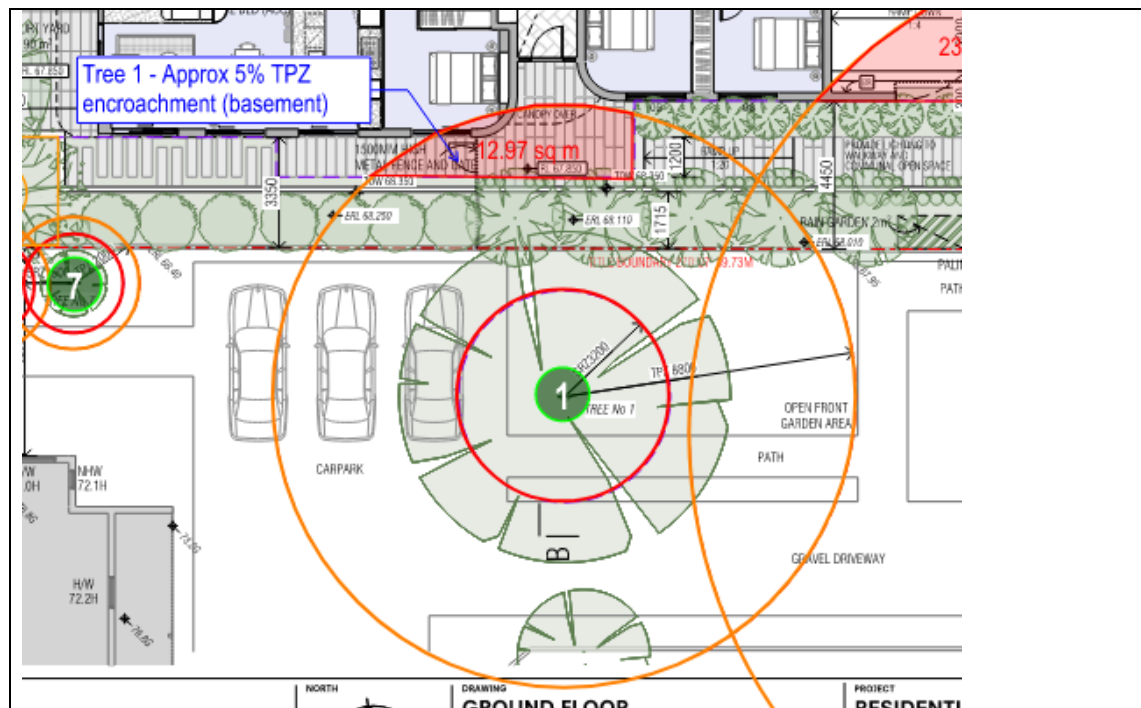
SUMMARY COMMENTS:

The following issues are identified:

1. Maintaining TPZ levels where they encroach the subject site (excluding built form) should allow for the successful retention of neighbouring trees and street tree.

DETAILED COMMENTS:**Detailed Internal Arborist Comments:****Tree 1 - Neighbouring tree**

The proposed basement represents a TPZ encroachment of approx 5% which is considered minor and unlikely to impact the tree. The potential impacts to this tree are further reduced by the location of the existing dwelling and concrete driveway. Hard surfaces to be constructed above grade and the remaining TPZ outside the basement footprint to remain at existing grade and of garden and lawn.



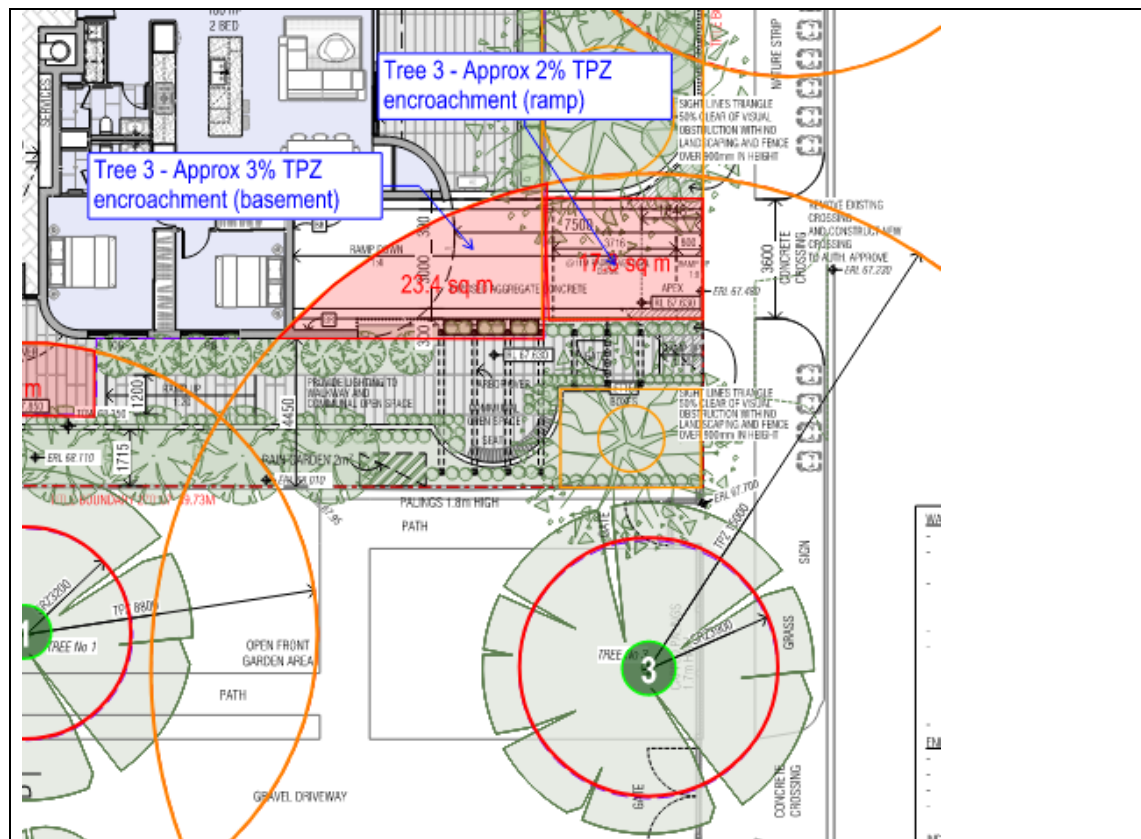
Tree 1 - Proposed TPZ encroachment (basement)

Tree 2 - Subject site tree

This tree has been identified as being in good health although a codominant stem union was observed and likely to have impacts on structure and life expectancy. The location of the tree was also identified as being inappropriate with impacts to the existing retaining wall currently, and impacts to the boundary fence in the future likely. Although the tree provides moderate levels of amenity value, its removal would be supported on the basis of structure and location, with appropriate replacement planting in a more central location. Given the suppression of the large Pine tree, tree 2 is unlikely to grow to its full potential or significantly larger than it currently is.

Tree 3 - Neighbouring tree

The proposed basement and ramp represent a TPZ encroachment of approx. 5% which is considered minor and unlikely to impact the tree. The proposed paving and hard landscaping is located within the area of the existing driveway and will be unlikely to have significant impacts if constructed of permeable materials and above grade. The TPZ area outside of the basement and ramp must be maintained at existing grade and consist of permeable surfaces.



Tree 3 - Proposed TPZ encroachment (basement and ramp)

Tree 4 - Street tree

The proposed basement represents a TPZ encroachment of approx. 1% which is considered minor and unlikely to impact the tree. The proposed booster represents a further TPZ encroachment of approx. 4% which is also considered minor.

The routing of the services from the booster box has the potential to have significant impacts on the tree. Services must be routed outside of the TPZ to ensure that this tree is not damaged.

The proposed fence has the potential to impact the tree and must be constructed using root sensitive techniques and non-destructive excavation. No strip footing is to be used for fence construction.

The remaining TPZ outside of the basement must remain at existing grade and consist of permeable materials.



These trees are relatively small and could be readily replaced. These trees do not require a local law permit and their removal would be supported with appropriate replacement planting.

Relatively small trees which are not expected to have significant root growth into the subject site. There are no works proposed within their TPZs, however it is recommended that their TPZs remain at existing grade to ensure root damage does not occur.

There are no proposed works within the TPZ of this tree and it is unlikely to be significantly impacted. The existing hedge is likely to have limited root growth into the subject site, however existing levels should be maintained within the TPZ where it encroaches the subject site.

Small neighbouring tree with no TPZ encroachment into the subject site. This tree is unlikely to be impacted.

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The proposed retaining wall represents a minor encroachment which is unlikely to impact this tree. Existing grade within the TPZ where it encroaches the subject site must be maintained.

Tree 11 - Subject site trees

Represents a pair of palm trees which are considered to have low amenity value and would be supported for removal with replacement planting. There are no local law permits required to remove these trees.

Trees 12 and 13 - Neighbouring trees

There are not works proposed within the TPZ of these trees and they are therefore unlikely to be impacted. Existing grade within their TPZs must be maintained within the subject site.

**TREE PROTECTION
LOCAL LAW PERMITS
REQUIRED?**

Yes

Tree Protection Local Law Permits Will Be Approved For (Tree Numbers): 2

Tree Protection Local Law Permits Will NOT Be Approved For (Tree Numbers):

Please include the following conditions:

Amended plans required

1. Plans modified to show:
 - a) The Tree Protection Zone and Structural Root Zone of Tree Nos. 1, 3, 4, 7, 8, 9, 10, 12 and 13 (as identified in the Arborist Report submitted with the application prepared by Galbraith and Associates (dated 24/02/2022) drawn on all site and floor plans;
 - b) Notation on all site and floor plans that Tree Nos. 1, 3, 4, 7, 8, 9, 10, 12 and 13 are to be retained and protected in accordance with the endorsed Tree Management Plan required by this Permit;
 - c) Any modifications to the location or layout of buildings and/or works recommended in the endorsed Tree Management Plan required by this Permit;
 - d) The siting of any necessary stormwater detention pit, underground services and pits, and/or rainwater harvesting tank to be located outside any area set aside for deep-soil planting and outside the Tree Protection Zone of any trees to be retained/protected.
 - e) Permanent fencing within the Tree Protection Zone of Trees 3 and 4 constructed utilising non-destructive excavation and on pier foundations with any required plinths constructed above existing grade.

- f) Notation on all site and floor plans that no strip footing is permitted within the Tree Protection Zone of Trees 3 and 4.
- g) Notation on all site and floor plans that no services are to be located within the Tree Protection Zone of Tree 4.
- h) Notation on all site and floor plans that indicates no soil level changes within the calculated TPZ of any retained tree (excluding built form only)

Landscape plan

- a) A survey (including botanical names) of all existing trees to be retained and of those to be removed. The intended status of the trees shown on the landscape plan must be consistent with that depicted on the development layout plan;
- b) All hard surfaces proposed within the Tree Protection Zone of Tree Nos. 1, 3 and 4 (as identified in the Arborist Report submitted with the application Galbraith and Associates (dated 24/02/2022) must be constructed of permeable materials; be constructed above current grade; and be constructed on foundations that maintain appropriate permeability for each tree, to the satisfaction of the Responsible Authority;
- c) Detailed construction specifications for all permeable surfaces that include cross-section diagrams;
- d) One (1) canopy tree (minimum 2 metres tall when planted and must achieve a minimum mature height of 13 metres and canopy spread of 7 metres) in the front setback of the property;
- e) Four (4) small trees (minimum 2 metres tall when planted and must achieve a minimum mature height of 7 metres and canopy spread of 4 metres) in the Southeast, Southwest, Northeast and Northwest corners of the property;
- f) Each canopy tree must be provided a minimum of 49 sqm of deep soil, with the available soil area clearly shown on the landscape plan;
- g) Each small tree must be provided a minimum of 12 sqm of deep soil, with the available soil area clearly shown on the landscape plan;
- h) All trees must comply with Australian Standard AS2303:2015 - Tree Stock for Landscape Use;
- i) All canopy trees must be planted by an AQF Level 3 Qualified Arborist, Landscape Gardener or Horticulturist;
- j) All canopy trees must be planted more than 2 metres away from any structures, paving, decking, property boundaries, easements, existing trees or shrubs;
- k) All small trees must be planted more than 1 metre away from any structures, paving, decking, property boundaries, easements, existing trees or shrubs;
- l) All trees within side and rear setbacks adequately setback from common boundaries to avoid mature canopy overhang of neighboring spaces.

Tree Management Plan

2. Concurrent with the submission of amended plans required by Condition 1 of this Permit and prior to any demolition or site works, a Tree Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The Tree Management Plan must be prepared by a minimum AQF Level 5 qualified and experienced Arborist in relation to the management and maintenance of Tree Nos. 1, 3, 4, 7, 8, 9, 10, 12 and 13 (as identified in the Arborist Report submitted with the application prepared by Galbraith and Associates (dated 24/02/2022)). The Tree Management Plan must make specific recommendations in accordance with the Australian Standard AS4970: 2009 - Protection of Trees on Development Sites and detail the following to ensure that all retained trees remain healthy and viable during construction:
- a) A Tree Protection Plan drawn to scale that shows:
 - i. Tree Protection Zones and Structural Root Zones of all trees to be retained;
 - ii. All tree protection fenced off areas and areas where ground protection systems will be used;
 - iii. The type of foundations (illustration or notation) within each Tree Protection Zone;
 - iv. Any services to be located within the Tree Protection Zone and a notation to state that all services will either be located outside of the Tree Protection Zone, bored under the tree protection zone, or installed using hydro excavation under the supervision of the project arborist; and
 - v. A notation to refer to the Tree Management Plan for specific detail on what actions are required within the Tree Protection Zone.
 - b) Details of how the root system of any tree to be retained will be managed. This must detail any initial non-destructive trenching and pruning of any roots required to be undertaken by the project arborist; and details of how any permeable surfaces within the Tree Protection Zone of retained trees will be constructed;
 - c) Supervision timetable and certification of tree management activities required by the Project Arborist to the satisfaction of the Responsible Authority;
 - d) All remedial pruning works that are required to be performed on trees during demolition and development of the site. The pruning comments must reference Australian Standards 4373:2007 Pruning of Amenity Trees and provide a detailed photographic diagram specifying what pruning will occur. *Note: Only Council or Authorised Council Contractors can prune Trees Nos. 4. Any request for the pruning of trees on public land must be made through Council's Environmental Sustainability and Open Spaces Department.*
 - e) The recommendations contained in the approved Tree Management Plan must be implemented to the satisfaction of the Responsible Authority and any

changes to the endorsed Tree Management Plan will require written authorisation from the Responsible Authority.

Tree Management Plan and Construction Management Plan

3. If a Construction Management Plan is required as a condition of this permit it must be in accordance with the Tree Management Plan and Tree Protection Plan.

Contractors to be advised of trees to be retained and protected

4. The owner and occupier of the site must ensure that, prior to the commencement of buildings and works, all contractors and tradespersons operating on the site are advised of the status of trees to be retained and protected as detailed in the endorsed Tree Management Plan and are advised of any obligations in relation to the protection of those trees. A written record must be maintained on site of all contractors inducted regarding this condition. At the request of an authorized officer of Council this written record must be provided to council.

Regulation of activities in Tree Protection Area

5. No vehicular or pedestrian access, trenching or soil excavation is to occur within the Tree Protection Area as detailed in the endorsed Tree Management Plan without the prior written consent of the Responsible Authority. No storage or dumping of tools, equipment or waste is to occur within the Tree Protection Zone.

Documentation and Certification by Project Arborist

6.
 - a) Prior to the commencement of any site works, including demolition and excavation, the Responsible Authority must be provided with evidence that a project arborist has been engaged as part of the ongoing consultant team to oversee the design and construction, and to ensure the development does not have a detrimental impact on the ongoing health and stability of the trees to be retained. The project arborist must hold suitable qualifications and experience to the satisfaction of the Responsible Authority. Evidence of the appointment of the project arborist must be submitted to the satisfaction of the Responsible Authority (quoting the Planning Permit number and site address, emailed to Boroondara@boroondara.vic.gov.au) not less than seven (7) days before the commencement of works on site.
 - b) Prior to the commencement of any site works, including demolition and excavation, a timetable for the supervision and certification of tree management activities which is to the satisfaction of the Responsible Authority must be prepared by the project arborist and submitted to the Responsible Authority for approval. A signed and dated copy of each stage of the supervision timetable certified by the project arborist (quoting the Planning Permit number and site address, emailed to Boroondara@boroondara.vic.gov.au) must be submitted to the Responsible Authority not more than seven (7) days following the completion of each stage.

ESD

Summary

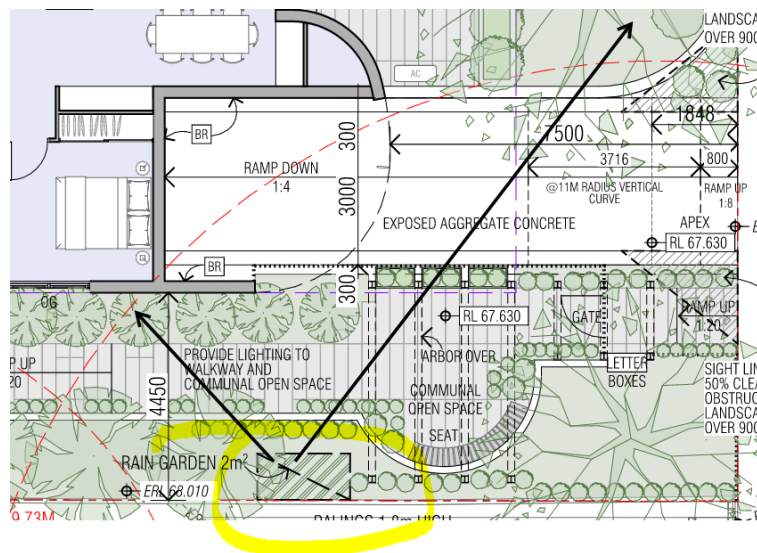
The submitted Sustainable Design Assessment does not adequately address Boroondara ESD and stormwater requirements. Detailed response as well as recommended planning permit conditions are included below

Documents reviewed:

- Development plans by Ascui & Co. Architects dated 01/09/2022 and received by Council on 12/09/2022
- Sustainable Design Assessment by Greenviro Consulting dated 05/09/2022 and received by Council on 12/09/2022

Environment (ESD) Response

1. **Raingarden:** The raingarden must not be located on boundary and must be at least 3m² (2% of catchment area). The raingarden can be a planter box type and can be located to the inner side of the walkway or otherwise at the front of the development in the garden area adjacent to street



2. **Raingarden cross-sectional detail:** Landscape plans must include a cross sectional diagram of the raingarden, such information can be obtained from Melbourne water website
3. **Roof materials:** To reduce the urban heat island effect, the flat non-visible roof must be specified as light coloured with a solar absorptance not exceeding 0.4
4. **BESS Energy:** do not claim the clothesline credit as none of the apartment has adequate space for it. An internal permanent clothesline in a non-ventilated laundry is not favourable due to condensation and potential impacts on IEQ. It is not sufficient to include a note on plans, if claiming the credit, clothesline must be shown for each apartment
5. **BESS Water:** do not claim credit "4.1 Building Systems". When there are no sprinklers or water-based heat rejection system, this credit must be scoped out as per BESS requirements

4.1 Building Systems Water Use Reduction		100%
Score Contribution	This credit contributes 14.3% towards the category score.	
Criteria	Where applicable, have measures been taken to reduce potable water consumption by >80% in the buildings air-conditioning chillers and when testing fire safety systems?	
Question	Criteria Achieved ?	
Project	Yes	

6. **BESS Urban Ecology:** 39m² communal area was claimed in BESS. This is not evident on plans

BESS, 65 Walpole St Kew 3101

Urban Ecology Overall contribution 2%

1.1 Communal Spaces		100%
Score Contribution	This credit contributes 11.1% towards the category score.	
Criteria	Is there at least the following amount of common space measured in square meters : * 1m ² for each of the first 50 occupants * Additional 0.5m ² for each occupant between 51 and 250 * Additional 0.25m ² for each occupant above 251?	
Question	Common space provided	
Apartment	39.0 m ²	
Output	Minimum Common Space Required	
Apartment	26 m ²	

Further recommendations (not conditioned)

1. Electrification: It is highly recommended that the development adopts a gas-free approach. This requires cooktops to be of an induction type and the hot water can be a communal heat pump
2. Solar PV capacity: It is recommended that the solar PV system capacity is increased to at least 15kW. This can be especially useful for the common area when the hot water is a communal heat pump and for daytime EV charging in the future. The roof can easily accommodate this capacity

Recommended Permit Conditions (Without Prejudice)

1. Before the use and development commences, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions. The plans must be generally in accordance with the plans received XXXX but modified to show:
 - a. Initiatives contained within the Sustainable Design Assessment along with the proposed changes, including:
 - i. The raingarden relocated so it is not on neighbouring site boundary
 - ii. Raingarden surface area increased to at least 3m²
 - iii. Roof material with a maximum solar absorptance of 0.4
2. Prior to the endorsement of plans, amended landscape plans showing the required location, size and a cross-sectional detail of the raingarden pursuant to condition 1 of this permit.
3. Prior to the endorsement of plans, a Sustainable Design Assessment must be submitted to and approved to the satisfaction by the Responsible Authority. The Sustainability Management Plan must demonstrate a best practice standard of environmentally sustainable design and be generally in accordance with the report by Greenviro Consulting dated 05/09/2022 and received by Council on 12/09/2022, but modified to include the following changes:
 - a. BESS credit Energy '3.4 Clothes Drying' no longer claimed unless clotheslines are shown on plans for each apartment
 - b. BESS credit Water '4.1 Building System Water Use Reduction' scoped out
 - c. The correct communal recreational area included in BESS credit Urban Ecology '1.1 Communal Spaces'

Where alternative ESD initiatives are proposed to those specified in conditions above (including condition 1), the Responsible Authority may vary the requirements of this condition at its discretion, subject to the development achieving equivalent (or greater) ESD outcomes in association with the development.

4. All works must be undertaken in accordance with the endorsed Sustainable design Assessment to the satisfaction of the Responsible Authority. No alterations to these plans may occur without the written consent of the Responsible Authority.

Traffic and Transport

ON-SITE PARKING PROVISION					
DESCRIPTION (USE)		SIZE	CAR PARKING RATE	CAR PARKING REQUIREMENT	ON-SITE PARKING PROVISION
4 x Dwelling		2 x bedrooms	1 space per dwelling	4	8
6 x Dwelling		3 x bedrooms	2 spaces per dwelling	12	12
Visitor			Column B rates	0	0
TOTAL				16	20
DESCRIPTION (USE)		TYPE	BICYCLE PARKING RATE	BICYCLE PARKING REQUIREMENT	ON-SITE PARKING PROVISION
Resident		10 dwellings	1 per 5 dwellings (if 4 storeys or more)	-	10
Visitors			1 per 10 dwellings (if 4 storeys or more)	-	
TOTAL				0	10
SATISFIED		PARKING ASSESSMENT ELEMENT			
YES	NO				
X		In accordance with Statutory Requirements			
	N/A	Waiver of long-term (e.g. staff, resident) parking			
	N/A	Waiver of short-term (e.g. visitor, customer) parking			

	N/A	Submission of empirical data - including Parking Demand and Occupancy surveys
COMMENTS		
<ul style="list-style-type: none">The provision of 20 on-site parking spaces satisfies the statutory requirement of 16 resident car parking spaces in accordance with Clause 52.06.The subject site lies within the PPTN, therefore, Column B rates have been applied.Under Council's Parking Permit Policy, residents of the development will not be eligible for resident or visitor parking permits.There is no requirement to provide any bicycle parking spaces. The development is to provide 10 bicycle parking spaces within the basement.		
CAR PARK LAYOUT/DESIGN		
SATISFIED		PARKING ASSESSMENT ELEMENT
YES	NO	
Parking Spaces/Garages		
X		Dimensions in accordance with Clause 52.06 or AS/NZS2890.1-2004
X		Electronic swept path assessment provided to demonstrate satisfactory access
COMMENTS		
<ul style="list-style-type: none">Car parking spaces are provided with minimum dimensions of 2.6m width and 4.9m length, accessible via minimum 6.4m wide aisles, comply with Clause 52.06.Submitted swept path assessment demonstrates vehicles will adequately access each parking space, however, multiple manoeuvres may be required in order to exit the site in a forward direction. It is stated in AS/NZS2890.1:2004 that it is permissible for multiple manoeuvres to be undertaken to access long-term or resident parking. Nevertheless, residents would likely become familiar with these types of access movements and would be aware of these access arrangements. Accordingly, on this basis, the manoeuvrability to/from these spaces in considered acceptable in this instance.		
Access Aisles		
X		Dimensions in accordance with Clause 52.06 or AS/NZS2890.1-2004
X		Electronic swept path assessment provided to demonstrate satisfactory access
X		Provision of 1m aisle extension for blind aisle in basement car park
COMMENTS		

<ul style="list-style-type: none"> Access aisle is 6.4m wide, considered satisfactory. 		
Access Ramps		
X		Ramp width and design in accordance with Clause 52.06 or AS/NZS2890.1-2004
X		Ramp grades in accordance with Clause 52.06 or AS/NZS2890.1-2004
N/A		Electronic swept path assessment demonstrating satisfactory simultaneous access
COMMENTS		
<ul style="list-style-type: none"> The access ramp achieves a minimum width of 3.6m wide between walls (inclusive of kerbs), in compliance with AS/NZS2890.1-2004. The ramp has 1:8 upwards in the first 0.8m, followed by 11m radius vertical curve for 3.716m, then 1:4 for 8.9m and 1:8 for 2.6m, comply with Clause 52.06. The new crossover must be approved and constructed to the satisfaction of the responsible authority. Any redundant crossover must be reinstated to the satisfaction of the responsible authority. 		
Headroom		
X		Dimensions in accordance with Clause 52.06 or AS/NZS2890.1-2004
COMMENTS		
<ul style="list-style-type: none"> A height clearance of 2.1m has been provided at the entrance and within the basement car park levels in accordance with Clause 52.06. 		
Pedestrian Sight Triangles		
X		Dimensions in accordance with Clause 52.06 or AS/NZS2890.1-2004
X		Fences or obstructions restricted to a height of 900mm or made to be 50% permeable to maintain visibility to pedestrians
COMMENTS		
<ul style="list-style-type: none"> Pedestrian sight triangles are fully achieved on both sides of the accessway. It is reiterated that any obstructions, including fencing and/or letterboxes, must be no higher than 900mm or 50% permeable within these triangles. 		
LOADING REQUIREMENTS		
SATISFIED		LOADING ASSESSMENT ELEMENT
YES	NO	

N/A		Dimensions of on-site loading area in accordance with Clause 52.06			
N/A		Suitable justification for not providing an on-site loading facility			
COMMENTS					
N/A					
WASTE COLLECTION					
SATISFIED		WASTE COLLECTION ASSESSMENT ELEMENT			
YES	NO				
X		Identification of waste collection method (Council/Private Contractor)			
N/A		Demonstration of suitable on-site access and manoeuvrability (if required)			
COMMENTS					
<ul style="list-style-type: none"> It is proposed that waste collection will occur on-street via Council's collection services. 					
TRAFFIC ASSESSMENT					
DESCRIPTION (USE)	SIZE	DESIGN GENERATION RATES		TRAFFIC GENERATION ESTIMATES	
		PEAK HOUR	DAILY	PEAK HOUR	DAILY
Dwelling	10 dwellings	0.6/dwelling	6/dwelling	6	60
TOTAL				6	60
COUNCIL OBTAINED TRAFFIC DATA					
STREET		DATE	ROAD TYPE(CAPACITY)	DAILY TRAFFIC VOLUME	
Walpole Street, Kew (between Malmsbury and Eglington streets)		2015	Local Road	3,733	
PROVIDED		TRAFFIC ASSESSMENT ELEMENT			
YES	NO				
X		Existing traffic volume data for adjacent street			

X		Anticipated traffic generation of the proposed development to be accommodated within the surrounding road network
X		Submission of traffic modelling data to justify anticipated traffic generation
COMMENTS <p>Walpole Street is classified as a local access road and is approximately 8.9m wide. The most recent traffic volumes (2015) for Walpole Street, between Malmsbury and Eglington streets, indicate daily two-way traffic volumes of 3,733 vehicles per day. It is acknowledged that Walpole Street carries over 3,000 vehicles per day.</p> <p>Walpole Street has historically been busy due to its location within the road network and traffic generation due to retail component at the southern end of the street. In 2007, the section of Walpole Street, between Malmsbury and Eglington streets, recorded traffic volumes of 3,920 vehicles per day, and the section south of Malmsbury Street recorded 4,733 vehicles per day.</p> <p>Overall, 60 trips per day have been estimated by Traffic Engineering for the proposed development including 6 trips in each of the AM and PM peak periods. This equates to an overall increase in traffic of 54 additional movements in comparison to the existing dwelling at the site.</p> <p>On this basis, it is considered that this level of traffic generation can be accommodated along Walpole Street and the surrounding road network without significant impact.</p>		

Drainage

FLOODING		
	YES	NO
Is the property designated as subject to flooding by an SBO, LSIO or Urban Floodway zone?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the property considered as subject to flooding according to the City of Boroondara's overland flow layer in WEAVE	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are modifications to the proposed development/sub-division required to mitigate flooding or overland flow risks?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Comments:		
DRAINAGE		
	YES	NO
Legal Point of Discharge:		

Description: northeast corner of the property		
Approved Connection Point:		
Description: a minimum 300 mm diameter outfall drain to the Council pit at the corner of Eglinton Street and Walpole Street		
Is the FFL of habitable areas 300 mm above the overflow level of the point of discharge?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the FFL of non-habitable areas 150 mm above the overflow level of the point of discharge?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is onsite detention required? (provide details below)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Are outfall drainage works required? (provide details below)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Comments:		

BASEMENT OF SUB-SURFACE DRAINAGE		
	YES	NO
Do the proposed works include a basement or any other structure that will result in the collection and discharge of ground water?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If YES , Is (or will) the property connects to a sealed drainage system (i.e.: discharge from the site will not exit to kerb and channel.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are outfall drainage works required to address sub-surface drainage issues	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Comments:		

EASEMENTS		
	YES	NO
Are any drainage easements on the property title?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are there any implied easements associated with Council Assets on the site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Description of easements (designated, shared, private or implied):		

BUILD OVER EASEMENTS		
	YES	NO
Are any works proposed on any easement on the site (designated and implied)	<input type="checkbox"/>	<input type="checkbox"/>
Will the proposed works impact on any Council Assets	<input type="checkbox"/>	<input type="checkbox"/>
Do the proposed works provide at least 1 m clearance from existing or proposed Council Assets?	<input type="checkbox"/>	<input type="checkbox"/>
Description of works proposed over easement(s):		
Are the proposed works over the easement likely to be approved by Council:	<input type="checkbox"/>	<input type="checkbox"/>
If NO, describe possible modifications to the proposed works in order to obtain approval:		
COMMENTS		
<input checked="" type="checkbox"/> The application is supported. <input type="checkbox"/> The application is not supported.		
OVERALL COMMENTS:		

STANDARD CONDITIONS REQUIRED FOR PLANNING PERMIT	
<input type="checkbox"/>	The site must be drained to the satisfaction of the relevant building surveyor.
<input type="checkbox"/>	The owner must make an arrangement with Council for the provision of drainage and the acceptance of surface and stormwater from the subject land directly or indirectly into Council's drainage system and a final inspection shall be carried out to determine the completion of drainage in accordance with the approved plans, to the satisfaction of the Responsible Authority.
<input checked="" type="checkbox"/>	No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourses during and after development, to the satisfaction of the Responsible Authority.
<input type="checkbox"/>	Planting of trees within drainage easements/adjacent to Council drains being limited to species with shallow root system (shrubs) which will not prejudice or damage the stormwater drain.
<input type="checkbox"/>	The location of third party or utility assets within the development site must be verified by field survey and clearly shown on all development plans.
<u>Comment:</u>	

STANDARD NOTES REQUIRED FOR PLANNING PERMIT	
<input checked="" type="checkbox"/>	Prior to the commencement of any works on the site, the owner/developer must submit drainage plans for assessment and approval by the Responsible Authority (Asset Management).
<input checked="" type="checkbox"/>	Stormwater drainage plans must include the location of any existing or proposed trees within the vicinity of drainage works and document how any potential conflicts between trees and drains will be addressed during and after construction.
<input checked="" type="checkbox"/>	Stormwater drainage runoff shall be collected in a complete and effective system of drains and connected to the Approved Point of Stormwater Discharge.
<input checked="" type="checkbox"/>	Prior consent from Council and any and all public authorities is required to be obtained for alteration or reinstatement of assets or services affected as a result of the development.
<input checked="" type="checkbox"/>	No groundwater or anything other than Stormwater is to be discharged into an open discharge system. (Kerb & channel, made surface of a right of way or similar surface drainage system)
<input checked="" type="checkbox"/>	A Control pit is to be located in an appropriate location and a suitable path is to be designed for stormwater which surcharges from the pit once the design storm has been exceeded.
<input checked="" type="checkbox"/>	The proposed development is to provide adequate clearance for overland flow through the property.

<input checked="" type="checkbox"/> Stormwater drains are to be connected to a legal point of discharge approved by Council. Drainage Connections within a road reserve, right-of-way, parkland, within an easement or to a Health Act drain must be to Council's standards.
<input checked="" type="checkbox"/> Discharge to the approved point of discharge will be allowed subject to the flow being limited to a rate equivalent to 0.35 coefficient of runoff for 1 in 5 year rainfall event. Any additional discharge is to be temporary detained on site with a minimum storage volume for 1 in 10 year rainfall event, via an approved stormwater detention system designed to Council specifications.
<input checked="" type="checkbox"/> An outfall drain is to be constructed to the nominated Council pit in accordance with the approved point of discharge.
<input type="checkbox"/> There may be private services within a private/common services within private/shared easement of the development and therefore prior written consent is required from the relevant parties.
<input type="checkbox"/> The proposed crossover will impact private or Council drainage assets. Therefore Council's Asset Management Department should be contacted prior to the construction of any works on the site.
Works over easement
<input type="checkbox"/> Prior to the issue of a building permit, the owner must obtain the consents of all relevant authorities for any buildings or works, including any paving, fences, land filling/excavation and landscaping, over any easement or underground services under the control of a public authority including sewers, drains, pipes, wires or cables.
<input type="checkbox"/> The owner must accept all reinstatement costs in carrying out repairs to any buildings, works or landscaping over the easements should such buildings, works or landscaping be disturbed by any works undertaken by Council in the future.
<u>Comment:</u>

SUMMARY
<input checked="" type="checkbox"/> The application is supported. <input type="checkbox"/> The application is not supported.
<u>Comment:</u>

Infrastructure (Vehicle Crossover)

EXISTING CONDITIONS AND PROPOSAL			
	YES	NO	N/A
Is the proposed crossover 2 metres or greater away from the base of a street tree?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMENT:			
Is the proposed crossover 1 metre or greater away from any power pole?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMENT:			
There are no street assets that will require relocation due to the proposed crossover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMENT:			
Is there an existing redundant crossover(s) which will require removal?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMENT:			
Is the crossover width(s) acceptable?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMENT:			
Is the distance of the crossover from an intersection/traffic lights or school crossing acceptable?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMENT:			
Is the separation between the proposed crossovers acceptable?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
COMMENT:			
Is the separation between the crossover and the crossover of the adjoining properties acceptable? (i.e. space for 1 car at 5.5 metres, or 2 cars at 11 metres).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMMENTS
<input checked="" type="checkbox"/> The application is supported. <input type="checkbox"/> The application is not supported.
OVERALL COMMENTS:

STANDARD CONDITIONS REQUIRED FOR PLANNING PERMIT
<input type="checkbox"/> The width of the proposed crossover servicing _____ to be increased/decreased to _____ metres in width.
<input checked="" type="checkbox"/> Any new vehicle crossover or modification to an existing vehicle crossover must be constructed to the satisfaction of the Responsible Authority.
<input checked="" type="checkbox"/> All disused or redundant vehicle crossovers must be removed and the area reinstated with footpath, naturestrip, kerb and channel to the satisfaction of the Responsible Authority.
<input type="checkbox"/> Other:
<u>Comment:</u>

STANDARD NOTES REQUIRED FOR PLANNING PERMIT
<input type="checkbox"/> Prior to the commencement of any works on the site, the owner / developer must submit any new vehicular crossover or modification or alteration to an existing crossover proposal for assessment and approval by the Responsible Authority (Engineering and Traffic Department).
<input checked="" type="checkbox"/> An Asset Protection Permit is required prior to the commencement of site works in accordance with Council's Local Law 1E.
<input checked="" type="checkbox"/> Prior consent from Council and any and all public authorities is required to be obtained for alteration or reinstatement of assets or services affected as a result of the development.
<input checked="" type="checkbox"/> The full cost of reinstatement of any Council assets damaged as a result of demolition, building or construction works, must be met by the permit applicant or any other person responsible for such damage, to the satisfaction of the Responsible Authority.
<input type="checkbox"/> The applicant is required to obtain prior written consent from Council and any and all Public Authorities for alteration or reinstatement of (street) assets or services affected as a result of the development. Full compliance with any and all

conditions is required. The applicant must provide copies of said written approvals / agreements to Council's Asset Management Department. All costs are to be borne by the developer.

Comment:

Waste Services

The WMP for this proposed residential development is satisfactory for Council provided waste services.

The WMP can be endorsed.

Urban Design

URBAN DESIGN COMMENTS

SUPPORTED	Supported subject to minor design modifications.
CONDITIONS	<p>The proposal should be amended prior to any permits being issued. If a permit is to issue based on the current plans, the following conditions should be attached to the permit:</p> <ol style="list-style-type: none"> 1. Consider adding a large opening/window to the eastern wall of the front bedroom of Apartment G1, the one at the end of the driveway behind the curved brick wall facing the street. A large opening with tinted glass or dark metal louvres should lighten this wall and create a sheerer, darker backdrop to the curved brick wall. 2. Provide a direct pedestrian entrance from the street to Apartment G02, preferably sited next to the service units' enclosure at the northern end of the street frontage and finished with the same metal finish as the service units' doors.

	<p>3. Reconsider the west elevation with the following in mind:</p> <ul style="list-style-type: none"> a. Incorporate a central recess to break the mass, add visual relief and soften the development appearance from neighbouring properties. b. Enlarge and accentuate the curved corners to ensure a consistent architectural expression across all building exteriors and a visually cohesive building composition. Amplifying the corners' curvature should also help soften the built form. <p>4. Refine the materials palette and application to the building exteriors as per the following:</p> <ul style="list-style-type: none"> a. Limiting the top-level walls' finishes to metal battens/cladding and glazing with render only applied to the canopy. b. Changing the finish of the recessed middle sections of the lower two levels walls in the north and south elevations to the same dark grey metal finish of the top floor. c. Physical samples of all materials should be provided for Council's assessment and approval.
SUMMARY OF ISSUES	<ul style="list-style-type: none"> - Whether the design delivers a site-responsive outcome that fits into context and responds to the neighbourhood character. - Whether the design proposal minimises any on/off-site impacts, including visual bulk.
RELEVANT PLANNING SCHEME POLICIES	<ul style="list-style-type: none"> - Clause 15 - Built Environment & Heritage; - Clause 15.01-5L - Neighbourhood character - Boroondara - Clause 21.04 – Built Environment and Heritage; - Clause 38 - General Residential Zone Schedule 4; - As well as widely known and industry-accepted urban design principles including those in 'Urban Design Guidelines for Victoria'.
Site & Policy Context	

The subject site falls within the GRZ4 - Super Sized Lots. The GRZ seeks to encourage a diversity of housing types and housing growth, particularly in locations with good access to services and transport and development that respects the neighbourhood character of the area.

The subject site also falls in Precinct 9, a medium-sized precinct in Kew, north of High Street. The precinct includes a diverse housing stock, ranging from 1-2 storey detached dwellings to villas and 2-3 storey apartments dating from the 1880s until now. A few historic churches and Victorian mansions are scattered throughout the precinct. While no building type or style predominates, most apartments date from the post-war era.

Despite the relatively dense, eclectic feel created by the mixture of apartments, many existing large trees on private properties and nature strips soften the area's built-up character. Hence the emphasis in the NCS on retaining existing trees, providing new planting and maintaining the existing streetscape spacing/rhythm and the landscape setting of dwellings.

As relevant to build form, the precinct statement requires new development to respect historic buildings where they exist and complement the predominant scale and form of buildings in the streetscape. It also promotes a design that breaks building into separate elements, uses colours and materials that integrate with neighbouring forms, and enhances the streetscape character.

Urban Design Critique

The application seeks support for a three-storey apartment building with basement car parking.

The design concept takes inspiration from adjoining inter and post-war houses, particularly the curved bays of the neighbouring Art Deco dwelling to the north.

Adjoining the subject site to the south is the individually listed dwelling (HO353) at 63 Walpole Street, which is set deeply into the property. The statement of significance describes it as *a handsome, imposing and externally relatively intact example of a broadly symmetrical two-storeyed Italianate residence of the early-mid 1880s featuring dichrome brickwork and a two-storey verandah*. The dwelling's presentation to the street has been compromised by the subdivision and development of part of the front garden for a second dwelling.

From a purely streetscape perspective, the historic dwelling to the immediate south has minimal visibility in the street hidden behind the front residence (61A Walpole Street) and the two large canopy trees in the front garden. This would influence the

design proposal on the subject site favourably as it somewhat isolates it from the historical context.

In line with the adjacent northern and southern dwellings, the proposed development offers 8.5m and 7.5m setbacks, respectively, with a deeper central portion at 9.8 metres from the street. The pedestrian entrance to the building opens to the side and is accessed via a walkway along the southern boundary, with the vehicular accessway lining its northern edge, off-centre of the façade. The two outer bays of the façade are semi-circular, referencing the round bay of the northern neighbour. Their curved alignment and partial hollowness soften the development appearance within the street.

An ideal design outcome would see the pedestrian entrance positioned in the centre with the vehicular ramp tucked away at the far end of the frontage. However, we appreciate the constraints imposed by the two existing trees on the nature strip and the abutting southern neighbour, and as such accept the building siting and front façade arrangement.

That said, the front bedroom of Apartment G1 may need to have a large window facing the street, which could be tinted or screened with louvres for privacy. A higher ratio of void to solid would lighten this wall and create a sheerer, darker backdrop to the curved brick wall.

Also, direct pedestrian entries to ground floor apartments contribute to street activation and interaction, which improves passive surveillance and personal security in the public domain. At least, Apartment G02 should have direct access from the street, with the pedestrian gate possibly sited next to the service units' enclosure at the northern end of the street frontage, preferably of the same metal finish of the service enclosure doors.

While the front façade is carefully and delicately resolved, the same level of attention is not afforded to the rear western elevation. The back interface presents a 20+m long, double-storey high mass with a recessed upper level. The limited rebates and variation in the lower two levels' alignment contribute to the sense of mass and visual bulk. The following design measures should assist in addressing this issue:

1. Incorporate a central recess in the rear west elevation to break up the mass, add visual relief and depth and soften the development appearance from neighbouring properties. Ideally, the indent should extend to the shared corridor to improve its access to natural light and ventilation.

2. Enlarge and accentuate the curved corners of the rear elevation to ensure a consistent architectural expression across all building exteriors and a visually cohesive building composition. Amplifying the corners' curvature should also help soften the building's appearance.

The materials palette is generally acceptable, offering a good balance of masonry and lightweight finishes. However, some refinement might be warranted, including:

1. Limiting the top-level walls' finishes to metal battens/cladding and glazing with render only applied to the canopy:
2. Changing the finish of the recessed middle sections of the lower two levels walls in the north and south elevations to the same dark grey metal finish of the top floor walls.
3. Physical samples of all materials should be submitted for Council's assessment and approval.

APPENDIX B - PLANNING POLICIES

Clause 15.01-5L - Neighbourhood character - Boroondara

The following table contains an assessment against the design objectives and responses contained within the relevant Neighbourhood Character Precinct:

Vegetation Objective	
<ul style="list-style-type: none"> <i>To enhance the landscaped setting of dwellings.</i> 	
Design Response	Assessment
Ensure front gardens incorporate soft landscaping that complements the streetscape.	✓ Complies
Ensure the retention of large trees	N/A

Siting Objective	
<ul style="list-style-type: none"> <i>To maintain and enhance the existing streetscape rhythm.</i> <i>To maintain the existing backyard character and enhance the area's leafy feel.</i> 	
Design Response	Assessment
Ensure buildings are setback no less than the average distance of the front setback of the adjoining properties on either side or 9m, whichever is less.	✓ Complies
Ensure buildings are setback from at least one side boundary in accordance with the prevailing streetscape spacing.	✓ Complies
Ensure new development on a corner site is adequately set back to provide a transition between the adjoining buildings.	N/A
Provide a secluded private open space area with a minimum dimension of 4m to enable the planting and retention of large trees.	✓ Complies

Building Height & Form Objective	
<ul style="list-style-type: none"> <i>To ensure buildings integrate with the scale of buildings in the street.</i> <i>To ensure new development transitions in height between different scales.</i> 	
Design Response	Assessment
Ensure buildings are no higher than 3 storeys.	✓ Complies

Building Materials & Design Details Objective	
<ul style="list-style-type: none"> <i>To ensure building materials and façade articulation complements and enhances the character of the streetscape.</i> 	

<ul style="list-style-type: none"> <i>To minimise period reproduction design.</i> 	
Design Response	Assessment
Break buildings into separate elements and use different colours and materials that integrate with surrounding buildings and enhance the streetscape character.	✓ Complies
Ensure new dwellings and visible additions complement the historic buildings in the precinct.	✓ Complies
In the heritage overlay area, ensure rooflines of new buildings, extensions and additions incorporate sloping roofs with greater than 10 degrees roof slope and reflect the existing character of surrounding dwellings.	N/A

Front Boundary Treatment Objective	
<ul style="list-style-type: none"> <i>To maintain the predominant low to medium front fence heights.</i> <i>To ensure fences in front of heritage properties are appropriate to the era and design of the house.</i> <i>To maintain views of front gardens.</i> 	
Design Response	Assessment
Ensure front fences are no more than 1.5m or the average fence height in the street (whichever is less).	✓ Variation Supported
Ensure the retention of original front fences where heritage overlays apply.	N/A
Front fences along declared main roads (RD1Z) may be up to 2m in height where this is consistent with the prevailing fence height on the neighbouring properties.	N/A

Car Parking Structures Objective	
<ul style="list-style-type: none"> <i>To minimise the loss of front gardens and the dominance of car parking structures.</i> <i>To ensure basement or under-croft parking areas do not increase the visual bulk of buildings.</i> 	
Design Response	Assessment
Ensure car parking structures, including entrances to basements, are setback at least 1m behind the dwelling facade and are designed to minimise their prominence.	✓ Complies
Ensure basements project no more than 0.5m above natural ground level, unless the finished floor level of abutting properties is greater than 0.5m.	✓ Complies
Where possible, locate the entry to basement garages to the side or rear of dwellings so they are not visible from the street.	N/A

Particular Provisions

Clause 52.06-2 (Provision of Car Parking Spaces)

Table 1: Car Parking Requirement						
Use	Rate Column A	Rate Column B	Car Parking Measure	Spaces Required	Spaces Provided	Assessment
Dwelling	1	1	1 or 2 bedroom dwellings	4	8	✓
	2	2	3 or more bedroom dwellings	12	12	✓

Clause 52.06-9 (Design Standards)

Council's Traffic and Transport Department has undertaken a detailed assessment against the Design Standards of Clause 52.06-9, which has demonstrated that the development is compliant with the applicable standards

Clause 53.18 - Stormwater Management in Urban Development

The purpose of the particular provision is *'to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.*

The application provided a Water Sensitive Urban Design response which included:

- A site plan showing the location of proposed stormwater treatment measures and the location and area of impermeable surfaces that drain to each treatment measure.
- A written statement outlining how the application achieves current best practice performance objectives for stormwater quality as contained in the Urban Stormwater Best Practice Environmental Management Guidelines (1999).
- Provision of a water tank 10,000 capacity in litres and the tank is connected to toilets for flushing and irrigation of gardens.

Council's ESD officer has reviewed the proposed stormwater response and while broadly satisfactory, requires modification to the provision and location of the rain

garden. The applicant submitted revised plans showing the relocation of the rain garden 1m away from the boundary and increased in size to 3m². It is considered that this has now been adequately addressed.

APPENDIX C - RESCODE ASSESSMENT

Clause 55 (ResCode - Apartments)

Application Type	Applicable Clauses
<ul style="list-style-type: none"> To construct or extend an apartment development, or To construct or extend a dwelling in or forming part of an apartment development. 	All of Clause 55 except: 55.03-5, 55.03-6, 55.03-8. 55.04-8, 55.05-1, 55.05-2 and 55.05-6.

Clause 55.02 - Neighbourhood Character & Infrastructure

Clause 55.02-1 (B1) Neighbourhood Character	
Objective	Assessment
To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.	✓
To ensure that development responds to the features of the site and the surrounding area.	✓

Clause 55.02-2 (B2) Residential Policy	
Objective	Assessment
To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.	✓
To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.	✓

Clause 55.02-3 (B3) Dwelling Diversity	
Objective	Assessment
To encourage a range of dwelling sizes and types in developments of ten or more dwellings.	✓

Clause 55.02-4 (B4) Infrastructure	
Objective	Assessment
To ensure development is provided with appropriate utility services and infrastructure.	✓
To ensure development does not unreasonably overload the capacity of utility services and infrastructure.	✓

Clause 55.02-5 (B5) Integration With The Street	
Objective	Assessment
<i>To integrate the layout of development with the street.</i>	✓

Clause 55.03 - Site Layout and Building Massing

Clause 55.03-1 (B6) Street Setback	
Objective	Assessment
<i>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</i>	✓

Table B1 Street Setback		
Development context	Minimum setback from front street	Minimum setback from a side street
<i>There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.</i>	<i>The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.</i>	<i>Not applicable</i>

Dwelling 1			
	Proposed	Required	Assessment
Front	8.5m	8m	✓

Clause 55.03-2 (B7) Building Height	
Objective	Assessment
<i>To ensure that the height of buildings respects the existing or preferred neighbourhood character.</i>	✓

General Residential Zone - Schedule 3				
Proposed Max. Height	Proposed Max. Storeys	Max. Height Allowed	Max. Storeys Allowed	Assessment
10.12m	3	11m	3	✓

Clause 55.03-3 (B8) Site Coverage	
Objective	Assessment
<i>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</i>	✓

Proposed	Required	Assessment
51%	60%	✓

Clause 55.03-4 (B9) Permeability	
Objective	Assessment
<i>To reduce the impact of increased stormwater run-off on the drainage system.</i>	✓
<i>To facilitate on-site stormwater infiltration.</i>	✓
<i>To encourage stormwater management that maximises the retention and reuse of stormwater.</i>	✓

Proposed	Required	Assessment
27%	20%	✓

Clause 55.03-7 (B12) Safety	
Objective	Assessment
<i>To ensure the layout of development provides for the safety and security of residents and property.</i>	✓

Clause 55.03-9 (B14) Access	
Objective	Assessment
<i>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</i>	✓
Standard	Assessment
<p><i>The width of accessways or car spaces should not exceed:</i></p> <ul style="list-style-type: none"> <i>• 33 per cent of the street frontage, or</i> <i>• if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.</i> <p><i>No more than one single-width crossover should be provided for each dwelling fronting a street.</i></p> <p><i>The location of crossovers should maximise the retention of on-street car parking spaces.</i></p> <p><i>The number of access points to a road in a Road Zone should be minimised.</i></p> <p><i>Developments must provide for access for service, emergency and delivery vehicles.</i></p>	✓

Clause 55.03-10 (B15) Parking Location	
Objective	Assessment

<i>To provide convenient parking for resident and visitor vehicles.</i>	✓
<i>To protect residents from vehicular noise within developments.</i>	✓
Standard	Assessment
<p><i>Car parking facilities should:</i></p> <ul style="list-style-type: none"> <i>• Be reasonably close and convenient to dwellings and residential buildings.</i> <i>• Be secure.</i> <i>• Be well ventilated if enclosed.</i> <p><i>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</i></p>	✓

Clause 55.04 - Amenity Impacts

Clause 55.04-1 (B17) Side and Rear Setbacks	
Objective	Assessment
<i>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</i>	✓ (minor variation supported)
Standard	
<p><i>A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:</i></p> <ul style="list-style-type: none"> <i>• At least the distance specified in a schedule to the zone, or</i> <i>• If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</i> <p><i>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</i></p> <p><i>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</i></p>	Refer to tables below

Ground Floor				
	Wall Height	Setback	Setback Required	Assessment
North	8.11m	3.1m	3.2m	✓Variation supported
East	-	-	-	-
South	7.75m	3.35m	2.84m	✓
West	5.94	4m	1.7m	✓
First Floor				
	Wall Height	Setback	Setback Required	Assessment
North	8.11m	3.1m	3.2m	✓Variation supported
East	-	-	-	-
South	7.75m	3.35m	2.84m	✓
West	7.26m	6.150m	2.35m	✓

Second Floor				
	Wall Height	Setback	Setback Required	Assessment
North	10.12m	5.1	5.21m	✓Variation supported
East	-	-	-	-
South	9.795m	5.45	4.885m	✓
West	9.395m	7.35	4.485m	✓

Clause 55.04-2 (B18) Walls On Boundaries	
Objective	Assessment
<i>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</i>	N/A
Standard	
<p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:</p> <ul style="list-style-type: none"> For a length of more than the distance specified in a schedule to the zone; or If no distance is specified in a schedule to the zone, for a length of more than: <ul style="list-style-type: none"> 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or 	N/A

<ul style="list-style-type: none"> Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, <p>whichever is the greater.</p>	
<p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p>	N/A
<p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	N/A

Clause 55.04-3 (B19) Daylight to Existing Windows	
Objective	Assessment
To allow adequate daylight into existing habitable room windows.	✓
Standard	
Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.	Refer to table below
Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.	Refer to table below
Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.	

Adjoining Window	3m ² Light Court	Wall Height	Setback from Window	Required	Assessment
67 Walpole Street	✓	8.11m	6.4m	4.05m	✓
Units at 26 Brougham Street	✓	7.26m	9.6m	3.63m	✓

Clause 55.04-4 (B20) North Facing Windows	
Objective	Assessment
<i>To allow adequate solar access to existing north-facing habitable room windows.</i>	N/A
Standard	
<i>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.</i>	N/A

Clause 55.04-5 (B21) Overshadowing Open Space	
Objective	Assessment
<i>To ensure buildings do not significantly overshadow existing secluded private open space.</i>	✓
Standard	
<i>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.</i>	✓
<i>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</i>	

Clause 55.04-6 (B22) Overlooking	
Objective	Assessment
<i>To limit views into existing secluded private open space and habitable room windows.</i>	✓

Standard	
<p><i>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space or habitable room window of an existing dwelling (horizontal 9m rule and from a height of 1.7m above floor level).</i></p> <p><i>A habitable room window, balcony, terrace, deck or patio with a direct view should be either:</i></p> <ul style="list-style-type: none"> <i>Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.</i> <i>Have sill heights of at least 1.7 metres above floor level.</i> <i>Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.</i> <i>Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.</i> 	✓
<p><i>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</i></p>	N/A
<p><i>Screens used to obscure a view should be:</i></p> <ul style="list-style-type: none"> <i>Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.</i> <i>Permanent, fixed and durable.</i> <i>Designed and coloured to blend in with the development.</i> 	✓
<p><i>This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</i></p>	✓

Clause 55.04-7 (B23) Internal Views	
Objective	Assessment
<i>To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</i>	✓

Clause 55.05 - On-Site Amenity and Facilities

Clause 55.05-3 (B27) Daylight to New Windows

Objective	Assessment
To allow adequate daylight into new habitable room windows.	✓

Clause 55.05-4 (B28) Private Open Space	
Objective	Assessment
To provide adequate private open space for the reasonable recreation and service needs of residents.	✓
Standard	Refer to table below
<p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.</p> <p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. <p>The balcony requirements in Clause 55.05-4 do not apply to an apartment development.</p>	

Dwelling	Proposed SPOS	Proposed POS	Min. dimension	Required SPOS/POS		Assessment
G01	25m ²	62m ²	6.89m	25m ²	40m ²	✓
G02	48m ²	160m ²	3.5m	25m ²	40m ²	✓
G03	75m ²	111m ²	3.1m	25m ²	40m ²	✓
G04	34m ²	90m ²	4m	25m ²	40m ²	✓
101	10m ²	-	2m	8m ² (balcony)		✓
102	14m ²	-	1.6m	8m ² (balcony)		✓
103	13m ²	-	2.85m	8m ² (balcony)		✓
104	10m ²	-	2.35m	8m ² (balcony)		✓
201	34m ²	90m ²	2m	8m ² (balcony)		✓
202	32m ²	85m ²	1.8m	8m ² (balcony)		✓

Clause 55.05-5 (B29) Solar Access to Open Space

Objective	Assessment
<i>To allow solar access into the secluded private open space of new dwellings and residential buildings.</i>	✓
Standard	
<i>The private open space should be located on the north side of the dwelling or residential building, if appropriate.</i>	✓
<i>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.</i>	N/A

Clause 55.06 - Detailed Design

Clause 55.06-1 (B31) Design Detail	
Objective	Assessment
<i>To encourage design detail that respects the existing or preferred neighbourhood character.</i>	✓

Clause 55.06-2 (B32) Front Fences	
Objective	Assessment
<i>To encourage front fence design that respects the existing or preferred neighbourhood character.</i>	✓

Clause 55.06-3 (B33) Common Property	
Objective	Assessment
<i>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</i>	✓
<i>To avoid future management difficulties in areas of common ownership.</i>	✓

Clause 55.06-4 (B34) Site Services	
Objective	Assessment
<i>To ensure that site services can be installed and easily maintained.</i>	✓
<i>To ensure that site facilities are accessible, adequate and attractive.</i>	✓

Clause 55.07 - Apartment Developments

Clause 55.07-1 (B35) Energy Efficiency	
Objective	Assessment
<i>To achieve and protect energy efficient dwellings and buildings.</i>	✓

<i>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</i>	✓
<i>To ensure dwellings achieve adequate thermal efficiency</i>	✓
Standard	
<i>Buildings should be:</i> <ul style="list-style-type: none"> • <i>Oriented to make appropriate use of solar energy.</i> • <i>Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</i> • <i>Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged.</i> 	✓
<i>Living areas and private open space should be located on the north side of the development, if practicable.</i>	✓
<i>Developments should be designed so that solar access to north-facing windows is optimised.</i>	✓
<i>Dwellings located in a climate zone identified in Table B4 should not exceed the maximum NatHERS annual cooling load specified in the following table.</i>	Refer to table below

Table B4 - Cooling Load	
NatHERS climate zone	NatHERS maximum cooling load
	MJ/M² per annum
Climate Zone 62 Moorabbin	21 ✓

Clause 55.07-2 (B36) Communal Open Space	
Objective	Assessment
<i>To provide communal open space that meets the recreation and amenity needs of residents.</i>	✓
<i>To ensure that communal open space is accessible, functional, and is easily maintained.</i>	✓
<i>To ensure that communal open space is integrated with the layout of the development and enhances resident amenity.</i>	✓
Standard	

<i>A development of 10 or more dwellings should provide a minimum area of communal outdoor open space of 30 square metres.</i>	✓
<i>If a development contains 13 or more dwellings, the development should also provide an additional minimum area of communal open space of 2.5 square metres per dwelling or 220 square metres, whichever is the lesser.</i>	N/A
<i>This additional area may be indoors or outdoors and consist of multiple separate areas of communal open space.</i>	
<i>Each area of communal open space should be:</i>	✓
• <i>Accessible to all residents.</i>	✓
• <i>A useable size, shape and dimension.</i>	✓
• <i>Capable of efficient management.</i>	✓
• <i>Be located to:</i>	✓
▪ <i>Provide passive surveillance opportunities, where appropriate.</i>	✓
▪ <i>Provide outlook for as many dwellings as practicable.</i>	✓
▪ <i>Avoid overlooking into habitable rooms and private open space of new dwellings.</i>	✓
▪ <i>Minimise noise impacts to new and existing dwellings.</i>	✓
<i>Any area of communal outdoor open space should be landscaped and include canopy cover and trees.</i>	✓

Clause 55.07-3 (B37) Solar Access to Communal Outdoor Open Space	
Objective	Assessment
<i>To allow solar access into communal outdoor open space.</i>	✓
Standard	
<i>The communal outdoor open space should be located on the north side of a building, if appropriate.</i>	✓
<i>At least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June.</i>	Refer to table below

Communal space (m²)	50%	125m²	Assessment
30m ³	50%	15m ²	✓

Clause 55.07-4 (B38) Landscaping

Objective	Assessment
<i>To provide landscaping that supports the existing or preferred urban context of the area and reduces the visual impact of buildings on the streetscape.</i>	✓
<i>To preserve existing canopy cover and support the provision of new canopy cover.</i>	✓ (conditions imposed)
<i>To ensure landscaping is climate responsive, supports biodiversity, wellbeing and amenity and reduces urban heat.</i>	✓
Standard	
<i>Development should retain existing trees and canopy cover.</i>	
<i>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</i>	
<i>Development should:</i>	Refer to table below
<ul style="list-style-type: none"> <i>Provide the canopy cover and deep soil areas specified in Table B5. Existing trees can be used to meet the canopy cover requirements of Table B5.</i> 	
<ul style="list-style-type: none"> <i>Provide canopy cover through canopy trees that are:</i> <ul style="list-style-type: none"> <i>Located in an area of deep soil specified in Table B6. Where deep soil cannot be provided trees should be provided in planters specified in Table B6.</i> <i>Consistent with the canopy diameter and height at maturity specified in Table B7.</i> <i>Located in communal outdoor open space or common areas or street frontages.</i> 	✓ Refer to tables below
<ul style="list-style-type: none"> <i>Comprise smaller trees, shrubs and ground cover, including flowering native species.</i> 	✓
<ul style="list-style-type: none"> <i>Include landscaping, such as climbing plants or smaller plants in planters, in the street frontage and in outdoor areas, including communal outdoor open space.</i> 	✓
<ul style="list-style-type: none"> <i>Shade outdoor areas exposed to summer sun through landscaping or shade structures and use paving and surface materials that lower surface temperatures and reduce heat absorption.</i> 	✓
<ul style="list-style-type: none"> <i>Be supported by irrigation systems which utilise alternative water sources such as rainwater, stormwater and recycled water.</i> 	✓
<ul style="list-style-type: none"> <i>Protect any predominant landscape features of the area.</i> 	✓

• <i>Take into account the soil type and drainage patterns of the site.</i>	✓
• <i>Provide a safe, attractive and functional environment for residents.</i>	✓
• <i>Specify landscape themes, vegetation (location and species), irrigation systems, paving and lighting.</i>	✓

Table B5 - Canopy cover and deep soil requirements			
Site Area	Canopy cover	Deep soil	Assessment
1000m ² or less	5% of site area Include at least 1 Type A tree	5% of site area or 12 square metres, whichever is the greater	N/A
1001 - 1500m ²	50 square metres plus 20% of site area above 1,000 square metres Include at least 1 Type B tree	7.5% of site area	✓
1501 - 2500m ²	150 square metres plus 20% of site area above 1,500 square metres Include at least 2 Type B trees or 1 Type C tree	10% of site area	N/A
>2500m ²	350 square metres plus 20% of site area above 2,500 square metres Include at least 2 Type B trees or 1 Type C tree	15% of site area	N/A

Table B6 - Soil requirements for trees

Tree type	Tree in deep soil (Area of deep soil)	Tree in planter (Volume of planter soil)	Depth of planter soil
A	12 sqm (min. plan dimension 2.5 metres)	12 cubic metres (min. plan dimension of 2.5 metres)	0.8 metre
B	49 sqm (min. plan dimension 4.5 metres)	28 cubic metres (min. plan dimension of 4.5 metres)	1 metre
C	121 sqm (min. plan dimension 6.5 metres)	64 cubic metres (min. plan dimension of 6.5 metres)	1.5 metre

Note: Where multiple trees share the same section of soil the total required amount of soil can be reduced by 5% for every additional tree, up to a maximum reduction of 25%.

Table B7 - Tree types		
Tree type	Minimum canopy diameter at maturity	Minimum height at maturity
A	4 metres	6 metres
B	8 metres	8 metres
C	12 metres	12 metres

Clause 55.07-5 (B39) Integrated Water and Stormwater Management	
Objective	Assessment
<i>To encourage the use of alternative water sources such as rainwater, stormwater and recycled water.</i>	✓
<i>To facilitate stormwater collection, utilisation and infiltration within the development.</i>	✓
<i>To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.</i>	✓
Standard	
<i>Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use.</i>	✓
<i>Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the water authority.</i>	✓

<p><i>The stormwater management system should be:</i></p> <ul style="list-style-type: none"> Designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater – Best Practice Environmental Management Guidelines (Victorian Stormwater Committee 1999) as amended. 	✓
<ul style="list-style-type: none"> Designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas. 	✓

Clause 55.07-6 (B40) Access	
Objective	Assessment
<i>To ensure that vehicle crossovers are designed and located to provide safe access for pedestrians, cyclists and other vehicles.</i>	✓
<i>To ensure that vehicle crossovers are designed and located to minimise visual impact.</i>	✓
Standard	
<i>Vehicle crossovers should be minimised.</i>	✓
<i>Car parking entries should be consolidated, minimised in size, integrated with the façade and where practicable located at the side or rear of the building.</i>	✓
<i>Pedestrian and cyclist access should be clearly delineated from vehicle access.</i>	✓
<i>The location of crossovers should maximise pedestrian safety and the retention of on-street car parking spaces and street trees.</i>	✓
<i>Development must provide access for service, emergency and delivery vehicles.</i>	✓

Clause 55.07-7 (B41) Noise Impacts	
Objective	Assessment
<i>To contain noise sources in developments that may affect existing dwellings.</i>	✓
<i>To protect residents from external and internal noise sources.</i>	✓
Standard	
<i>Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings.</i>	✓
<i>The layout of new dwellings and buildings should minimise noise transmission within the site.</i>	✓
<i>Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts,</i>	✓

<i>building services, non-residential uses, car parking, communal areas and other dwellings.</i>	
<i>New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.</i>	✓
<i>Buildings within a noise influence area specified in Table B8 (below) should be designed and constructed to achieve the following noise levels:</i> <ul style="list-style-type: none"> • <i>Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am.</i> • <i>Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm.</i> 	N/A
<i>Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.</i>	✓
<i>Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.</i>	✓

Clause 55.07-8 (B42) Accessibility	
Objective	Assessment
<i>To ensure the design of dwellings meets the needs of people with limited mobility.</i>	✓
Standard	
<i>At least 50 per cent of dwellings should have:</i> <ul style="list-style-type: none"> • <i>A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.</i> 	✓
<ul style="list-style-type: none"> • <i>A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.</i> 	✓
<ul style="list-style-type: none"> • <i>A main bedroom with access to an adaptable bathroom.</i> 	✓
<ul style="list-style-type: none"> • <i>At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table B9.</i> 	Refer to table below

Dwelling	Clear opening width (850mm)	Clear path (1.2m)	Main bedroom access	Adaptable bathroom
G02	✓	✓	✓	✓ (Design B)
G04	✓	✓	✓	✓ (Design B)
102	✓	✓	✓	✓ (Design B)
201	✓	✓	✓	✓ (Design B)

202	✓	✓	✓	✓ (Design B)
Total Dwellings in accordance with Standard B42				50%

Table B9 - Bathroom Design		
	Design Option A	Design Option B
Door opening	A clear 850mm wide door opening.	A clear 820mm wide door opening located opposite the shower.
Door design	Either: <ul style="list-style-type: none"> • A slide door, or • A door that opens outwards, or • A door that opens inwards that is clear of the circulation area and has readily removable hinges. 	Either: <ul style="list-style-type: none"> • A slide door, or • A door that opens outwards, or • A door that opens inwards and has readily removable hinges.
Circulation area	A clear circulation area that is: <ul style="list-style-type: none"> • A minimum area of 1.2m by 1.2m. • Located in front of the shower and the toilet. • Clear of the toilet, basin and the door swing. <p>The circulation area for the toilet and shower can overlap.</p>	A clear circulation area that is: <ul style="list-style-type: none"> • A minimum width of 1m. • The full length of the bathroom and a minimum length of 2.7m. • Clear of the toilet and basin. <p>The circulation area can include a shower area.</p>
Path to circulation area	A clear path with a minimum width of 900mm from the door opening to the circulation area.	N/A
Shower	A hobless (step-free) shower.	A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.
Toilet	A toilet located in the corner of the room	A toilet located closest to the door opening and clear of the circulation area.

Clause 55.07-9 (B43) Private Open Space	
Objective	Assessment
<i>To provide adequate private open space for the reasonable recreation and service needs of residents.</i>	✓
Standard	

A dwelling should have private open space consisting of at least one of the following: <ul style="list-style-type: none"> An area at ground level of at least 25 square metres, with a minimum dimension of 3 metres and convenient access from a living room. 	✓
<ul style="list-style-type: none"> A balcony with at least the area and dimensions specified in Table B10 and convenient access from a living room. If a cooling or heating unit is located on a balcony, the minimum balcony area specified in Table B10 should be increased by at least 1.5 square metres. 	Refer to tables below for balcony size
<ul style="list-style-type: none"> An area on a podium or other similar base of at least 15 square metres, with a minimum dimension of 3 metres and convenient access from a living room. 	N/A
<ul style="list-style-type: none"> An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres and convenient access from a living room. 	N/A

Table B10 - Balcony size			
Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension
North (between north 20 degrees west to north 30 degrees east)	All	8 square metres	1.7 metres
South (between south 30 degrees west to south 20 degrees east)	All	8 square metres	1.2 metres
Any other orientation	Studio or 1 bedroom dwelling	8 square metres	1.8 metres
	2 bedroom dwelling	8 square metres	2 metres
	3 or more bedroom dwelling	12 square metres	2.4 metres

Dwelling	Type	Min. area	Assessment	Min. dimension	Assessment
G01	2 Bed	25m ²	✓	4.22m	✓

G02	3 Bed	48m ²	✓	5.375m	✓
G03	3 Bed	75m ²	✓	3.3m	✓
G04	2 Bed	34m ²	✓	3.3m	✓
101	2 Bed	8m ²	✓	2m	✓
102	3 Bed	12m ²	✓	2.4m	✓
103	3 Bed	12m ²	✓	2.7m	✓
104	2 Bed	8m ²	✓	2.1m	✓
201	3 Bed	14m ²	✓	1.75m	✓
202	3 Bed	23m ²	✓	2.75m	✓

Clause 55.07-10 (B44) Storage	
Objective	Assessment
To provide adequate storage facilities for each dwelling.	✓
Standard	
Each dwelling should have convenient access to usable and secure storage space.	✓
The total minimum storage space (including kitchen, bathroom and bedroom storage) should meet the requirements specified in Table B11.	Refer to tables below

Table B11 - Storage		
Dwelling Type	Total min. storage volume	Min. storage volume within the dwelling
2 bedroom dwelling (2br)	14m ³	9m ³
3 or more bedroom dwelling (3br)	18m ³	12m ³

Dwelling	Type	Total Min. volume	Assessment	Basement Storage	Min. storage within dwelling	Assessment
G01	2 Bed	22m ³	✓	7m ³	15m ³	✓
G02	3 Bed	36m ³	✓	19m ³	17m ³	✓
G03	3 Bed	38m ³	✓	16m ³	22m ³	✓
G04	2 Bed	17m ³	✓	7m ³	10m ³	✓
101	2 Bed	20m ³	✓	7m ³	13m ³	✓
102	3 Bed	22m ³	✓	7m ³	15m ³	✓
103	3 Bed	28m ³	✓	9m ³	19m ³	✓
104	2 Bed	17m ³	✓	6m ³	11m ³	✓
201	3 Bed	25m ³	✓	8m ³	17m ³	✓
202	3 Bed	38m ³	✓	11m ³	27m ³	✓

Clause 55.07-11 (B45) Waste Recycling

Objective	Assessment
<i>To ensure dwellings are designed to encourage waste recycling.</i>	✓
<i>To ensure that waste and recycling facilities are accessible, adequate and attractive.</i>	✓
<i>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm.</i>	✓
Standard	
<i>Developments should include dedicated areas for:</i> <ul style="list-style-type: none"> Waste and recycling enclosures which are: <ul style="list-style-type: none"> Adequate in size, durable, waterproof and blend in with the development. Adequately ventilated. Located and designed for convenient access by residents and made easily accessible to people with limited mobility. 	✓
<ul style="list-style-type: none"> Adequate facilities for bin washing. These areas should be adequately ventilated. 	✓
<ul style="list-style-type: none"> Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate. 	✓
<ul style="list-style-type: none"> Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing. 	✓
<ul style="list-style-type: none"> Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing. 	✓
<ul style="list-style-type: none"> Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate. 	✓
<i>Waste and recycling management facilities should be designed and managed in accordance with a Waste Management Plan approved by the responsible authority and:</i> <ul style="list-style-type: none"> Be designed to meet the best practice waste and recycling management guidelines for residential development adopted by Sustainability Victoria. 	✓
<ul style="list-style-type: none"> Protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements. 	✓

Clause 55.07-12 (B46) Functional Layout	
Objective	Assessment

<i>To ensure dwellings provide functional areas that meet the needs of residents.</i>	✓
Standard	
Bedrooms should:	Refer to table below
<ul style="list-style-type: none"> Meet the minimum internal room dimensions specified in Table B12. 	
<ul style="list-style-type: none"> Provide an area in addition to the minimum internal room dimensions to accommodate a wardrobe. 	✓
<i>Living areas (excluding dining and kitchen areas) should meet the minimum internal room dimensions specified in Table B13.</i>	Refer to table below

Table B12 - Bedroom Dimensions		
Bedroom Type	Min. width	Min. depth
Main bedroom	3m	3.4m
All other bedrooms	3m	3m

Table B13 - Living Area Dimensions		
Dwelling type	Min. width	Min. area
Studio and 1 bedroom dwelling	3.3m	10m ²
2 or more bedroom dwelling	3.6m	12m ²

Dwelling G01	Main/other	Min. width	Min. depth	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Living	Living	3.6	3.6	(13m ²) ✓

Dwelling G02	Main/other	Min. width	Min. depth	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Bed 3	Other	3m	3m	✓
Living	Living	3.6	3.6	(13m ²) ✓

Dwelling G03	Main/other	Min. width	Min. depth	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Bed 3	Other	3m	3m	✓

Living	Living	3.6	3.6	(13m ²) ✓
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Dwelling G04	Main/other	Min. width	Min. depth	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Living	Living	3.6	3.6	(13m ²) ✓

Dwelling No. 101	Type	Min. width	Min. area	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Living	Living	3.6	3.6	(13m ²) ✓

Dwelling 102	Main/other	Min. width	Min. depth	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Bed 3	Other	3m	3m	✓
Living	Living	3.6	3.6	(13m ²) ✓

Dwelling 103	Main/other	Min. width	Min. depth	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Bed 3	Other	3m	3m	✓
Living	Living	3.6	3.6	(13m ²) ✓

Dwelling No. 104	Type	Min. width	Min. area	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Living	Living	3.6	3.6	(13m ²) ✓

Dwelling 201	Main/other	Min. width	Min. depth	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Bed 3	Other	3m	3m	✓

Living	Living	3.6	3.6	(13m ²) ✓
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Dwelling 202	Main/other	Min. width	Min. depth	Assessment
Bed 1	Main	3m	3.4m	✓
Bed 2	Other	3m	3m	✓
Bed 3	Other	3m	3m	✓
Living	Living	3.6	3.6	(13m ²) ✓

Clause 55.07-13 (B47) Room Depth	
Objective	Assessment
<i>To allow adequate daylight into single aspect habitable rooms.</i>	✓
Standard	
<i>Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height.</i>	Refer to table below
<i>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</i>	✓
<ul style="list-style-type: none"> <i>The room combines the living area, dining area and kitchen.</i> 	✓
<ul style="list-style-type: none"> <i>The kitchen is located furthest from the window.</i> 	✓
<ul style="list-style-type: none"> <i>The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen.</i> 	✓

The room depth should be measured from the external surface of the habitable room window to the rear wall of the room.

Dwelling No.	Room	Ceiling Height	Depth required	Depth proposed	Assessment
G01	Living Room	3.3m	9m	6.805m	✓
G01	Bedrooms	3.3m	8.5m	3.4m	✓
G02	Bedroom	3.3m	8.5m	4.85m	✓
G03	Bedrooms	3.3m	8.5m	3.4m	✓
G04	Bedrooms	3.3m	8.5m	3m	✓
101	Living Room	3.3m	9m	7.575m	✓
101	Bedrooms	3.3m	8.5m	3m	✓
102	Bedroom	3.3m	8.5m	3.8m	✓
103	Bedrooms	3.3m	8.5m	3.65m	✓
104	Bedroom	3.3m	8.5m	3.75m	✓
201	Bedrooms	3.3m	8.5m	3m	✓
202	Bedrooms	3.3m	8.5m	3m	✓

Clause 55.07-13 (B48) Windows	
Objective	Assessment
<i>To allow adequate daylight into new habitable room windows.</i>	✓
Standard	
<i>Habitable rooms should have a window in an external wall of the building.</i>	✓
<i>A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky.</i>	N/A
<i>The secondary area should be:</i>	N/A
<ul style="list-style-type: none"> <i>A minimum width of 1.2 metres.</i> 	N/A
<ul style="list-style-type: none"> <i>A maximum depth of 1.5 times the width, measured from the external surface of the window.</i> 	N/A

Clause 55.07-15 (B49) Natural Ventilation	
Objective	Assessment
<i>To encourage natural ventilation of dwellings.</i>	✓
<i>To allow occupants to effectively manage natural ventilation of dwellings.</i>	✓
Standard	
<i>The design and layout of dwellings should maximise openable windows, doors or other ventilation devices in external walls of the building, where appropriate.</i>	✓
<i>At least 40 per cent of dwellings should provide effective cross ventilation and a breeze path that is between 5 and 18 metres</i>	✓
<ul style="list-style-type: none"> <i>Ventilation openings with approximately the same area.</i> 	✓
<i>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</i>	

Dwelling No.	Breeze path between 5m and 18m? Assessment
G01	11.6m ✓
G02	15.3m ✓

G03	15.0m ✓
G04	10.5m ✓
101	10.1m ✓
102	153.5m ✓
103	15.0m ✓
104	10.5m ✓
201	12.9m ✓
202	10.7m ✓
Total percent of compliant dwellings	100%

Clause 55.07-16 (B50) Building Entry and Circulation	
Objective	Assessment
<i>To provide each dwelling and building with its own sense of identity.</i>	✓
<i>To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.</i>	✓
<i>To ensure internal communal areas provide adequate access to daylight and natural ventilation.</i>	✓
Standard	
<i>Entries to dwellings and buildings should:</i> <ul style="list-style-type: none"> • <i>Be visible and easily identifiable.</i> • <i>Provide shelter, a sense of personal address and a transitional space around the entry.</i> 	✓
<i>The layout and design of buildings should:</i> <ul style="list-style-type: none"> • <i>Clearly distinguish entrances to residential and non-residential areas.</i> 	✓
<ul style="list-style-type: none"> • <i>Provide windows to building entrances and lift areas.</i> 	✓
<ul style="list-style-type: none"> • <i>Provide visible, safe and attractive stairs from the entry level to encourage use by residents.</i> 	✓

<ul style="list-style-type: none"> • Provide common areas and corridors that: <ul style="list-style-type: none"> ▪ Include at least one source of natural light and natural ventilation. ▪ Avoid obstruction from building services. ▪ Maintain clear sight lines. 	✓
---	---

Clause 55.07-17 (B51) Integration with the Street	
Objective	Assessment
<i>To integrate the layout of development with the street.</i>	✓
<i>To support development that activates street frontages.</i>	✓
Standard	
<i>Development should be oriented to front existing and proposed streets.</i>	✓
<i>Along street frontages, development should:</i> <ul style="list-style-type: none"> • Incorporate pedestrian entries, windows, balconies or other active spaces. 	✓
<ul style="list-style-type: none"> • Limit blank walls. 	✓
<ul style="list-style-type: none"> • Limit high front fencing, unless consistent with the existing urban context. 	✓
<ul style="list-style-type: none"> • Provide low and visually permeable front fences, where proposed. 	N/A
<ul style="list-style-type: none"> • Conceal car parking and internal waste collection areas from the street. 	✓
<i>Development next to existing public open space should be designed to complement the open space and facilitate passive surveillance.</i>	N/A

Clause 55.07-18 (B52) Site Services	
Objective	Assessment
<i>To ensure that site services are accessible and can be easily installed and maintained.</i>	✓
<i>To ensure that site services and facilities are visually integrated into the building design or landscape.</i>	✓
Standard	
<i>Development should provide adequate space (including easements where required) for site services to be installed and maintained efficiently and economically.</i>	✓
<i>Meters and utility services should be designed as an integrated component of the building or landscape.</i>	✓

<i>Mailboxes and other site facilities should be adequate in size, durable, weather-protected, located for convenient access and integrated into the overall design of the development.</i>	✓
---	---

Clause 55.07-19 (B53) External Walls and Materials	
Objective	Assessment
<i>To ensure external walls use materials appropriate to the existing urban context or preferred future development of the area.</i>	✓
<i>To ensure external walls endure and retain their attractiveness.</i>	✓
Standard	
<i>External walls should be finished with materials that:</i> <ul style="list-style-type: none"> <i>Do not easily deteriorate or stain.</i> <i>Weather well over time.</i> <i>Are resilient to the wear and tear from their intended use.</i> 	✓
<i>External wall design should facilitate safe and convenient access for maintenance.</i>	✓



Ascui & Co. Architects



65 Walpole Street, Kew
Residential Development

TOWN PLANNING SUBMISSION
ISSUE: 01/09/2022
REVISION: B

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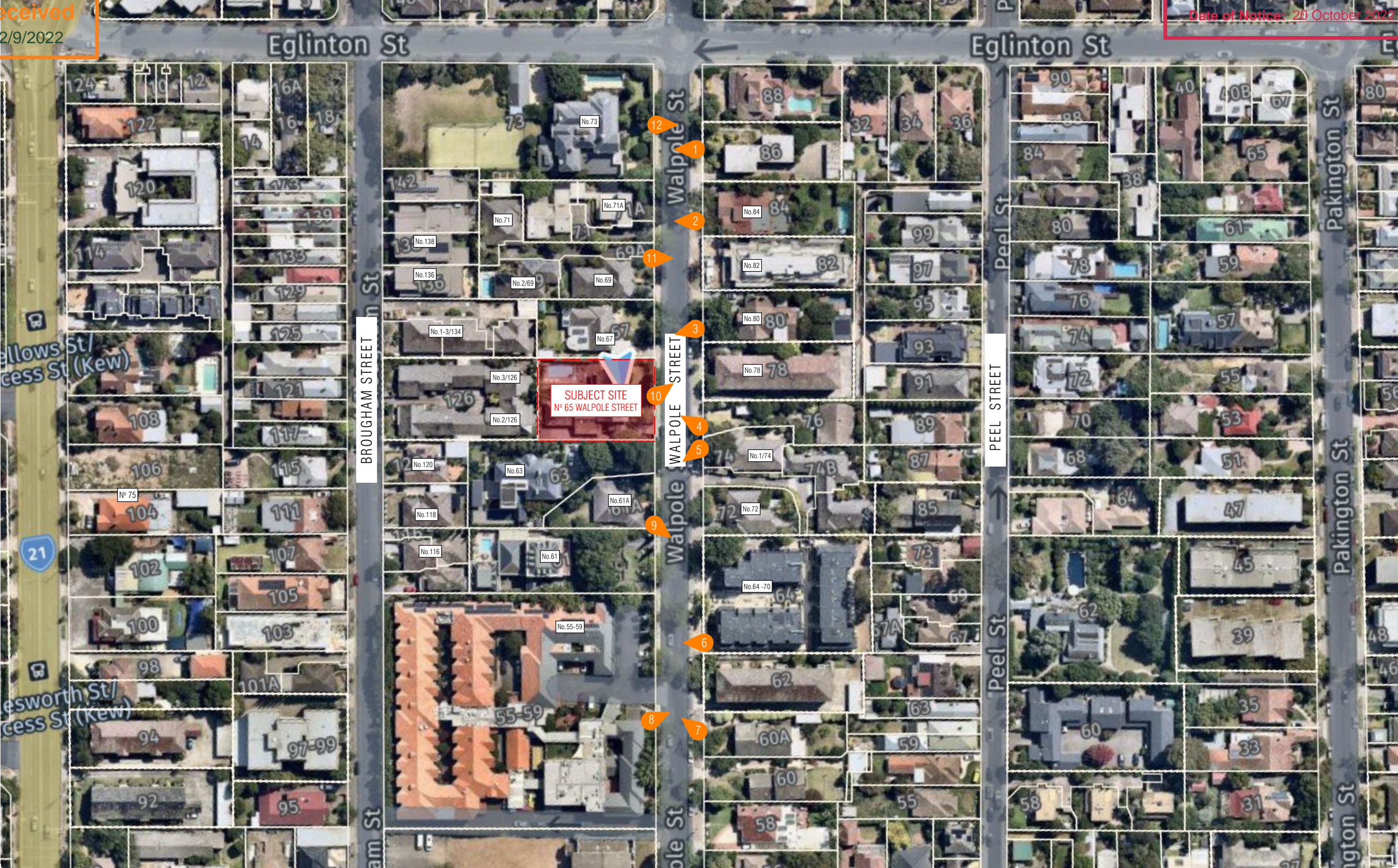


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12/9/2022

NOTICE INFORMATION

Date of Notice: 20 October 2022



LEGEND

1 CAMERA POSITION - REFER TO PHOTO SHEET

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NORTH



DRAWING

SITE AERIAL PHOTO

PROJECT

RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

SCALE
@ A3
DRAWN
MW/TJ/YC

DATE
01/09/2022
JOB No.
1804
DRAWING No.
TP-02
REV No.
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City of Boroondara

Attachment 3.2.2

180



NOTICE INFORMATION

Date of Notice: 20 October 2022



1. No.73 WALPOLE ST - TWO STOREY DWELLING



2. No.71A WALPOLE ST - TWO STOREY UNIT



3. No.67 WALPOLE ST - ADJOINING PROPERTY
- SINGLE STOREY DWELLING



4. No.65 WALPOLE ST - SUBJECT SITE



5. No.63 WALPOLE ST - ADJOINING PROPERTY - FRONT GARDEN
No.61 WALPOLE ST - SINGLE STOREY DWELLING



6. No.55-59 WALPOLE ST - BAPTCARE KARANA COMMUNITY
- TWO STOREY BUILDING



7. No.55-59 WALPOLE ST - BAPTCARE KARANA COMMUNITY
- TWO STOREY BUILDING



8. No.62 WALPOLE ST - THREE STOREY FLATS



9. No.64-70 WALPOLE ST - THREE STOREY TOWN HOUSES DEVELOPMENT
- UNDERCONSTRUCTION



10. No.78 WALPOLE ST - OPPOSITE SUBJECT SITE
- TWO STOREY FLATS WITH A UNDERCROFT CARPARK



11. No.82 WALPOLE ST - THREE STOREY APARTMENT DEVELOPMENT
- UNDERCONSTRUCTION



12. No.86 WALPOLE ST - TWO STOREY FLATS

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	TOWN PLANNING									DRAWING No. TP-03



NOTICE INFORMATION
Date of Notice: 20 October 2022



1. VIEW NORTH ON WALPOLE ST



2. VIEW SOUTH ON WALPOLE ST

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	A	TOWN PLANNING SUBMISSION	YC						@ A3	01/09/2022
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	TOWN PLANNING									DRAWING No. TP-06



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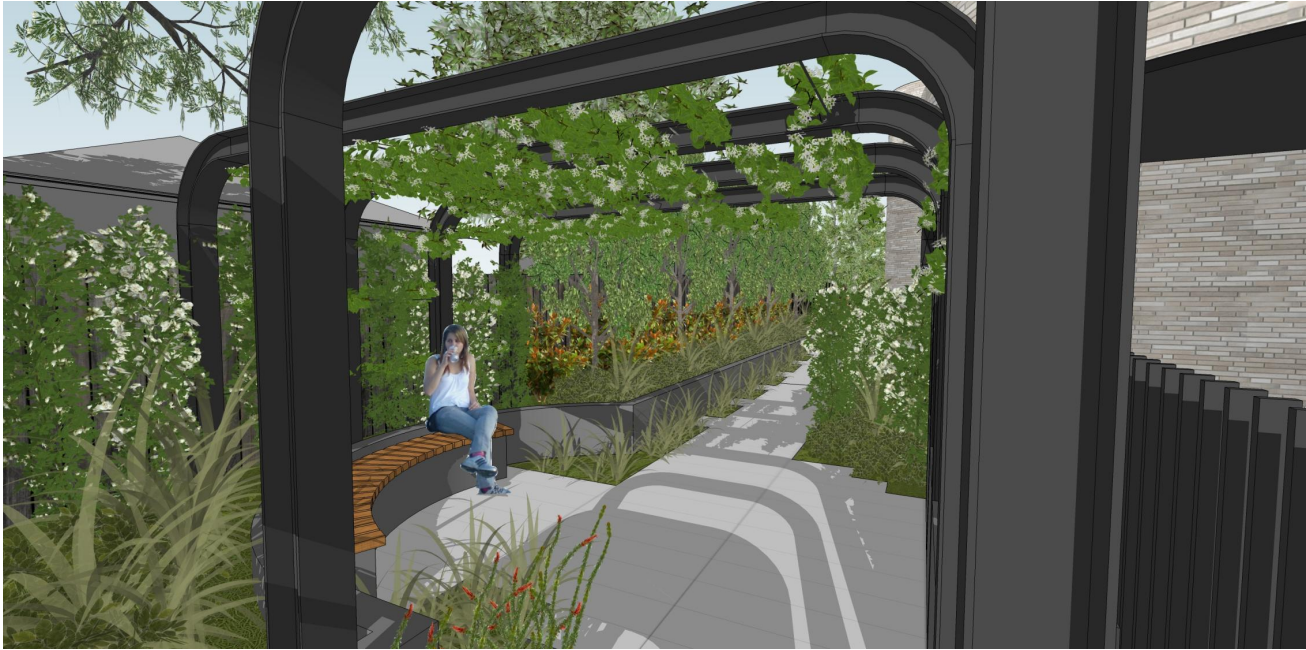
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3. WALPOLE STREET VIEW



4. ENTRY VIEW



5. COMMUNAL OPEN SPACE VIEW

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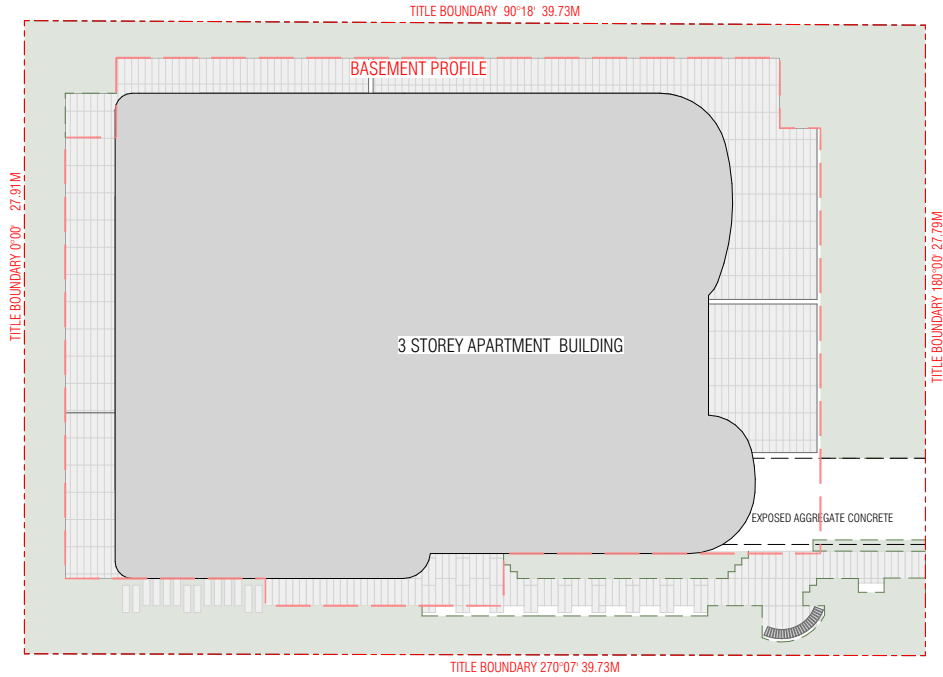
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DRAWING	PROJECT
URBAN DESIGN ELEMENT 2	RESIDENTIAL DEVELOPMENT 65 WALPOLE STREET, KEW

SCALE	DATE
@ A3	01/09/2022
DRAWN	JOB No.
MW/TJ/YC	1804
	DRAWING No.
	REV No.
TOWN PLANNING	TP-07 B

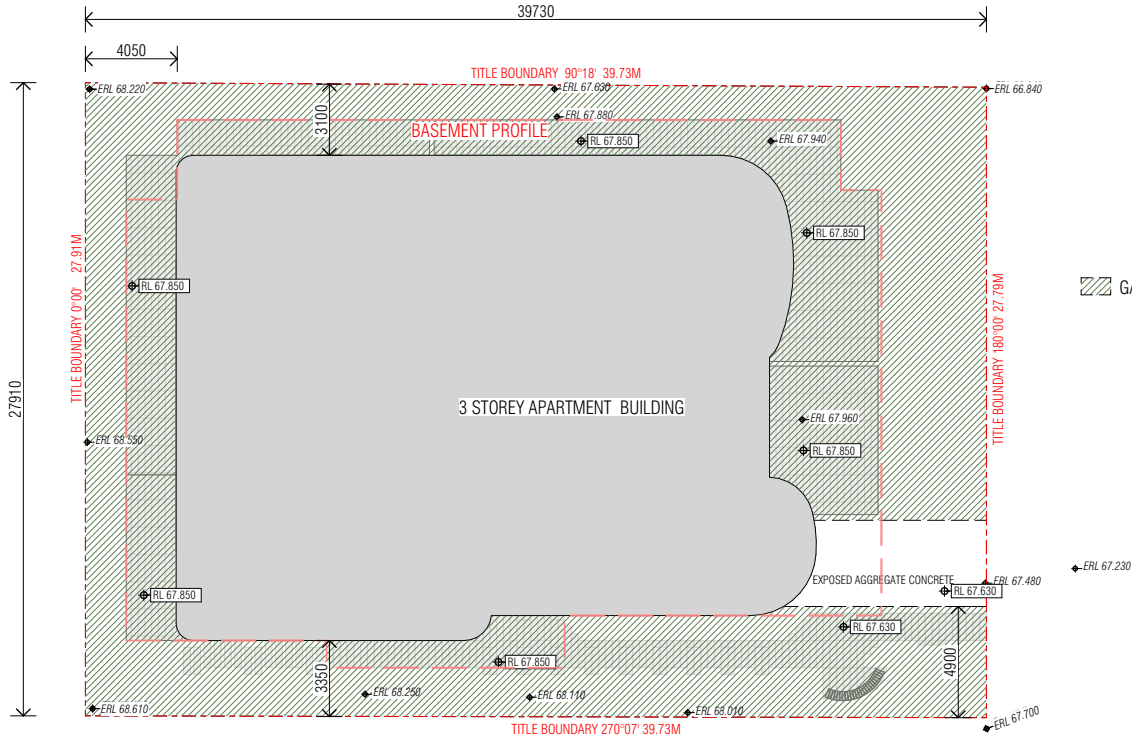


NOTICE INFORMATION
Date of Notice: 20 October 2022



SITE AREA:	1107m ²	MIN. REQUIREMENT	PROPOSED
PERMEABLE AREA:	221 m ² (20%)	302 m ² (27%)	
BUILDING COVERAGE AREA:	663 m ² (60%)	561 m ² (51%)	

SITE AREA AND BUILDING SITE COVERAGE DIAGRAMS



GARDEN AREA:	1107m ²	MIN. REQUIREMENT	PROPOSED
	387 m ² (35%)	516 m ² (47%)	

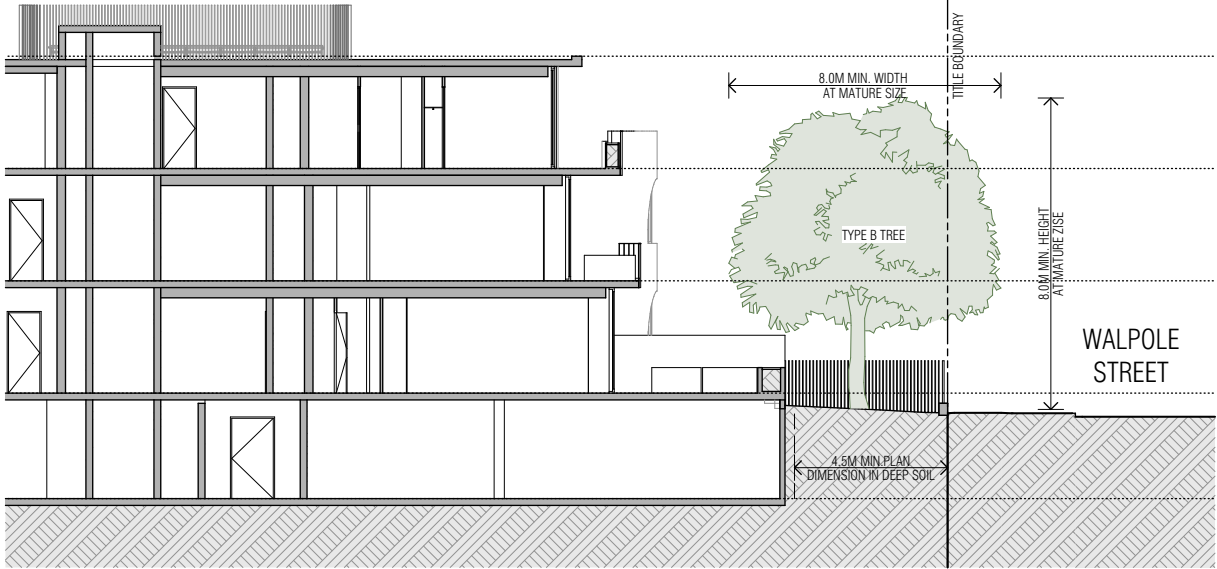
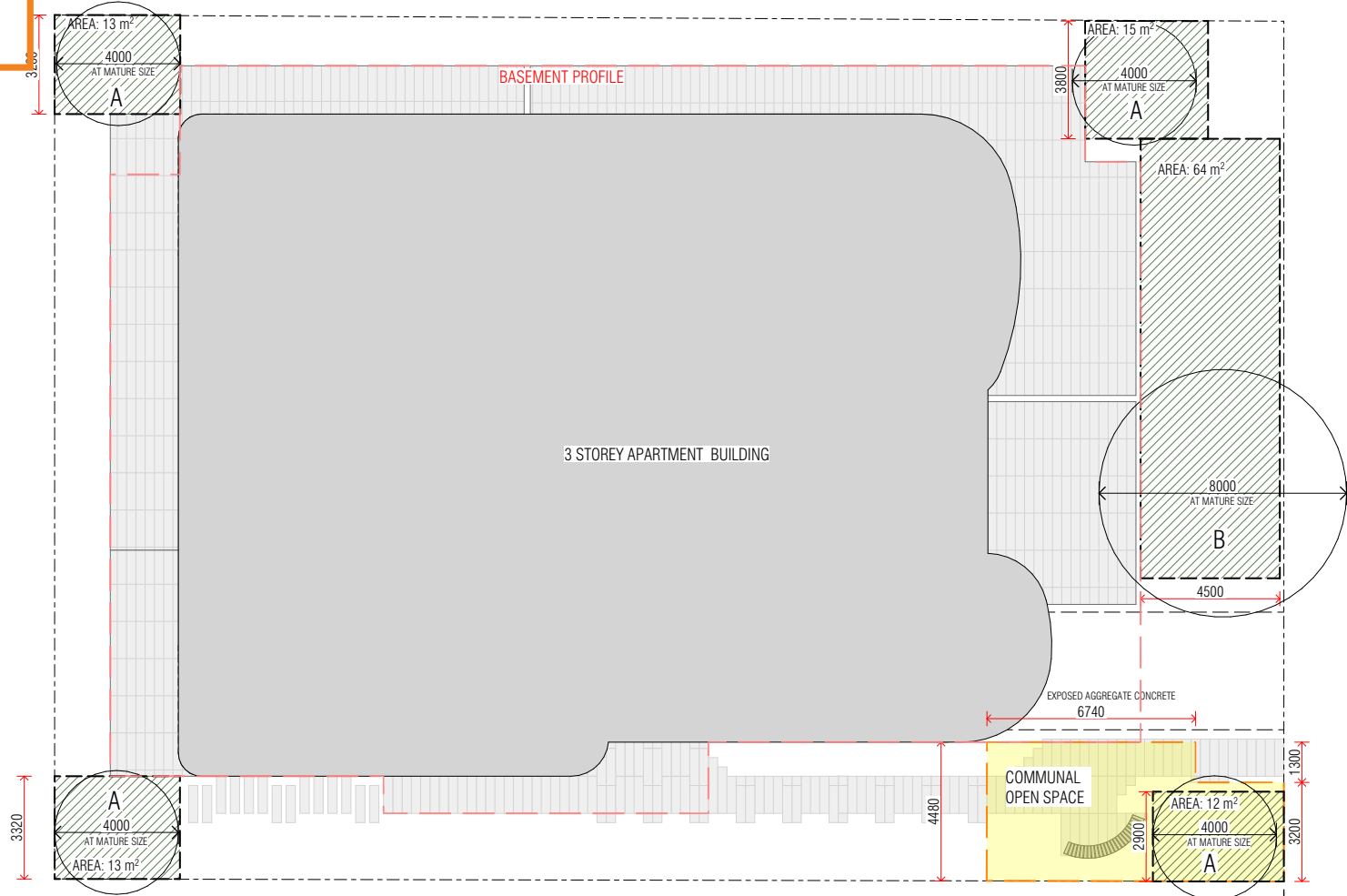
GARDEN AREA DIAGRAM

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									REV No. B	



NOTICE INFORMATION

Date of Notice: 20 October 2022



SITE AREA:	1107m²	
	MIN. REQUIREMENT	PROPOSED
COMMUNAL OPEN SPACE:	30 m²	39 m²
DEEP SOIL AREA:	83 m²	117 m²
CANOPY COVER AREA	71 m²	102 m²
A TYPE A TREE 4m WIDE = 13m² TOTAL 4		52 m²
B TYPE B TREE 8m WIDE = 50m² TOTAL 1		50 m²

CLAUSE 58 STANDARD D10

Table D2 Canopy cover and deep soil requirements

Site area	Canopy cover	Deep soil
1001 - 1500 square metres	50 square metres plus 20% of site area above 1,000 square metres Include at least 1 Type B tree	7.5% of site area

Table D3 Soil requirements for trees

Tree type	Tree in deep soil Area of deep soil	Tree in planter Volume of planter soil	Depth of planter soil
A	12 square metres (min. plan dimension 2.5 metres)	12 cubic metres (min. plan dimension of 2.5 metres)	0.8 metre
B	49 square metres (min. plan dimension 4.5 metres)	28 cubic metres (min. plan dimension of 4.5 metres)	1 metre

Table D4 Tree type

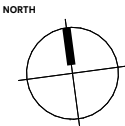
Tree type	Minimum canopy diameter at maturity	Minimum height at maturity
A	4 metres	6 metres
B	8 metres	8 metres

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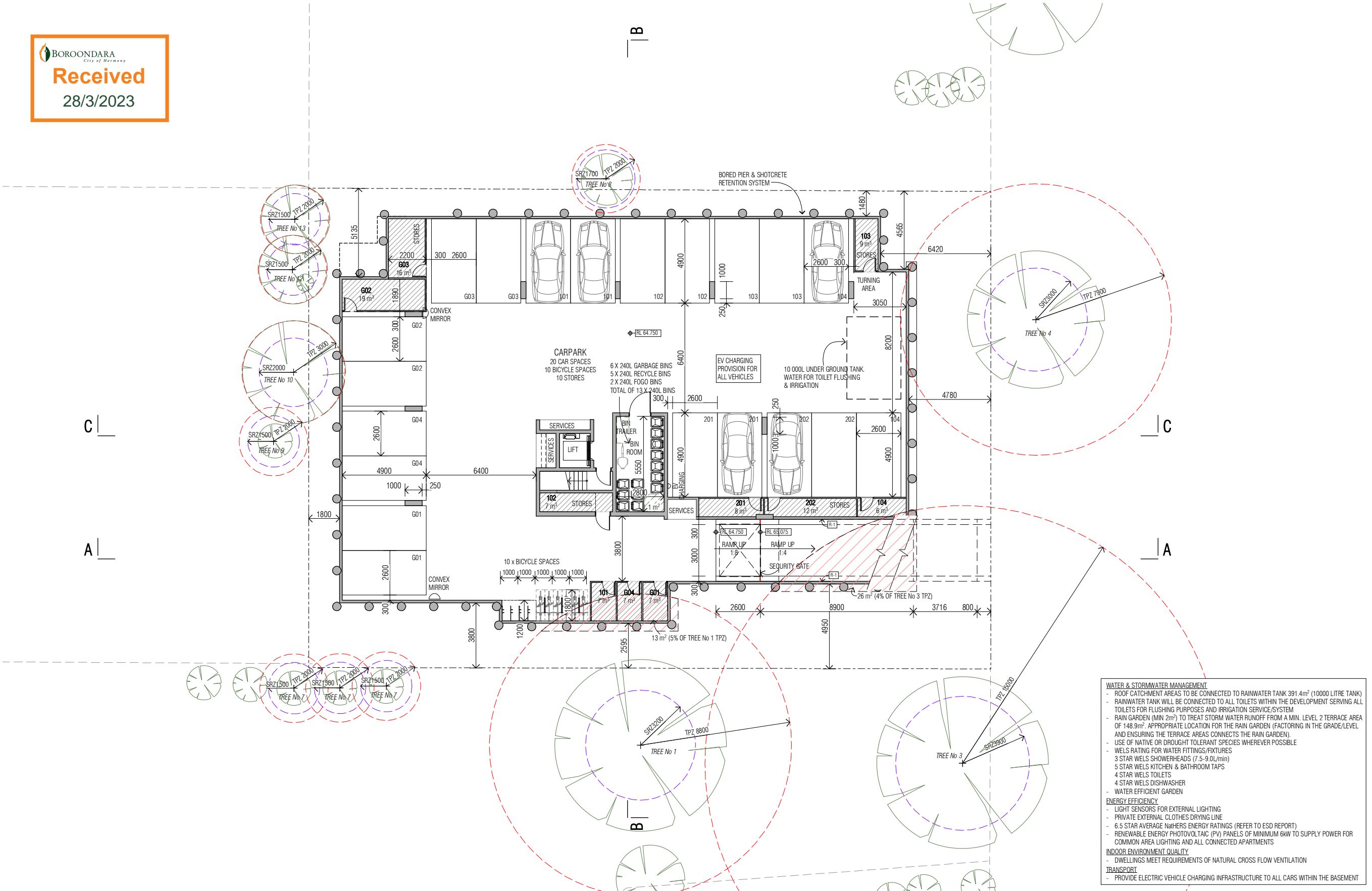


DRAWING
SITE AREA- D7 & D10 ANALYSIS

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
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	REV No. B



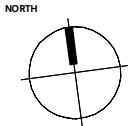
- WATER & STORMWATER MANAGEMENT**
- ROOF CATCHMENT AREAS TO BE CONNECTED TO RAINWATER TANK 391.4m² (10000 LITRE TANK)
 - RAINWATER TANK WILL BE CONNECTED TO ALL TOILETS WITHIN THE DEVELOPMENT SERVING ALL TOILETS FOR FLUSHING PURPOSES AND IRRIGATION SERVICE/SYSTEM
 - RAIN GARDEN (MIN 2m²) TO TREAT STORM WATER RUNOFF FROM A MIN. LEVEL 2 TERRACE AREA OF 148.9m². APPROPRIATE LOCATION FOR THE RAIN GARDEN (FACTORING IN THE GRADE/LEVEL AND ENSURING THE TERRACE AREAS CONNECTS THE RAIN GARDEN)
 - USE OF NATIVE OR DROUGHT TOLERANT SPECIES WHEREVER POSSIBLE
 - WELS RATING FOR WATER FITTINGS/FIXTURES
 - 3 STAR WELS SHOWERHEADS (7.5-9.0L/min)
 - 5 STAR WELS KITCHEN & BATHROOM TAPS
 - 4 STAR WELS TOILETS
 - 4 STAR WELS DISHWASHER
 - WATER EFFICIENT GARDEN
- ENERGY EFFICIENCY**
- LIGHT SENSORS FOR EXTERNAL LIGHTING
 - PRIVATE EXTERNAL CLOTHES DRYING LINE
 - 6.5 STAR AVERAGE NatHERS ENERGY RATINGS (REFER TO ESD REPORT)
 - RENEWABLE ENERGY PHOTOVOLTAIC (PV) PANELS OF MINIMUM 6kW TO SUPPLY POWER FOR COMMON AREA LIGHTING AND ALL CONNECTED APARTMENTS
- INDOOR ENVIRONMENT QUALITY**
- DWELLINGS MEET REQUIREMENTS OF NATURAL CROSS FLOW VENTILATION
- TRANSPORT**
- PROVIDE ELECTRIC VEHICLE CHARGING INFRASTRUCTURE TO ALL CARS WITHIN THE BASEMENT

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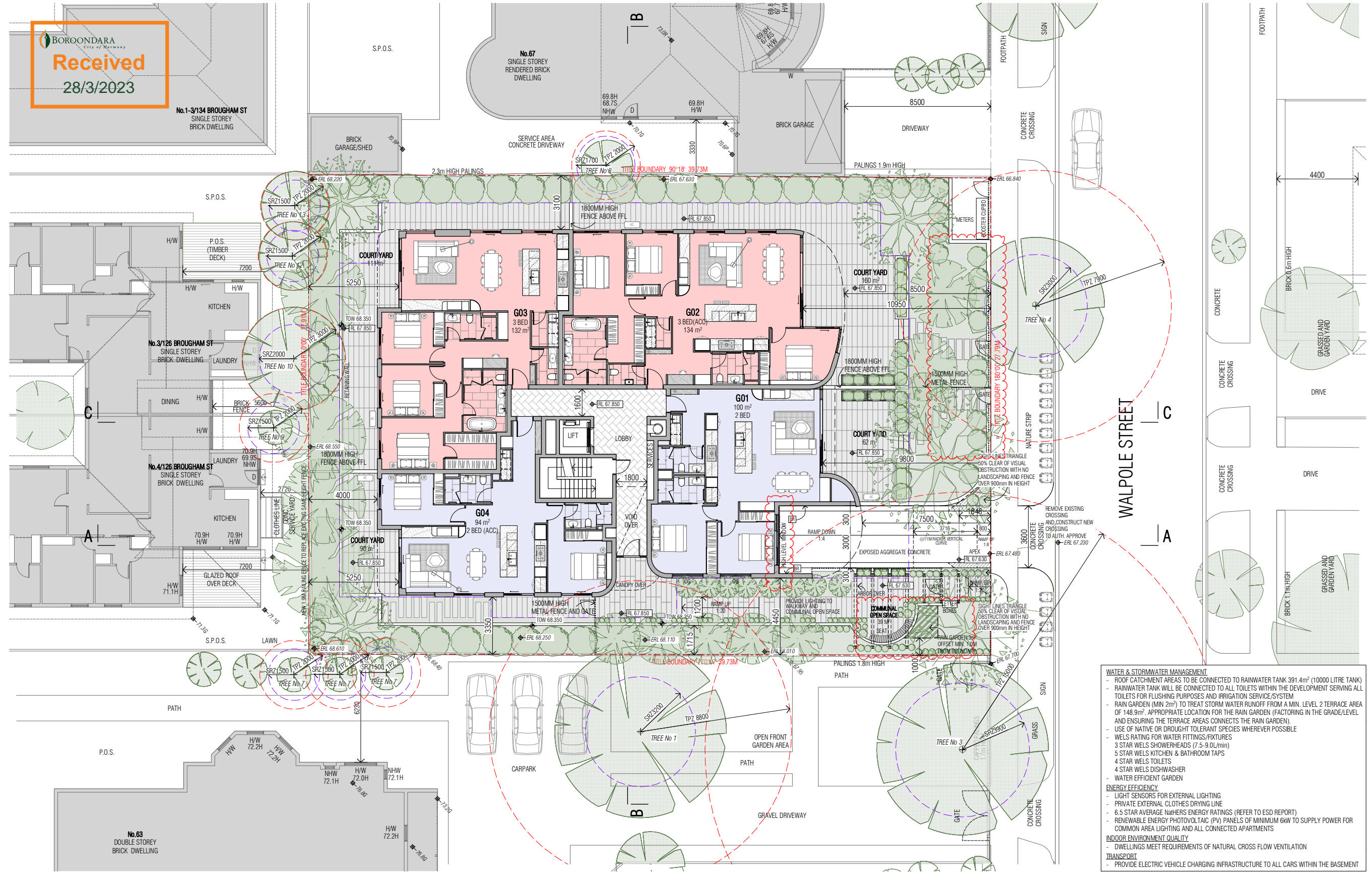


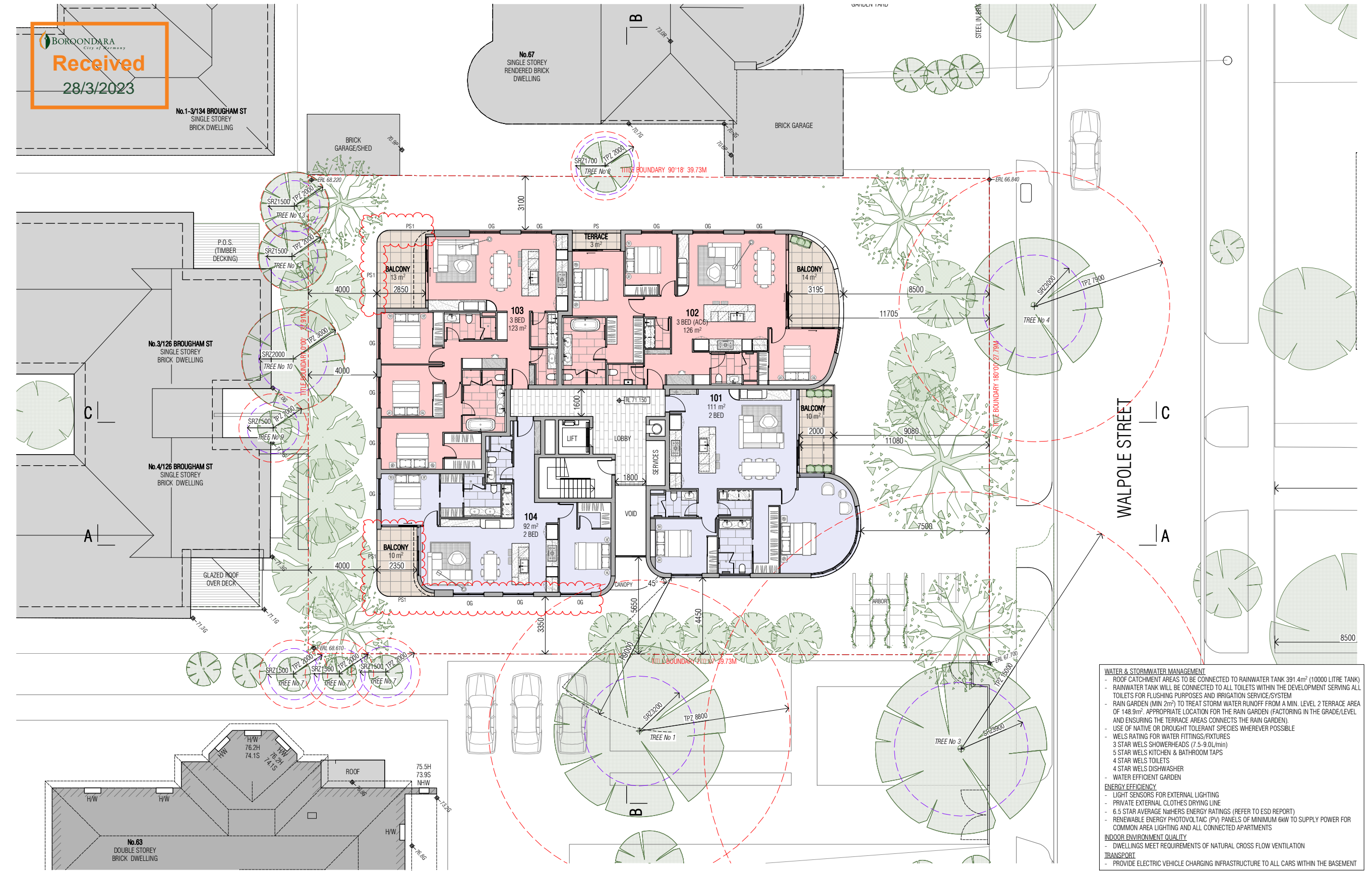
DRAWING
BASEMENT

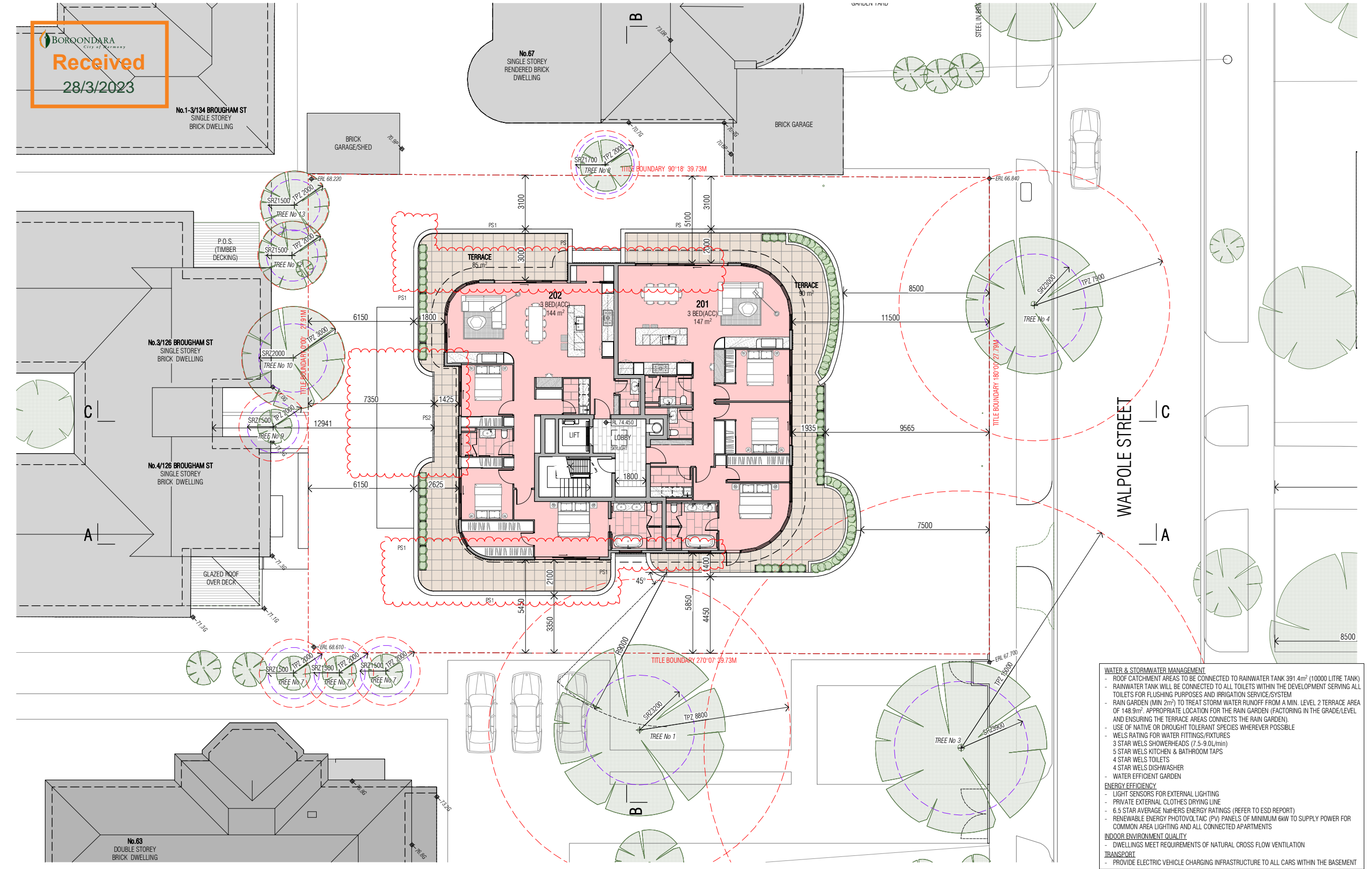
PROJECT
**RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW**

Ascui & Co.
Architects

SCALE 1:200 @ A3	DATE 14/03/2023
DRAWN MW/TJ/YC	JOB No. 1604
TOWN PLANNING	DRAWING No. TP-10
	REV No. C







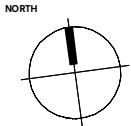
- WATER & STORMWATER MANAGEMENT**
- ROOF CATCHMENT AREAS TO BE CONNECTED TO RAINWATER TANK 391.4m² (10000 LITRE TANK)
 - RAINWATER TANK WILL BE CONNECTED TO ALL TOILETS WITHIN THE DEVELOPMENT SERVING ALL TOILETS FOR FLUSHING PURPOSES AND IRRIGATION SERVICE/SYSTEM
 - RAIN GARDEN (MIN 2m²) TO TREAT STORM WATER RUNOFF FROM A MIN. LEVEL 2 TERRACE AREA OF 148.9m². APPROPRIATE LOCATION FOR THE RAIN GARDEN (FACTORING IN THE GRADE/LEVEL AND ENSURING THE TERRACE AREAS CONNECTS THE RAIN GARDEN)
 - USE OF NATIVE OR DROUGHT TOLERANT SPECIES WHEREVER POSSIBLE
 - WELS RATING FOR WATER FITTINGS/FIXTURES
 - 3 STAR WELS SHOWERHEADS (7.5-9.0L/min)
 - 5 STAR WELS KITCHEN & BATHROOM TAPS
 - 4 STAR WELS TOILETS
 - 4 STAR WELS DISHWASHER
 - WATER EFFICIENT GARDEN
- ENERGY EFFICIENCY**
- LIGHT SENSORS FOR EXTERNAL LIGHTING
 - PRIVATE EXTERNAL CLOTHES DRYING LINE
 - 6.5 STAR AVERAGE NABERS ENERGY RATINGS (REFER TO ESD REPORT)
 - RENEWABLE ENERGY PHOTOVOLTAIC (PV) PANELS OF MINIMUM 6kW TO SUPPLY POWER FOR COMMON AREA LIGHTING AND ALL CONNECTED APARTMENTS
- INDOOR ENVIRONMENT QUALITY**
- DWELLINGS MEET REQUIREMENTS OF NATURAL CROSS FLOW VENTILATION
- TRANSPORT**
- PROVIDE ELECTRIC VEHICLE CHARGING INFRASTRUCTURE TO ALL CARS WITHIN THE BASEMENT

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REV No.	AMENDMENTS / ISSUE	DRAWN
A	TOWN PLANNING SUBMISSION	IC
B	COUNCIL RR	MW
C	COUNCIL RPR RESPONSE 2	MW

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Australia

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ACN 085 228 782



DRAWING
LEVEL 2

PROJECT
**RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW**

Ascui & Co.
Architects

SCALE
1:200 @ A3

DRAWN
MW/TJ/YC
**TOWN
PLANNING**

DATE
14/03/2023

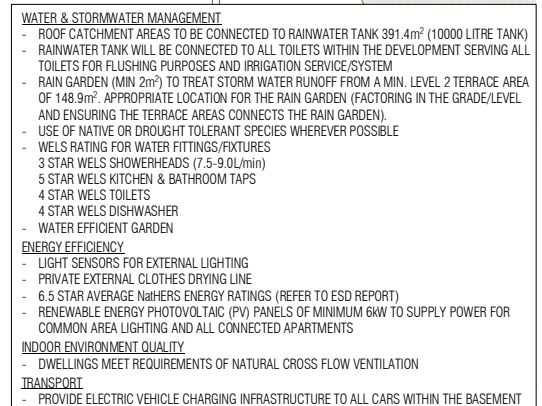
JOB No.
1604

DRAWING No.

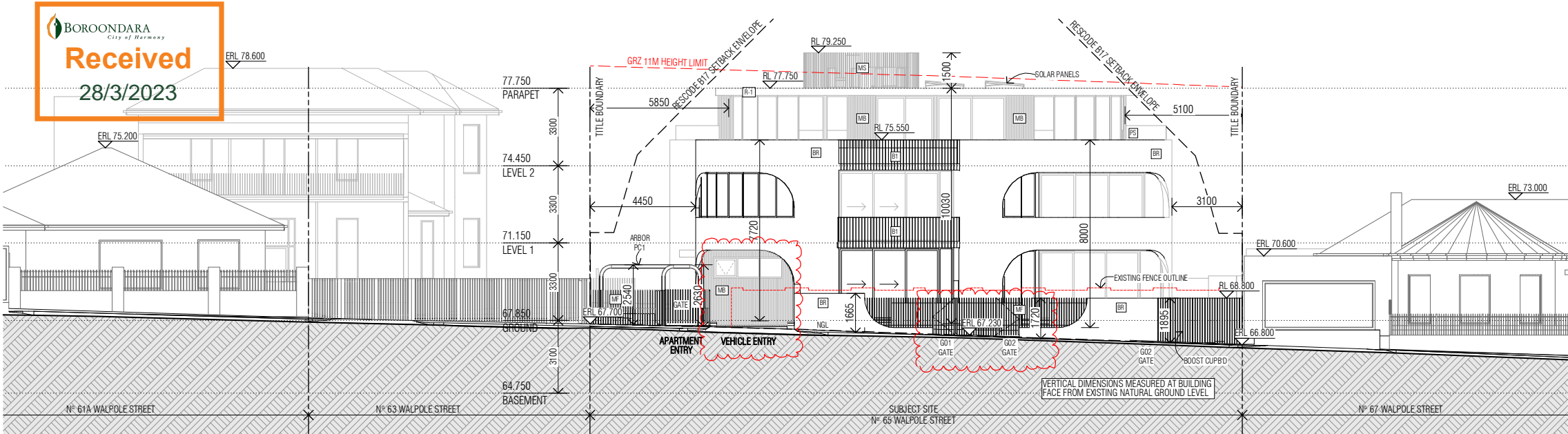
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REV No.

C



SCALE	DATE
1:200 @ A3	14/03/2023
DRAWN	JOB No.
MMW/TJ/YC	1604
	DRAWING No. REV No.
TOWN PLANNING	TP-14 C



LEGEND FINISHES

BUILDING SUBSTRATE & FINISH

COLOUR (WHERE APPLICABLE)

R-1

R

BR

MC

BT

PS1

OG

MF

MB

MS

PS2

ALUMINIUM WINDOWS & DOOR FRAMES - POWDERCOAT COLOUR PC1

PAIN & RENDER COLOURS

1. COLOUR 1 - DULUX 'MONUMENT'

2. COLOUR 2 - NATURAL WHITE

POWDERCOAT COLOURS

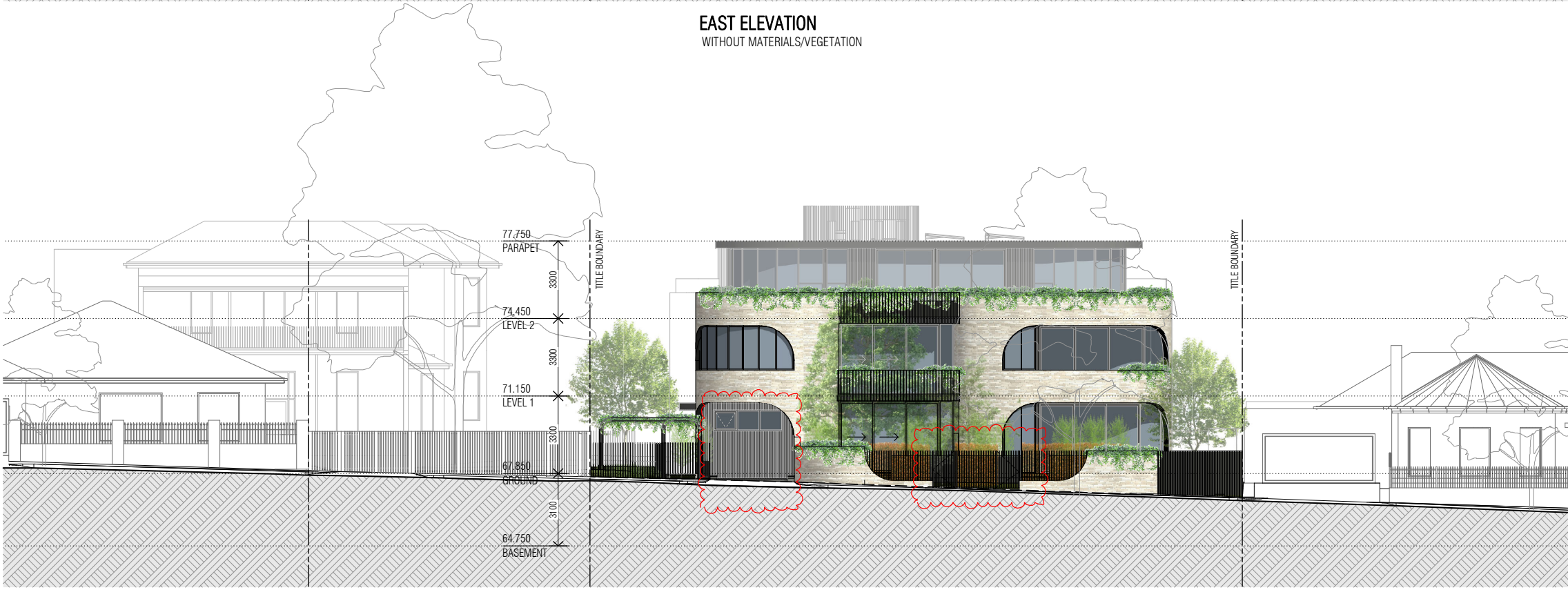
PC1 DULUX DURATEC 'MONUMENT' FLAT 9E17724F

BALCONY SOFFIT - TEXTURED FINISH - PAINT COLOUR 2

GARAGE SECURITY GRILLE - PC1

PAVING - BLUESTONE COLOURED PAVER

DRIVEWAY - EXPOSED AGGREGATE CONCRETE



EAST ELEVATION

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REV No.	AMENDMENTS / ISSUE	DRAWN
A	TOWN PLANNING SUBMISSION	YC
B	COUNCIL RR	MW
C	COUNCIL RR RESPONSE 2	MW

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Australia

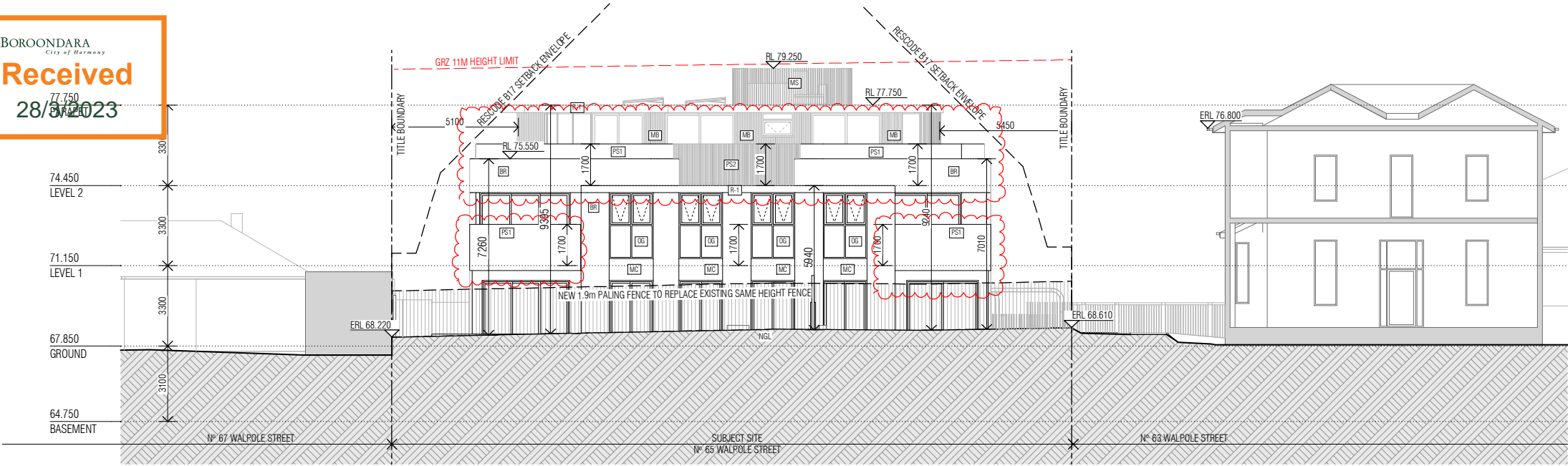
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DRAWING
EAST ELEVATION

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

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SCALE 1:200 @ A3	DATE 14/03/2023
DRAWN MW/TJ/YC	JOB No. 1604
TOWN PLANNING	DRAWING No. TP-15
	REV No. C



WEST ELEVATION
WITHOUT MATERIALS/VEGETATION

- BUILDING SUBSTRATE & FINISH
- COLOUR (WHERE APPLICABLE)
- R-1
- R
- BR
- MC
- BT
- PST
- OG
- MF
- MB
- MS
- PS2
- ALUMINIUM WINDOWS & DOOR FRAMES - POWDERCOAT COLOUR PC1
- PAINT & RENDER COLOURS
1. COLOUR 1 - DULUX 'MONUMENT'
2. COLOUR 2 - NATURAL WHITE
- POWDERCOAT COLOURS
- PC1 DULUX DURATEC 'MONUMENT' FLAT 9E17724F
- BALCONY SOFFIT - TEXTURED FINISH - PAINT COLOUR 2
- GARAGE SECURITY GRILLE - PC1
- PAVING - BLUESTONE COLOURED PAVER
- DRIVEWAY - EXPOSED AGGREGATE CONCRETE



WEST ELEVATION

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REV No.	AMENDMENTS / ISSUE	DRAWN
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C	COUNCIL RR RESPONSE 2	MW

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DRAWING
WEST ELEVATION

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE 1:200 @ A3	DATE 14/03/2023
DRAWN MW/TJ/YC	JOB No. 1604
TOWN PLANNING	DRAWING No. TP-16
	REV No. C



NORTH ELEVATION
WITHOUT MATERIALS/VEGETATION

LEGEND FINISHES

- BUILDING SUBSTRATE & FINISH
- COLOUR (WHERE APPLICABLE)
- R ACRYLIC RENDER FINISH
- BR FACE BRICKWORK - LIGHT GREY BEIGE
- MC METAL CLADDING - PC1
- BT METAL BALUSTRADE - POWDERCOAT COLOUR - PC1
- PS1 PRIVACY SCREEN - 1.7m HIGH LASER PERFORATED METAL SCREEN. MAX. 25% TRANSPARENCY HOLE PATTERN. POWDERCOAT COLOUR PC1
- OG FIXED OBSCURE GLASS TO WINDOWS TO 1700mm AFL. MAX. 25% TRANSPARENCY
- MF METAL PICKET FENCE POWDERCOAT COLOUR PC1
- MB METAL BATTEN - COLOUR PC1
- MS METAL SCREEN - POWDERCOAT COLOUR - PC1
- PS2 PRIVACY SCREEN 2 - 1.7m HIGH VERTICAL SLATS SCREEN. MAX. 25% OPENESS - POWDERCOAT COLOUR PC1
- ALUMINIUM WINDOWS & DOOR FRAMES - POWDERCOAT COLOUR PC1
- PAINT & RENDER COLOURS
 - 1. COLOUR 1 - DULUX 'MONUMENT'
 - 2. COLOUR 2 - NATURAL WHITE
- POWDERCOAT COLOURS
 - PC1 DULUX DURATEC 'MONUMENT' FLAT 9E17724F
- BALCONY SOFFIT - TEXTURED FINISH - PAINT COLOUR 2
- GARAGE SECURITY GRILLE - PC1
- PAVING - BLUESTONE COLOURED PAVER
- DRIVEWAY - EXPOSED AGGREGATE CONCRETE



NORTH ELEVATION

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DRAWING
NORTH ELEVATION

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

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Architects

SCALE
1:200 @ A3
DRAWN
MW/TJ/YC

TOWN
PLANNING

DATE
14/03/2023

JOB No.

1604

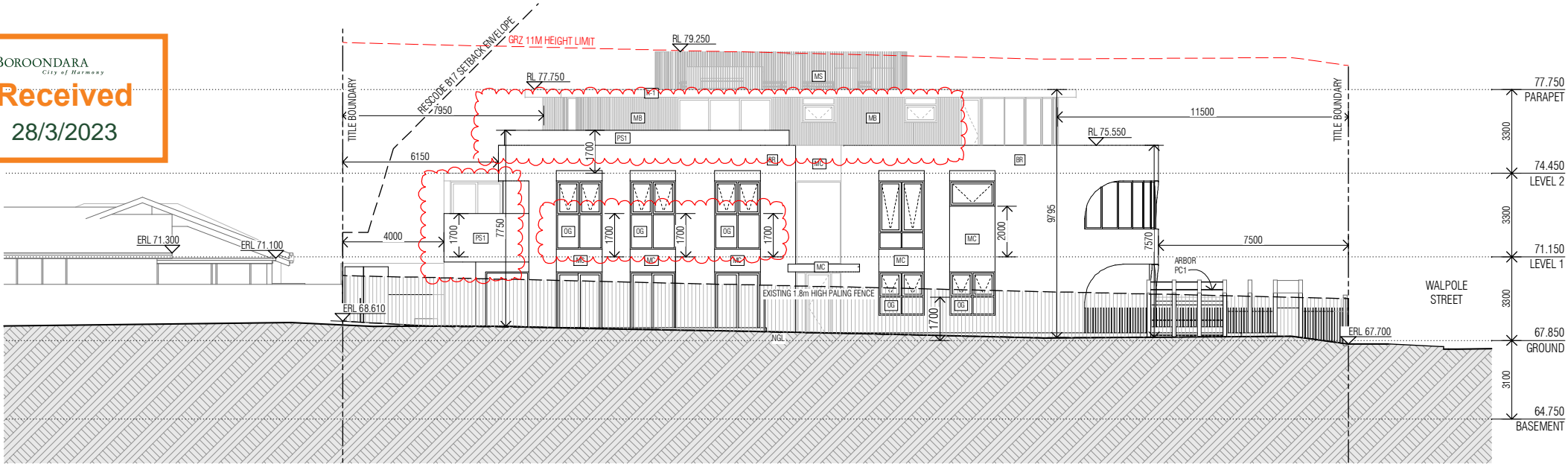
DRAWING No.

TP-17

REV No.

C

BOROONDARA
City of Harmony
Received
28/3/2023



SOUTH ELEVATION
WITHOUT MATERIALS/VEGETATION



SOUTH ELEVATION

LEGEND FINISHES

BUILDING SUBSTRATE & FINISH

COLOUR (WHERE APPLICABLE)

R ACRYLIC RENDER FINISH

BR FACE BRICKWORK - LIGHT GREY BEIGE

MC METAL CLADDING - PC1

BT METAL BALUSTRADE - POWDERCOAT COLOUR - PC1

PS1 PRIVACY SCREEN - 1.7m HIGH LASER PERFORATED METAL SCREEN. MAX. 25% TRANSPARENCY HOLE PATTERN. POWDERCOAT COLOUR PC1

OG FIXED OBSCURE GLASS TO WINDOWS TO 1700mm AFL. MAX. 25% TRANSPARENCY

MF METAL PICKET FENCE POWDERCOAT COLOUR PC1

MB METAL BATTEN - COLOUR PC1

MS METAL SCREEN - POWDERCOAT COLOUR - PC1

PS2 PRIVACY SCREEN 2 - 1.7m HIGH VERTICAL SLATS SCREEN. MAX. 25% OPENESS - POWDERCOAT COLOUR PC1

ALUMINIUM WINDOWS & DOOR FRAMES - POWDERCOAT COLOUR PC1

PAINT & RENDER COLOURS

1. COLOUR 1 - DULUX 'MONUMENT'

2. COLOUR 2 - NATURAL WHITE

POWDERCOAT COLOURS

PC1 DULUX DURATEC 'MONUMENT' FLAT 9E17724F

BALCONY SOFFIT - TEXTURED FINISH - PAINT COLOUR 2

GARAGE SECURITY GRILLE - PC1

PAVING - BLUESTONE COLOURED PAVER

DRIVEWAY - EXPOSED AGGREGATE CONCRETE

SCALE

1:200 @ A3

DRAWN

MW/TJ/YC

TOWN PLANNING

TP-18

C

DATE

14/03/2023

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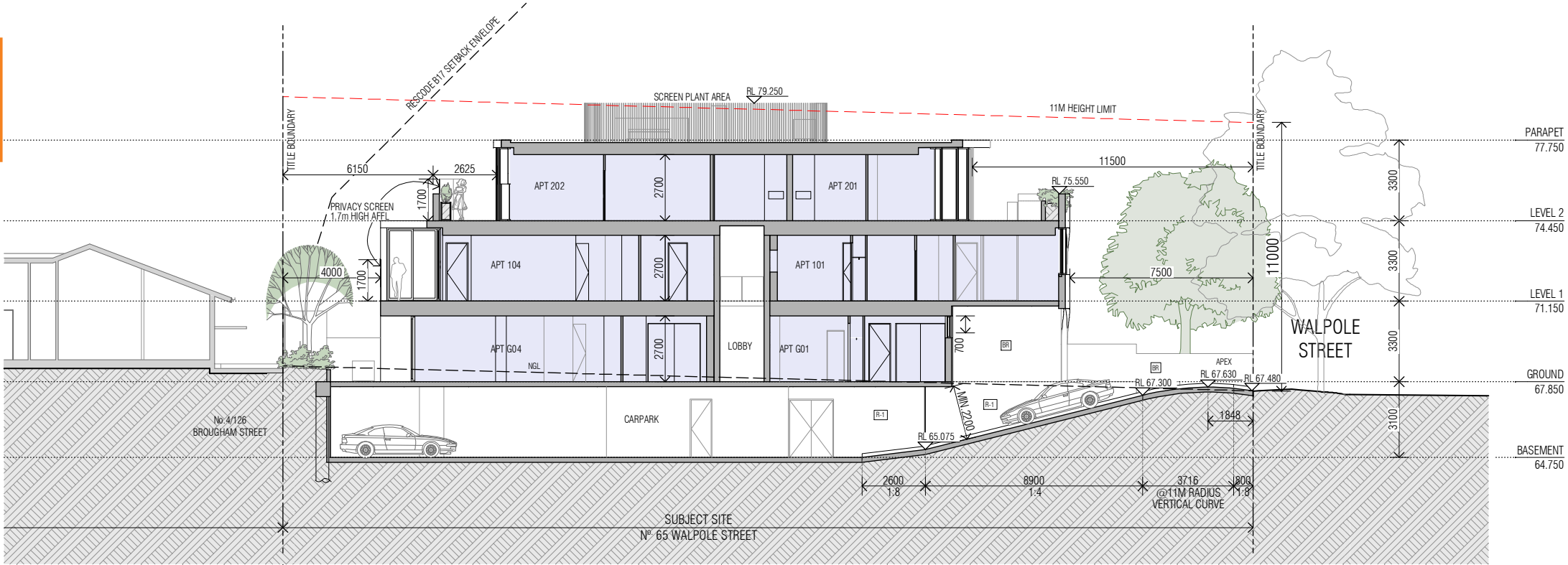
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DRAWING No.

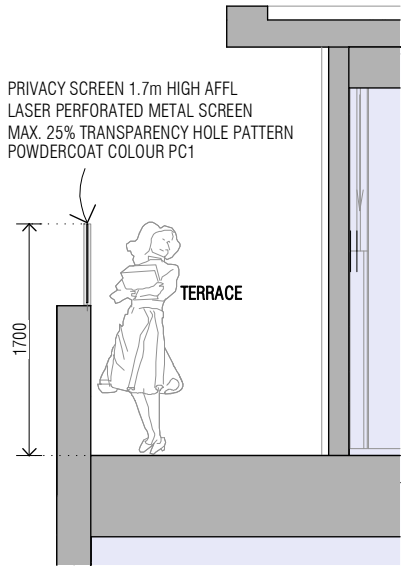
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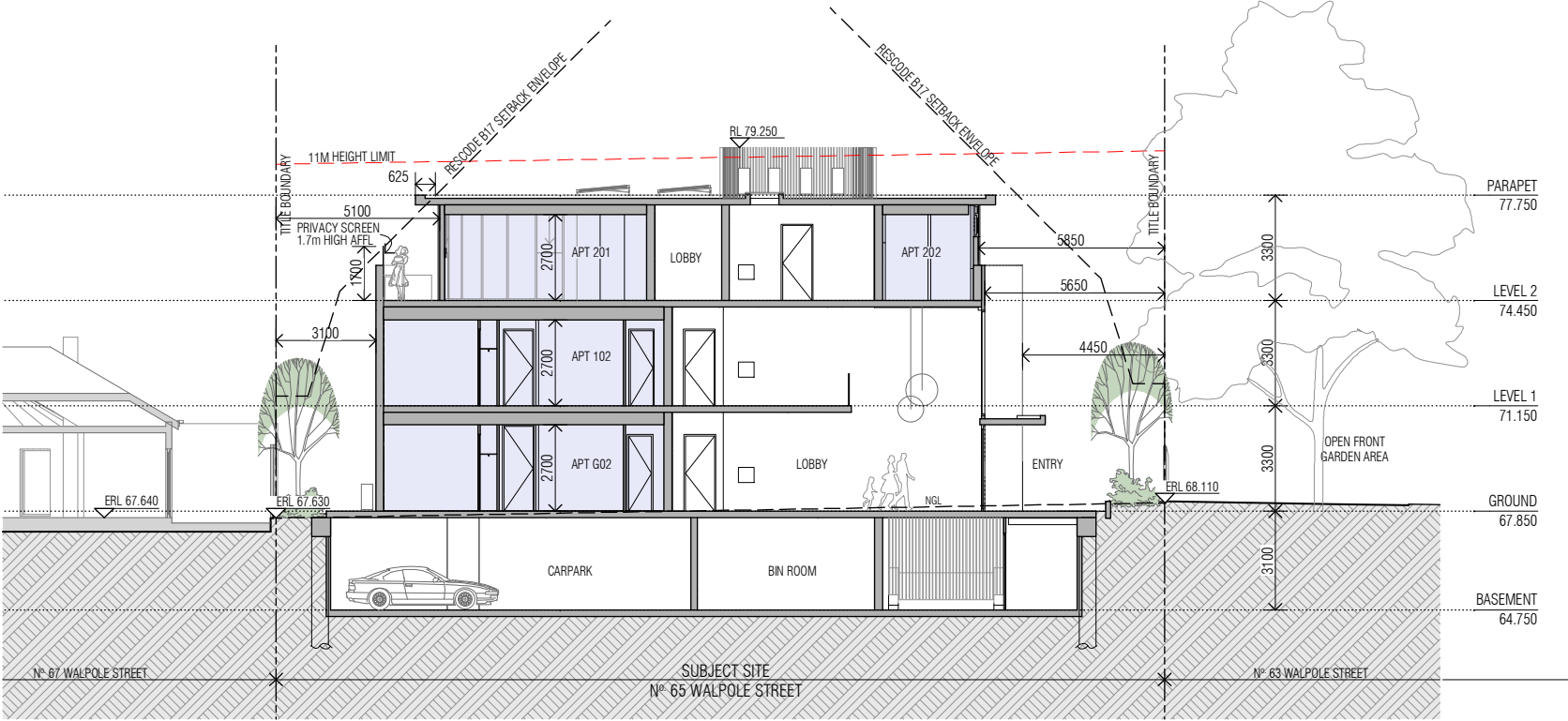
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SECTION A



PRIVACY SCREEN DETAIL 1:50



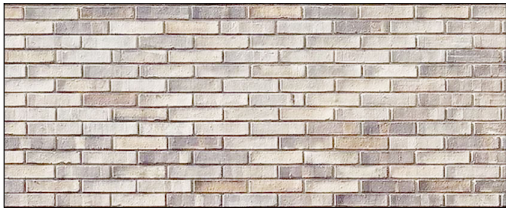
SECTION B

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TOWN PLANNING	DRAWING No.																																								
TP-19	REV No.																																								
	C																																								

MATERIALS AND FINISHES SCHEDULE



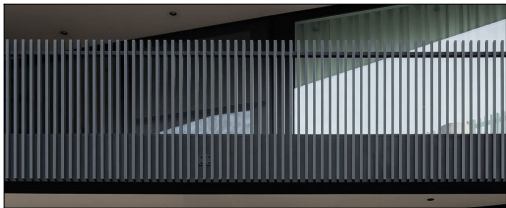
R ACRYLIC RENDER FINISH



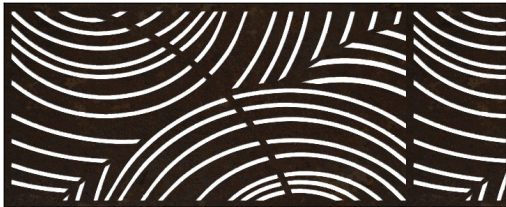
BR FACE BRICKWORK - LIGHT GREY BEIGE



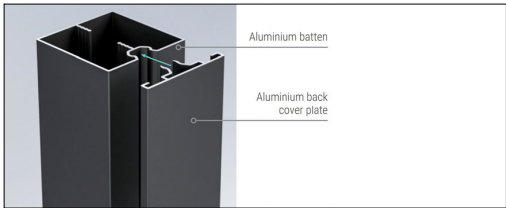
MC METAL CLADDING - PC1



B1 METAL BALUSTRADE - POWDERCOAT COLOUR -PC1



PS1 PRIVACY SCREEN - 1.7m HIGH LASER PERFORATED METAL SCREEN. MAX. 25% TRANSPARENCY HOLE PATTERN POWDERCOAT COLOUR PC1



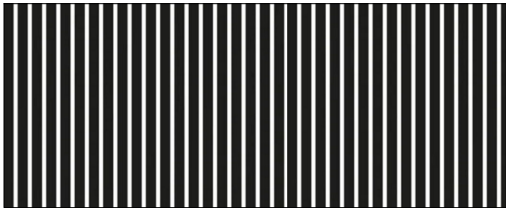
MB METAL BATTEN - COLOUR PC1



OG FIXED OBSCURE GLASS TO WINDOWS TO 1700mm AFL MAX. 25% TRANSPARENCY



MF METAL PICKET FENCE POWDERCOAT COLOUR PC1



PS2 PRIVACY SCREEN 2 - 1.7m HIGH VERTICAL SLATS SCREEN. MAX. 25% OPENESS - POWDERCOAT COLOUR PC1



GARAGE SECURITY GRILLE - PC1



PAVING - BLUESTONE COLOURED PAVER



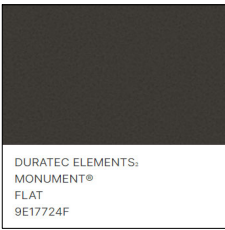
DRIVEWAY - EXPOSED AGGREGATE CONCRETE

PAINT & RENDER COLOURS



1. COLOUR 1 - DULUX 'MONUMENT'

POWDERCOAT COLOURS



PC1 DULUX DURATEC 'MONUMENT' FLAT 9E17724F

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REV No.	AMENDMENTS / ISSUE	DRAWN
A	TOWN PLANNING SUBMISSION	IC
B	COUNCIL RR	MW
C	COUNCIL RR RESPONSE 2	MW

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DRAWING
MATERIALS AND FINISHES
SCHEDULE

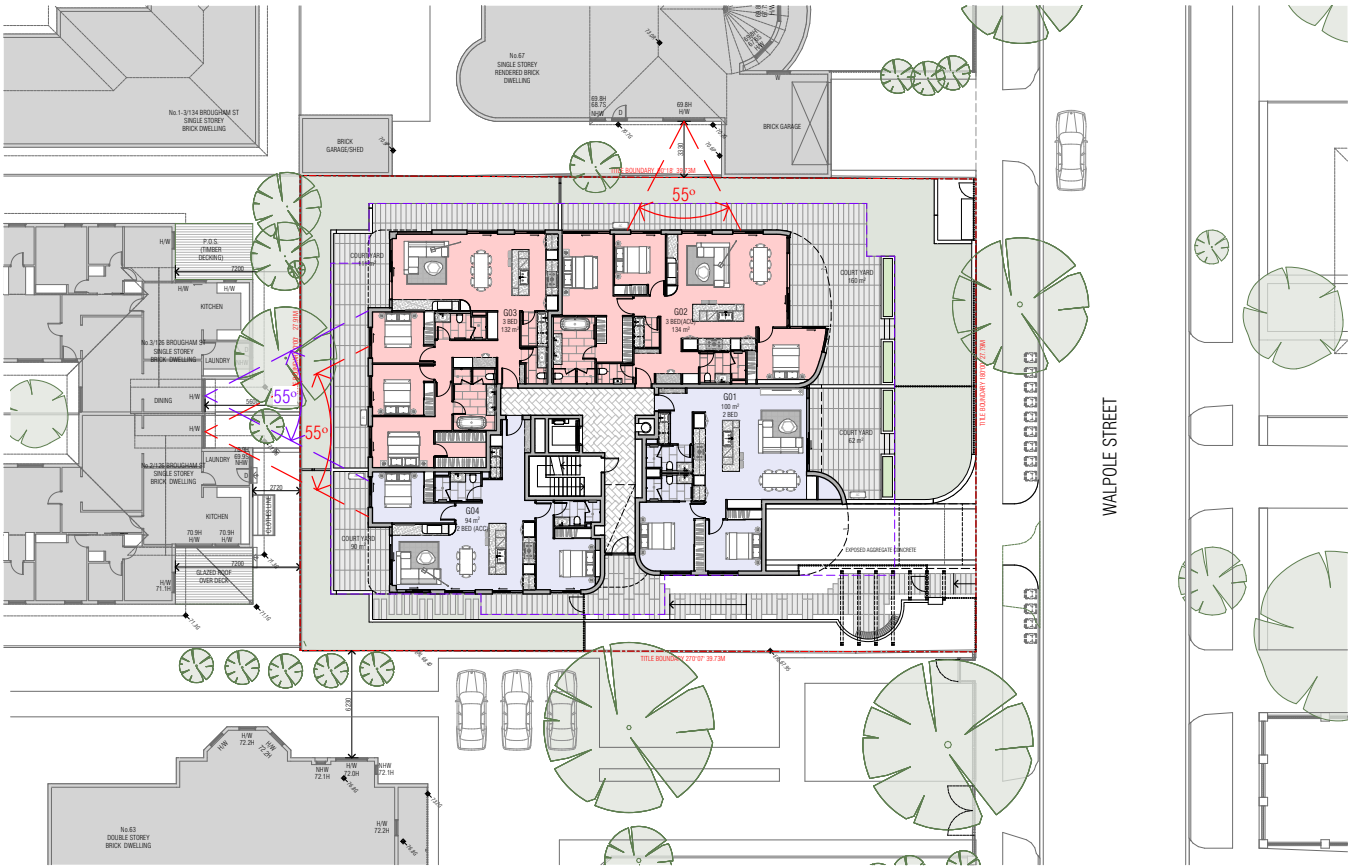
PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

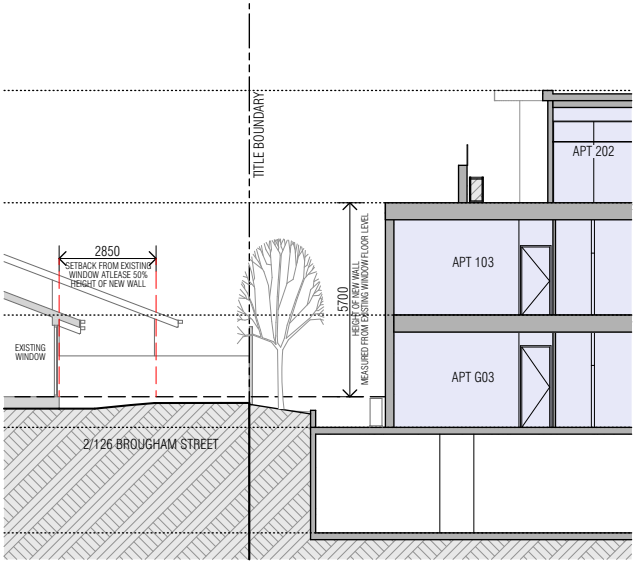
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DRAWN MW/TJ/YC	JOB No. 1604
TOWN PLANNING	DRAWING No. TP-20
	REV No. C



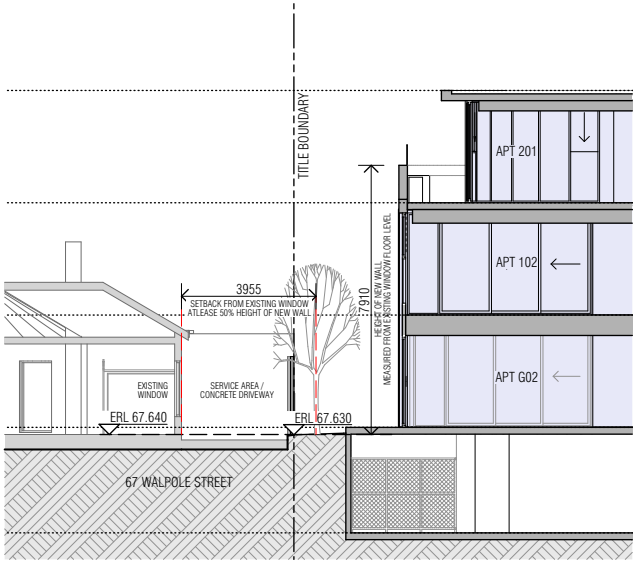
NOTICE INFORMATION
Date of Notice: 20 October 2022



GROUND FLOOR KEY PLAN



SECTIONAL SETBACK DIAGRAM
2&3/126 BROUGHAM ST



SECTIONAL SETBACK DIAGRAM
67 WALPOLE ST

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ACN 083 228 782

DRAWING
**CLAUSE 55 STANDARD B19
DAYLIGHT TO EXISTING WINDOWS**

PROJECT
**RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW**

Ascui & Co.
Architects

SCALE
1:200 @ A3
DRAWN
MW/TJ/NC

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-21

REV No.

B



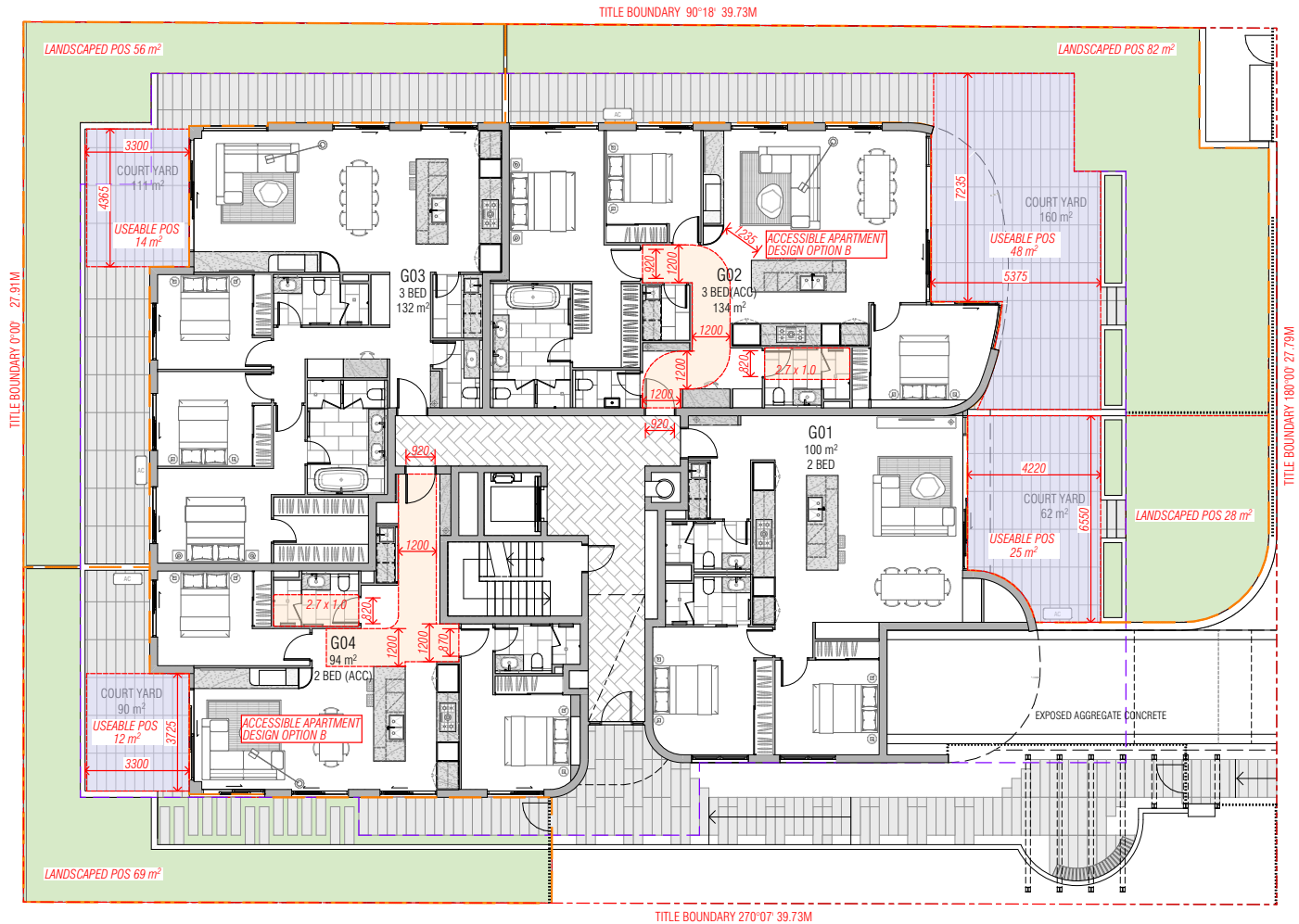
NOTICE INFORMATION
Date of Notice: 20 October 2022

- PRIVATE OPEN SPACE
- USEABLE PRIVATE OPEN SPACE
- LANDSCAPED PRIVATE OPEN SPACE
- ACCESSIBLE CIRCULATION AREA

DESIGN OPTION A - ACCESSIBLE BATHROOM
TO HAVE HOBLESS SHOWER

DESIGN OPTION B - ACCESSIBLE BATHROOM
TO HAVE A REMOVABLE SHOWER SCREEN

ACCESSIBLE APARTMENT: G02 & G04
TOTAL OF 2 APARTMENTS AT GROUND LEVEL

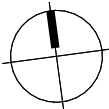


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ACN 083 228 782



DRAWING
CLAUSE 58 STANDARD D17 & D19
ASSESSMENT - GROUND FLOOR

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE
1:200 @ A3
DRAWN
MW/TJ/NC

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-22 B

REV No.



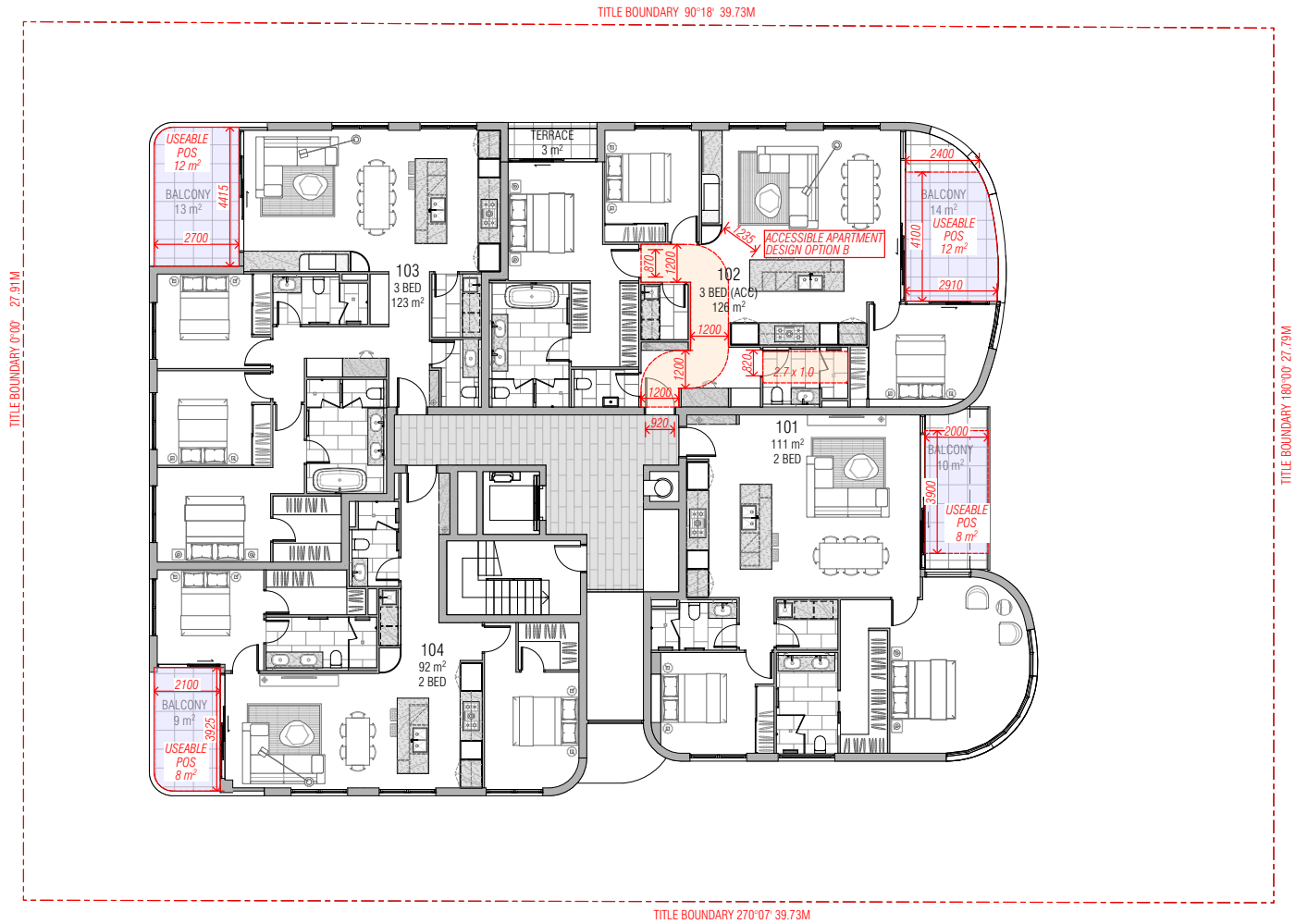
NOTICE INFORMATION
Date of Notice: 20 October 2022

- PRIVATE OPEN SPACE
- USEABLE PRIVATE OPEN SPACE
- LANDSCAPED PRIVATE OPEN SPACE
- ACCESSIBLE CIRCULATION AREA

DESIGN OPTION A - ACCESSIBLE BATHROOM
TO HAVE HOBLESS SHOWER

DESIGN OPTION B - ACCESSIBLE BATHROOM
TO HAVE A REMOVABLE SHOWER SCREEN

ACCESSIBLE APARTMENT: 102
TOTAL OF 1 APARTMENT AT LEVEL 1

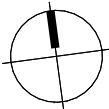


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DRAWING
CLAUSE 58 STANDARD D17 & D19
ASSESSMENT - LEVEL 1

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE
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TOWN
PLANNING

DATE
01/09/2022

JOB No.

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DRAWING No.

TP-23

REV No.

B



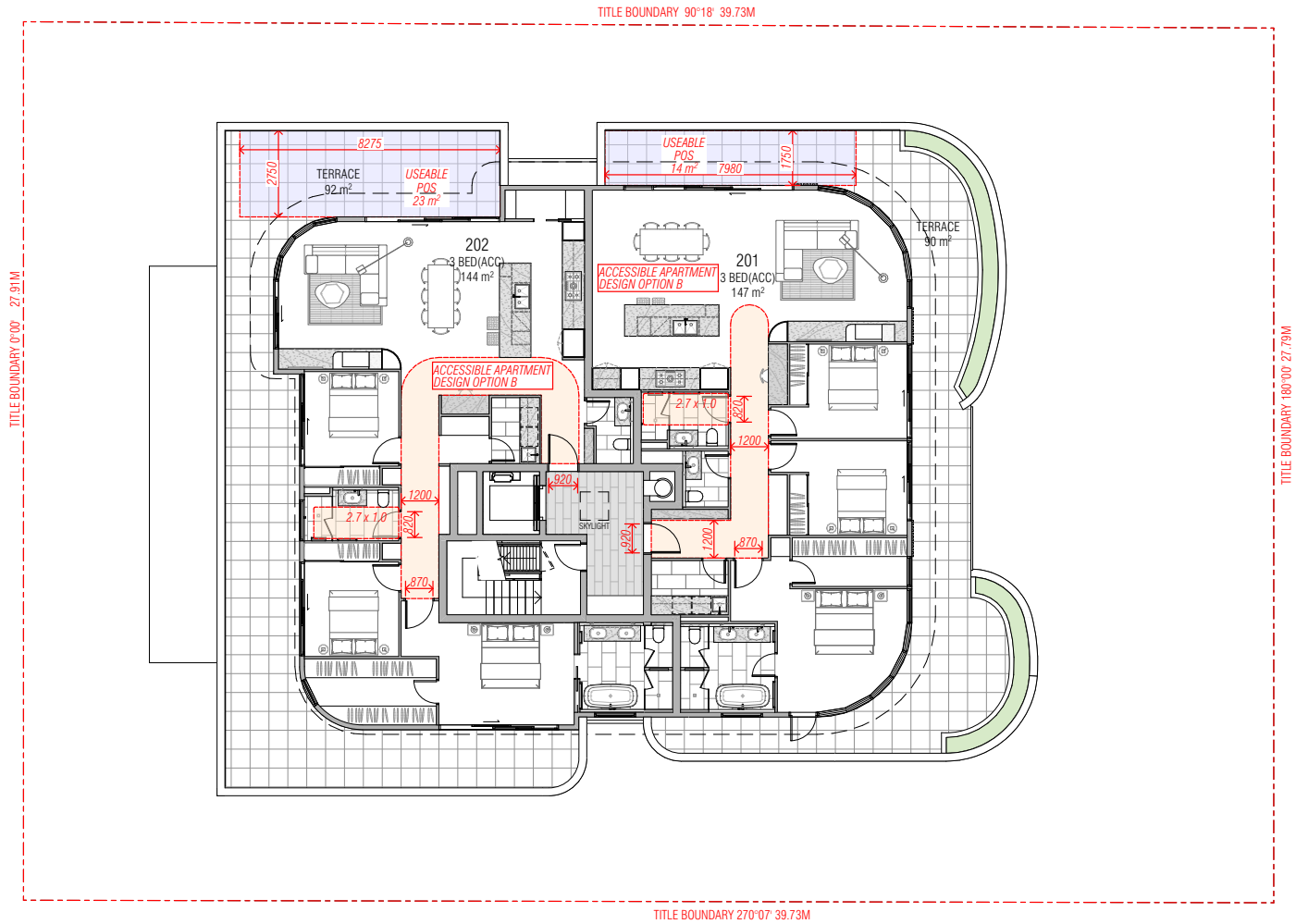
NOTICE INFORMATION
Date of Notice: 20 October 2022

- PRIVATE OPEN SPACE
- USEABLE PRIVATE OPEN SPACE
- LANDSCAPED PRIVATE OPEN SPACE
- ACCESSIBLE CIRCULATION AREA

DESIGN OPTION A - ACCESSIBLE BATHROOM
TO HAVE HOBLESS SHOWER

DESIGN OPTION B - ACCESSIBLE BATHROOM
TO HAVE A REMOVABLE SHOWER SCREEN

ACCESSIBLE APARTMENT: 201 & 202
TOTAL OF 2 APARTMENTS AT LEVEL 2

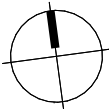


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REV No.	AMENDMENTS / ISSUE	DRAWN
A	TOWN PLANNING SUBMISSION	HC
B	COUNCIL REF	MW

Suite 3, Level 1
192 B Buwood Road
Hawthorn, Victoria 3122
Australia

T (+61 3) 9529 3999
info@ascuiandco.com.au
ascuiandco.com.au
ACN 083 228 782



DRAWING
CLAUSE 58 STANDARD D17 & D19
ASSESSMENT - LEVEL 2

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE
1:200 @ A3
DRAWN
MW/TJ/NC

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-24

REV No.

B



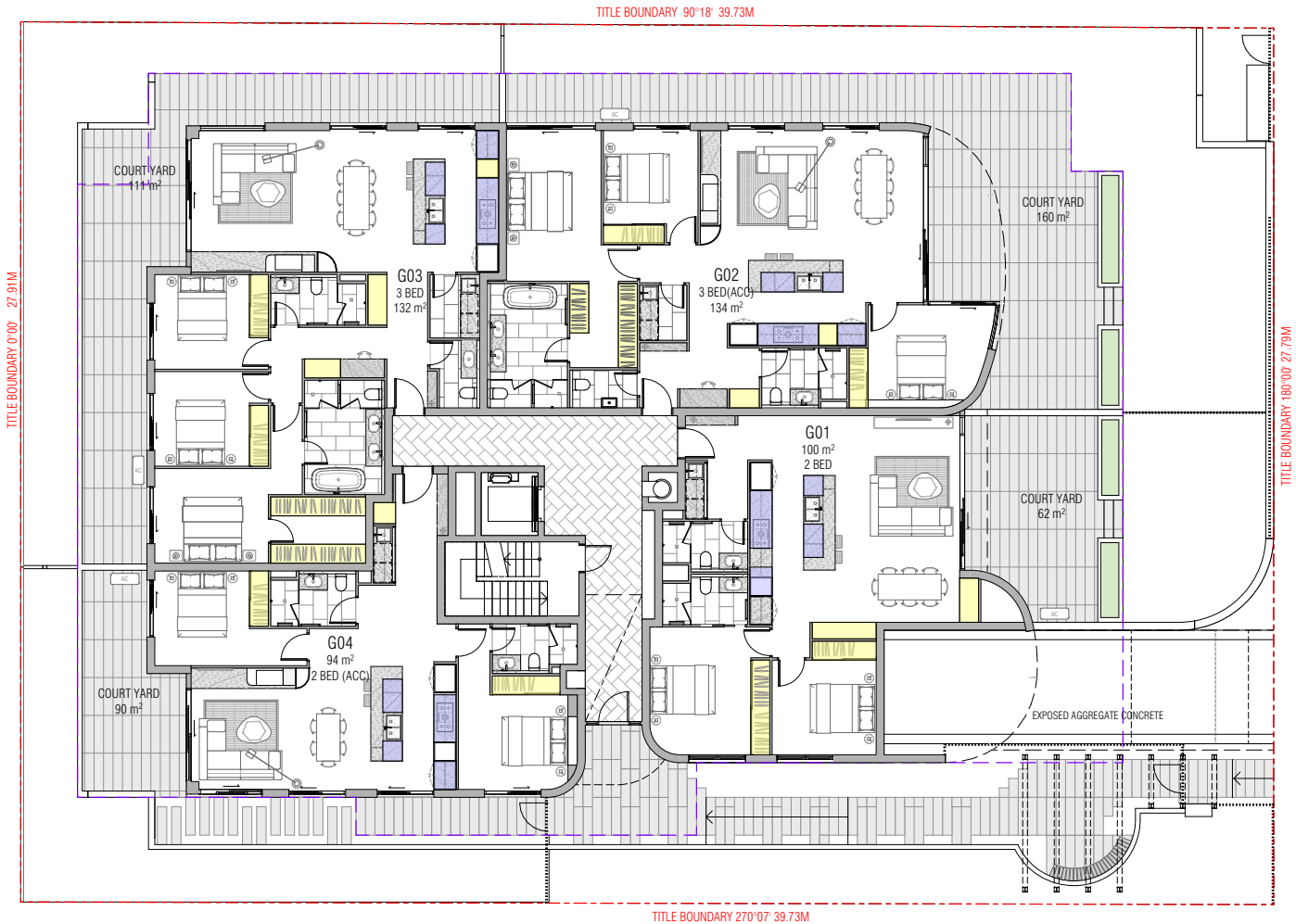
NOTICE INFORMATION
Date of Notice: 20 October 2022

- LEGEND
- FULL HEIGHT STORAGE VOLUME
 - BENCH HEIGHT/OVERHEAD CUPBOARD VOLUME

STORAGE AREAS				
	APARTMENT NUMBER	TOTAL STORAGE VOLUME M3	STORAGE VOLUME WITHIN THE DWELLING M3	BADS COMPLIANT
GROUND	G01	22	15	✓
	G02	36	17	✓
	G03	38	22	✓
	G04	17	10	✓

Table D10 Storage

Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling
Studio	8 cubic metres	5 cubic metres
1 bedroom dwelling	10 cubic metres	6 cubic metres
2 bedroom dwelling	14 cubic metres	9 cubic metres
3 or more bedroom dwelling	18 cubic metres	12 cubic metres

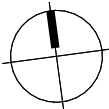


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DRAWING
CLAUSE 58 STANDARD D20
ASSESSMENT - GROUND FLOOR

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE
1:200, 1:1.25 @ A3
DRAWN
MW/TJ/NC

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-25

REV No.

B



NOTICE INFORMATION
Date of Notice: 20 October 2022

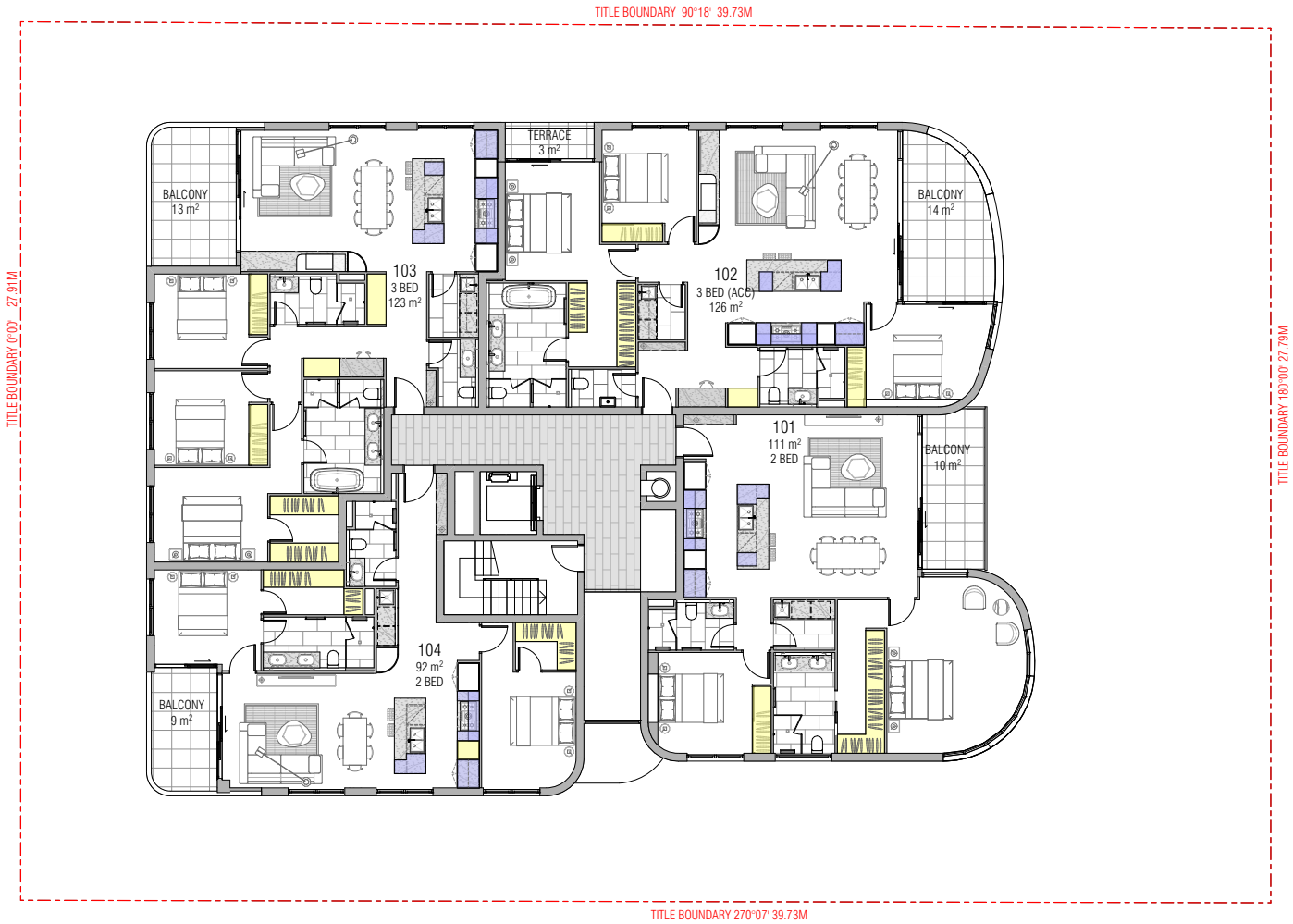
LEGEND

- FULL HEIGHT STORAGE VOLUME
- BENCH HEIGHT/OVERHEAD CUPBOARD VOLUME

STORAGE AREAS				
	APARTMENT NUMBER	TOTAL STORAGE VOLUME M3	STORAGE VOLUME WITHIN THE DWELLING M3	BADS COMPLIANT
LEVEL 1				
	101	20	13	✓
	102	22	15	✓
	103	28	19	✓
	104	17	11	✓

Table D10 Storage

Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling
Studio	8 cubic metres	5 cubic metres
1 bedroom dwelling	10 cubic metres	6 cubic metres
2 bedroom dwelling	14 cubic metres	9 cubic metres
3 or more bedroom dwelling	18 cubic metres	12 cubic metres

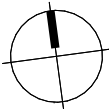


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DRAWING
CLAUSE 58 STANDARD D20
ASSESSMENT - LEVEL 1

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE
1:200, 1:1.25 @ A3
DRAWN
MW/TJ/NC

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-26

REV No.

B



NOTICE INFORMATION
Date of Notice: 20 October 2022

- LEGEND
- FULL HEIGHT STORAGE VOLUME
 - BENCH HEIGHT/OVERHEAD CUPBOARD VOLUME

STORAGE AREAS				
	APARTMENT NUMBER	TOTAL STORAGE VOLUME M3	STORAGE VOLUME WITHIN THE DWELLING M3	BADS COMPLIANT
LEVEL 2				
	201	25	17	✓
	202	38	27	✓

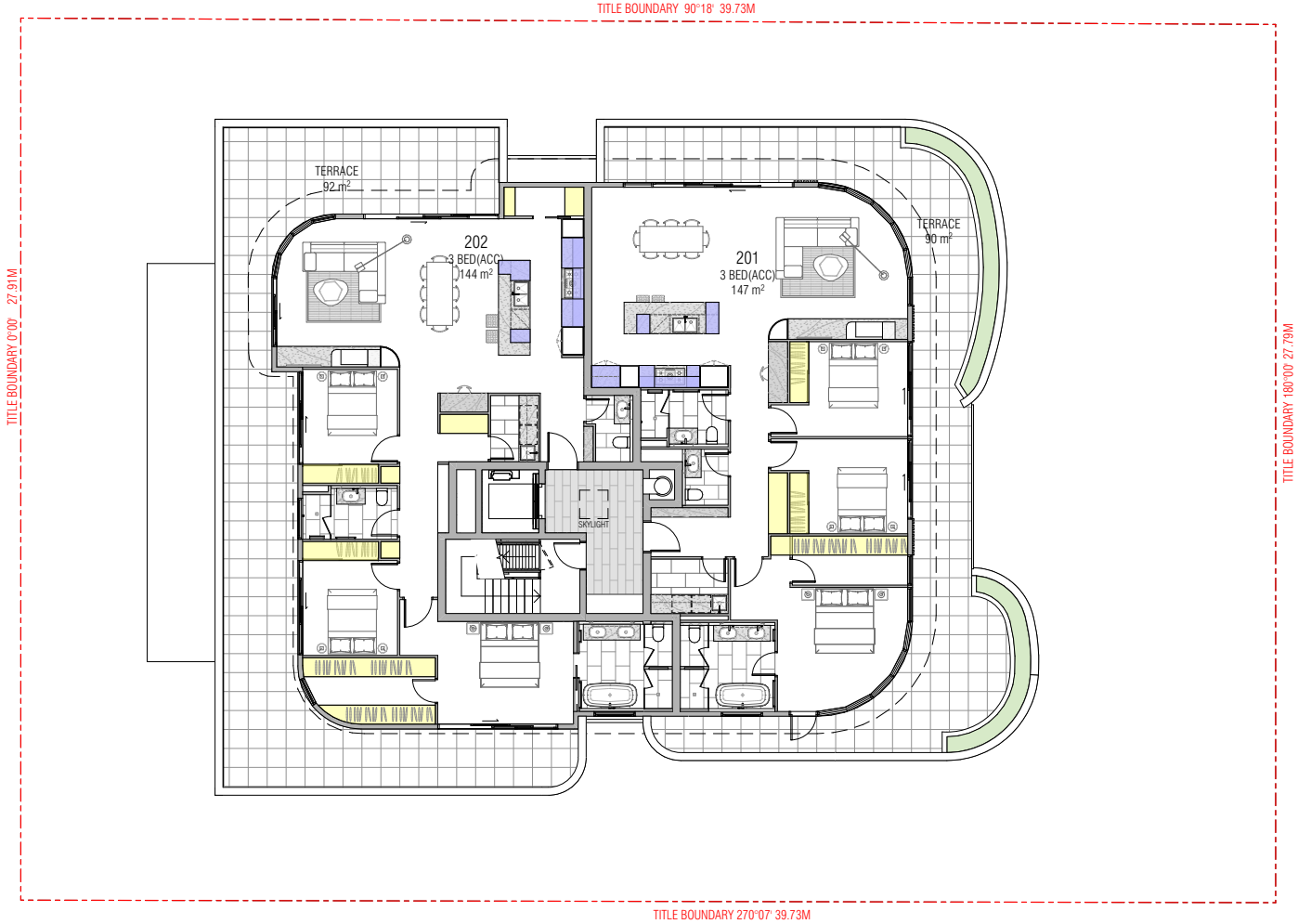


Table D10 Storage

Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling
Studio	8 cubic metres	5 cubic metres
1 bedroom dwelling	10 cubic metres	6 cubic metres
2 bedroom dwelling	14 cubic metres	9 cubic metres
3 or more bedroom dwelling	18 cubic metres	12 cubic metres

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DRAWING
**CLAUSE 58 STANDARD D20
ASSESSMENT - LEVEL 2**

PROJECT
**RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW**

Ascui & Co.
Architects

SCALE
1:200, 1:1.25 @ A3

DRAWN
MW/TJ/NC

TOWN
PLANNING

DATE
01/09/2022

JOB No.
1804

DRAWING No.
TP-27

REV No.
B



NOTICE INFORMATION
Date of Notice: 20 October 2022

LEGEND

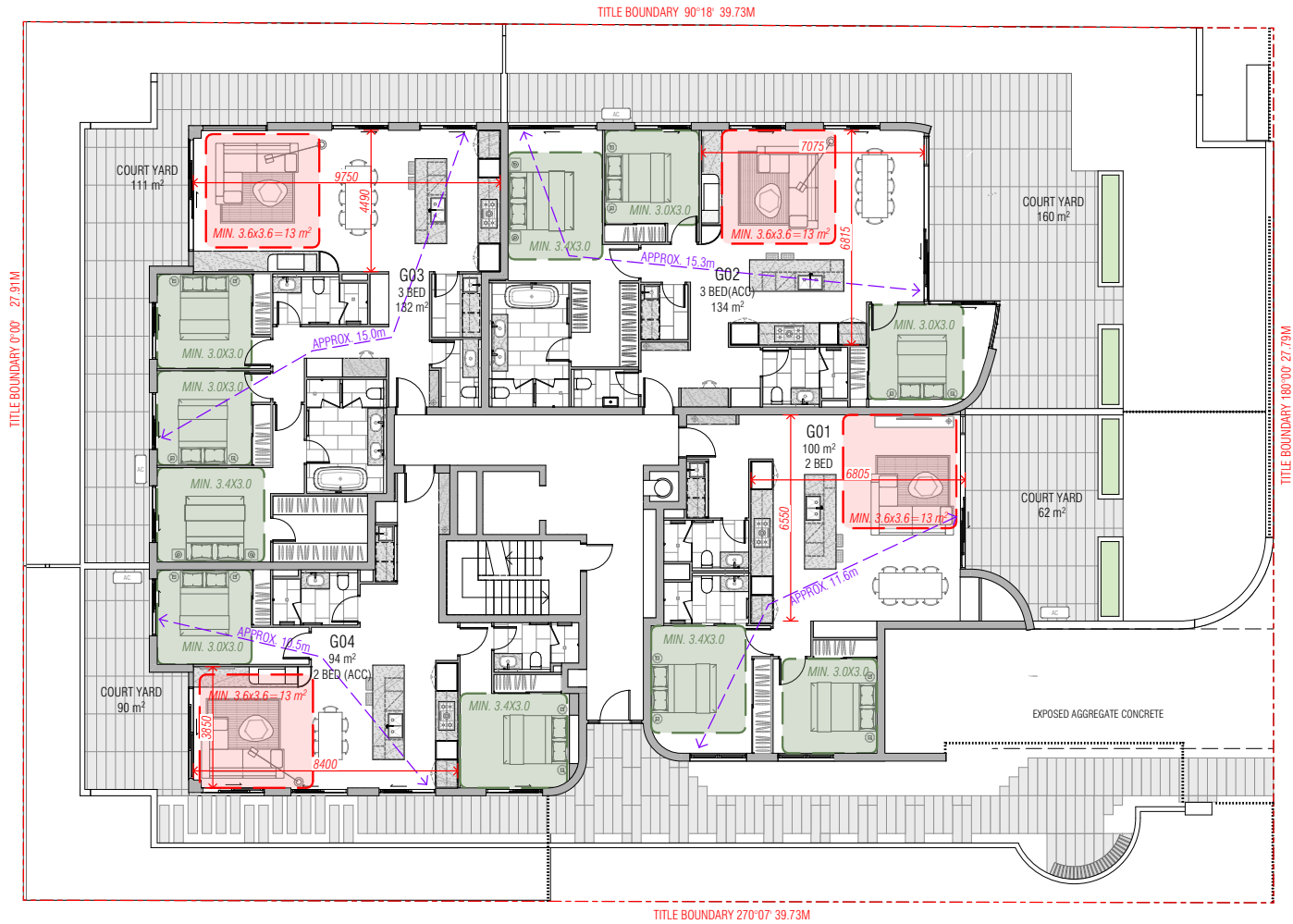
LIVING MIN. AREA

BEDROOM MIN. AREA

BREEZE PATH

ALL APARTMENTS WITH EFFECTIVE CROSS VENTILATION

ALL APARTMENTS WITH NATURAL VENTILATION

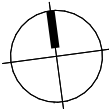


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**CLAUSE 58 STANDARD D25 D26 D28
ASSESSMENT - GROUND FLOOR**

**PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW**

Ascui & Co.
Architects

SCALE
1:200 @ A3
DRAWN
MW/TJ/NC

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-28

REV No.

B



NOTICE INFORMATION
Date of Notice: 20 October 2022

LEGEND

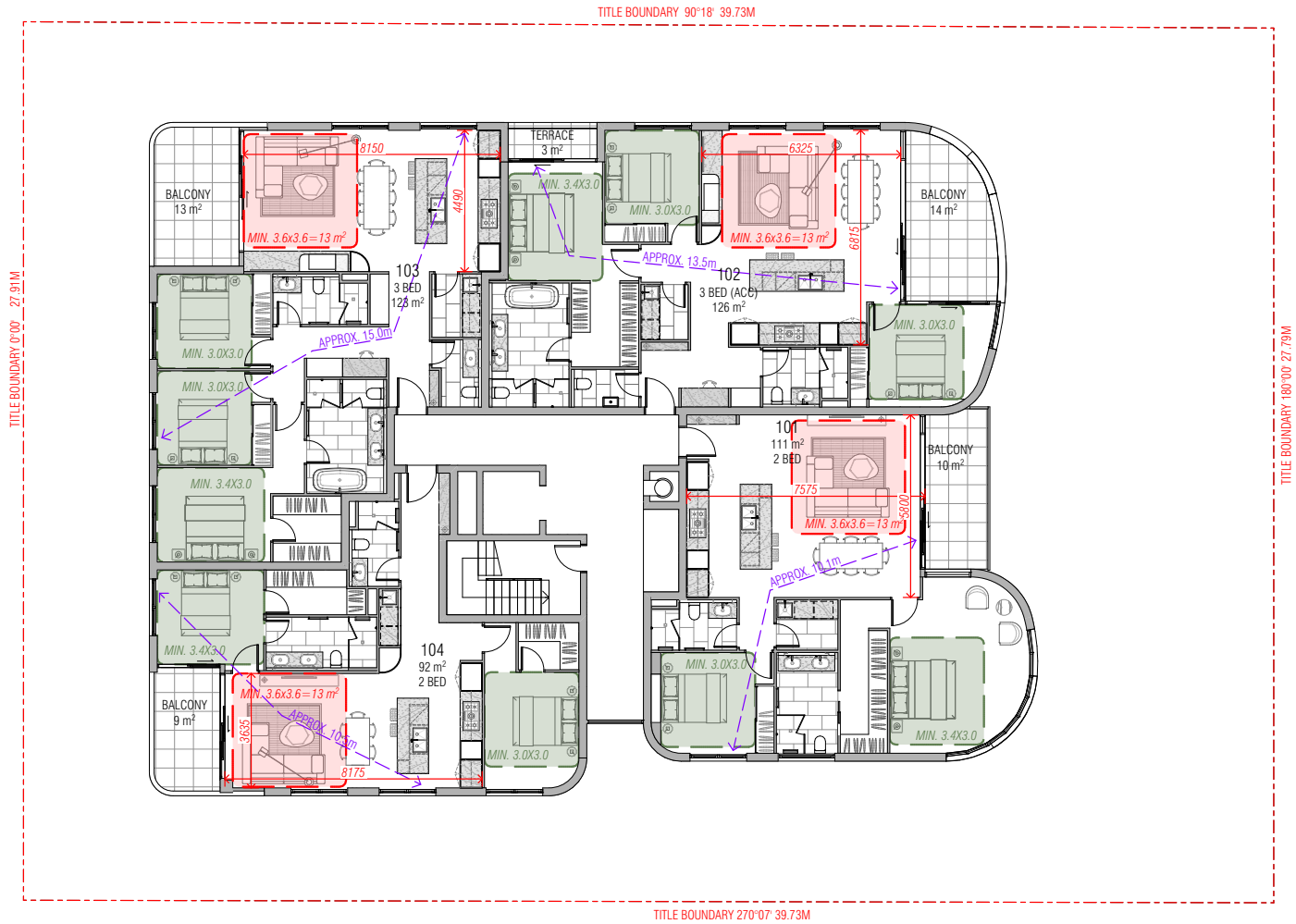
LIVING MIN. AREA

BEDROOM MIN. AREA

BREEZE PATH

ALL APARTMENTS WITH
EFFECTIVE CROSS VENTILATION

ALL APARTMENTS WITH NATURAL VENTILATION

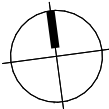


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DRAWING
**CLAUSE 58 STANDARD D25 D26 D28
ASSESSMENT - LEVEL 1**

PROJECT
**RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW**

Ascui & Co.
Architects

SCALE 1:200 @ A3	DATE 01/09/2022
DRAWN MW/TJ/NC	JOB No. 1804
TOWN PLANNING	DRAWING No. TP-29
	REV No. B



NOTICE INFORMATION
Date of Notice: 20 October 2022

LEGEND

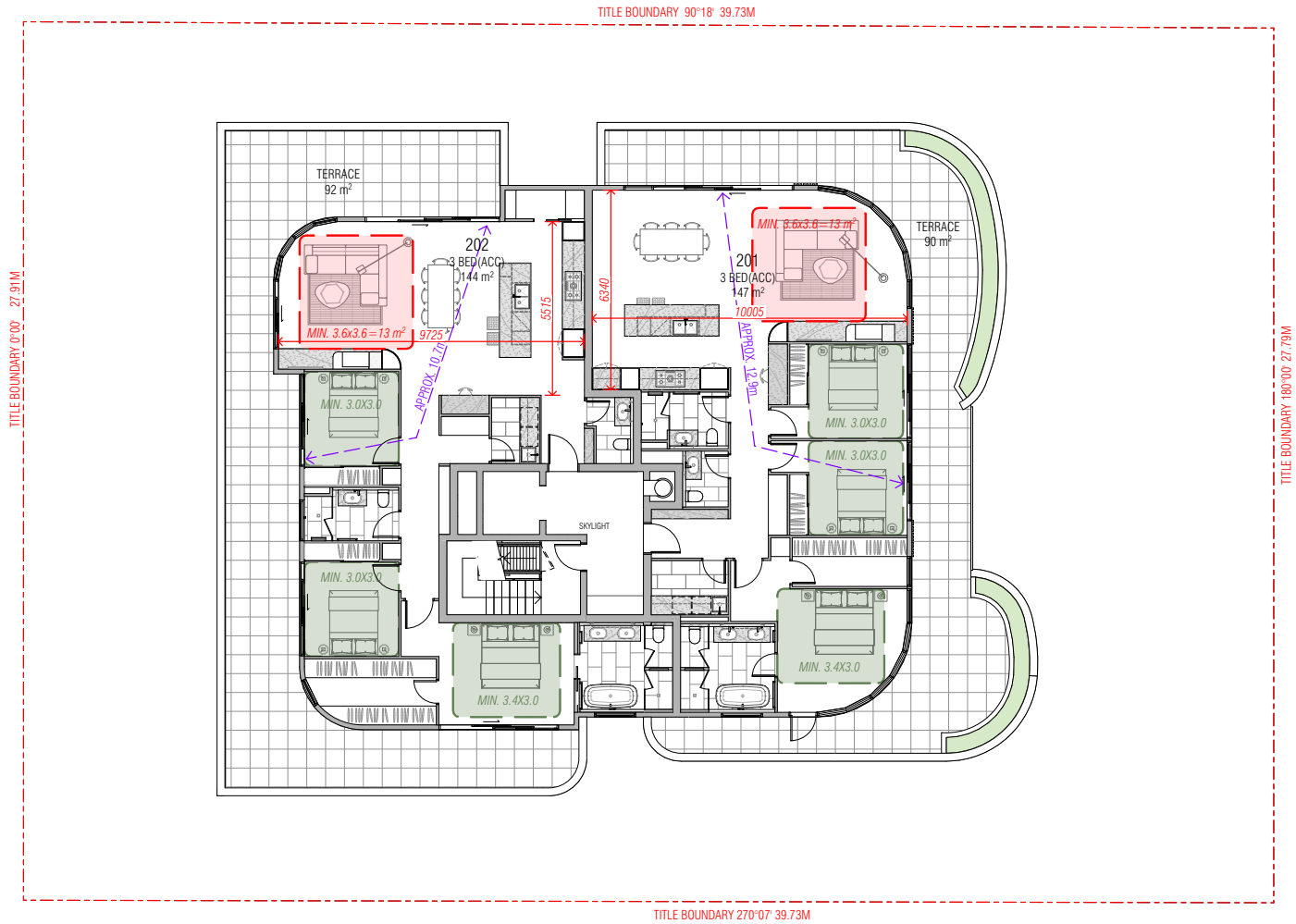
LIVING MIN. AREA

BEDROOM MIN. AREA

BREEZE PATH

ALL APARTMENTS WITH
EFFECTIVE CROSS VENTILATION

ALL APARTMENTS WITH NATURAL VENTILATION

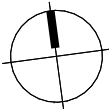


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DRAWING
**CLAUSE 58 STANDARD D25 D26 D28
ASSESSMENT - LEVEL 2**

PROJECT
**RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW**

Ascui & Co.
Architects

SCALE
1:200 @ A3
DRAWN
MW/TJ/NC

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-30

REV No.

B



NOTICE INFORMATION

LEGEND

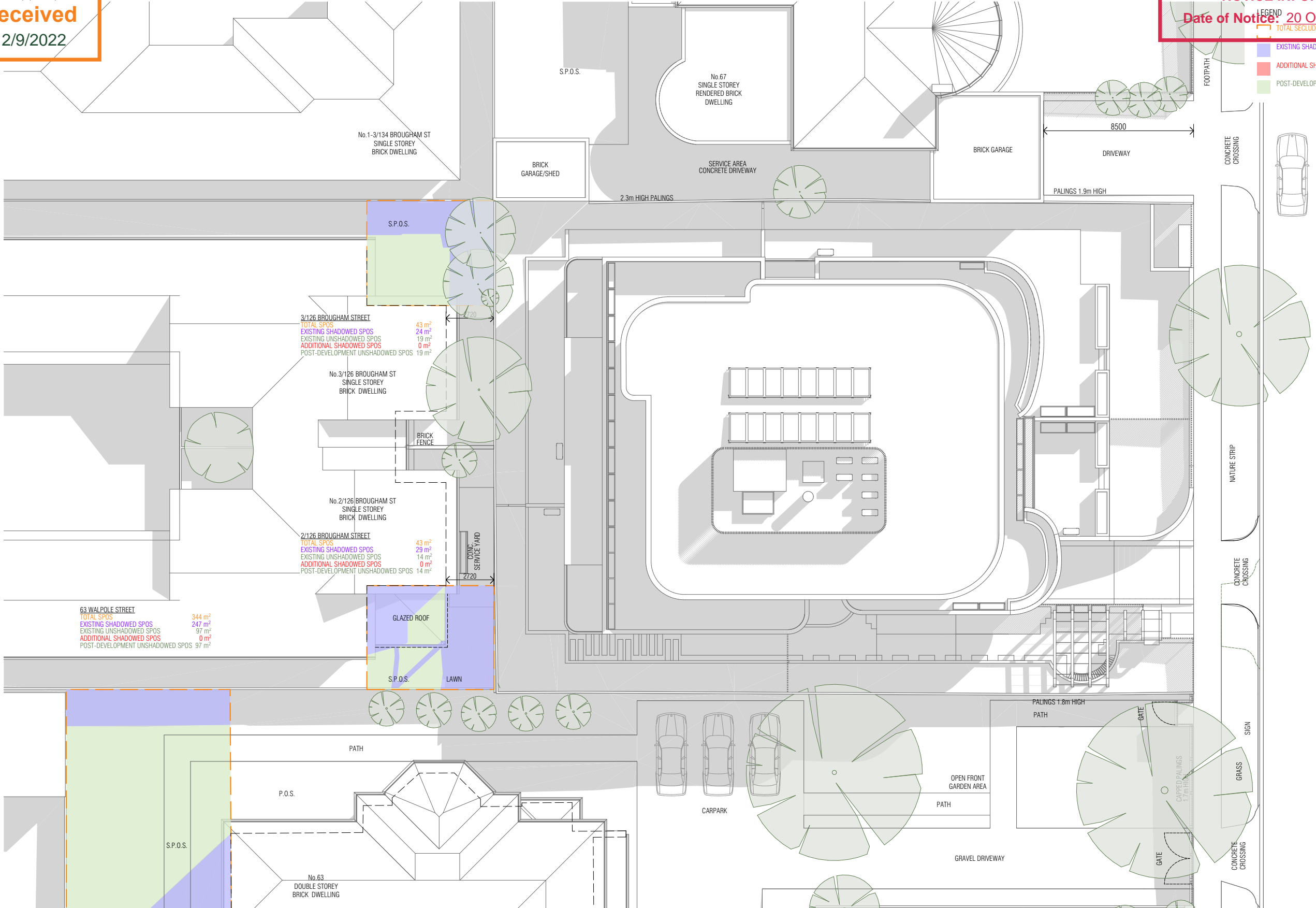
DATE OF NOTICE: 20 October 2022

TOTAL SECLUDED PRIVATE OPEN SPACE

EXISTING SHADOWED SPDS

ADDITIONAL SHADOWED SPDS

POST-DEVELOPMENT UNSHADOWED SPDS



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ACN 083 228 782

DRAWING
SHADOW DIAGRAM 22ND
SEPTEMBER 9:00 AM

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

SCALE
1:200 @ A3

DRAWN
MW/TJ/YC

TOWN
PLANNING

DATE
01/09/2022

JOB No.
1804

DRAWING No.
TP-31

REV No.
B

Ascui & Co.

Architects



NOTICE INFORMATION

Date of Notice: 20 October 2022

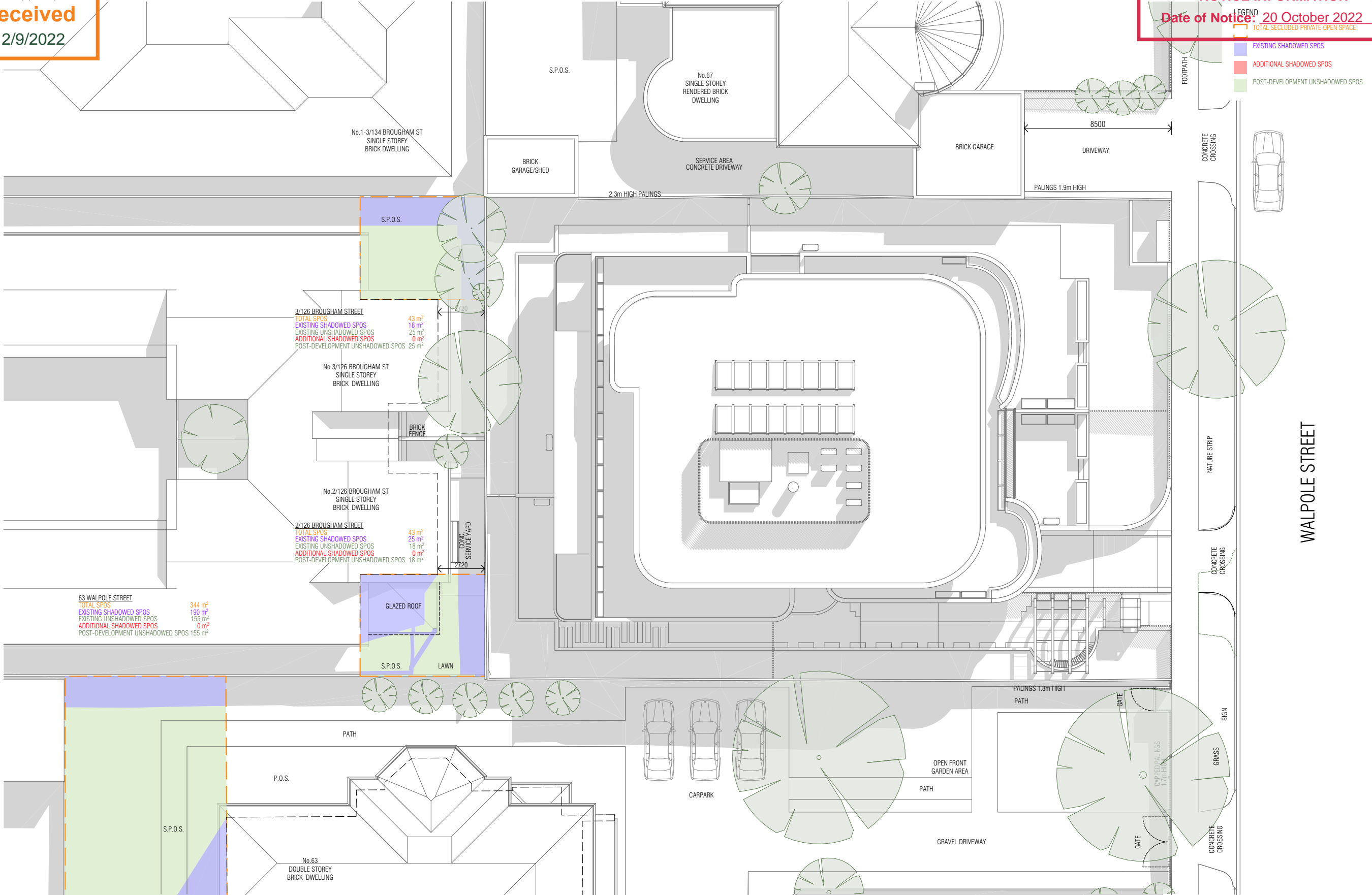
LEGEND

TOTAL SECLUDED PRIVATE OPEN SPACE

EXISTING SHADOWED SPDS

ADDITIONAL SHADOWED SPDS

POST-DEVELOPMENT UNSHADOWED SPDS

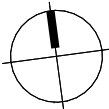


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REV No.	AMENDMENTS / ISSUE	DRAWN
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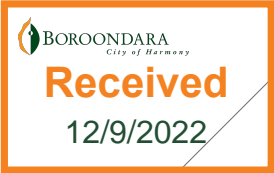


DRAWING
SHADOW DIAGRAM 22ND
SEPTEMBER 10:00 AM

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE 1:200 @ A3	DATE 01/09/2022
DRAWN MW/TJ/YC	JOB No. 1804
TOWN PLANNING	DRAWING No. TP-32
	REV No. B



NOTICE INFORMATION

Date of Notice: 20 October 2022

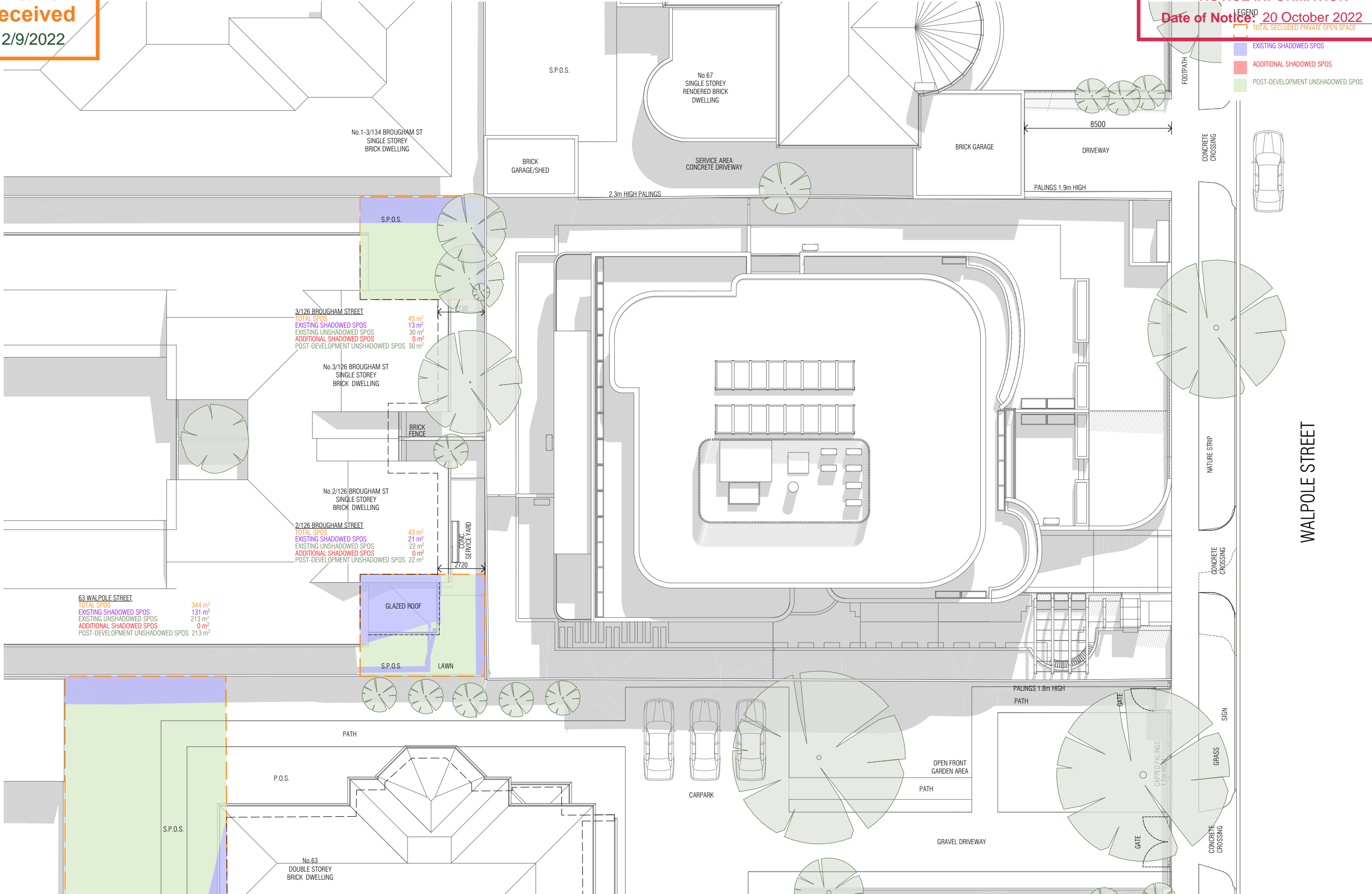
LEGEND

TOTAL SECLUDED PRIVATE OPEN SPACE

EXISTING SHADOWED SPDS

ADDITIONAL SHADOWED SPDS

POST-DEVELOPMENT UNSHADOWED SPDS

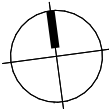


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DRAWING
SHADOW DIAGRAM 22ND
SEPTEMBER 11:00 AM

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE	DATE
1:200 @ A3	01/09/2022
DRAWN	JOB No.
MW/TJ/YC	1804
TOWN PLANNING	DRAWING No.
	TP-33
	REV No.
	B



NOTICE INFORMATION

LEGEND

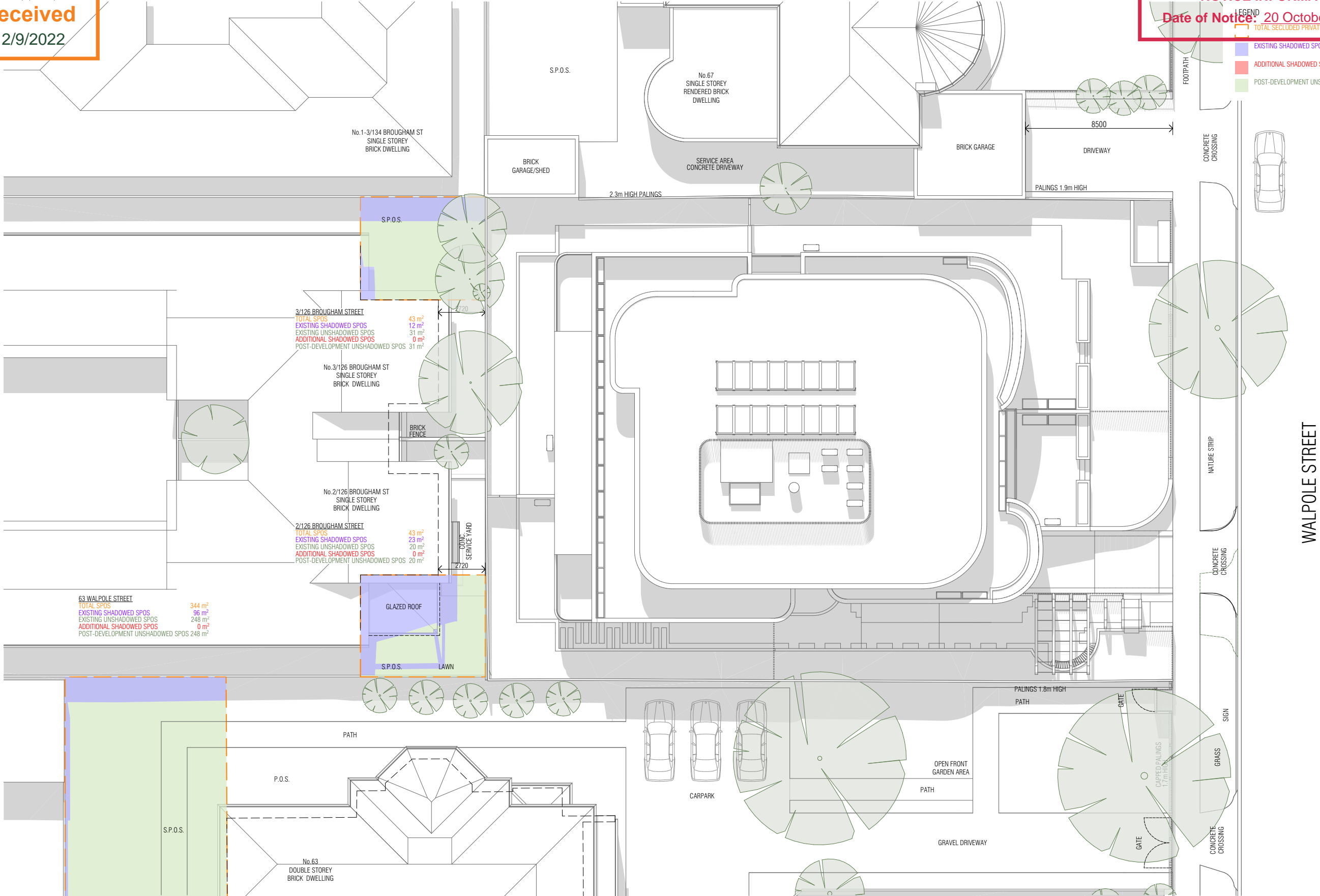
Date of Notice: 20 October 2022

TOTAL SECLUDED PRIVATE OPEN SPACE

EXISTING SHADOWED SPDS

ADDITIONAL SHADOWED SPDS

POST-DEVELOPMENT UNSHADOWED SPDS

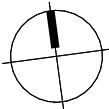


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DRAWING
SHADOW DIAGRAM 22ND
SEPTEMBER 12:00 NOON

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE
1:200 @ A3
DRAWN
MW/TJ/YC

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-34

REV No.

B



NOTICE INFORMATION

LEGEND

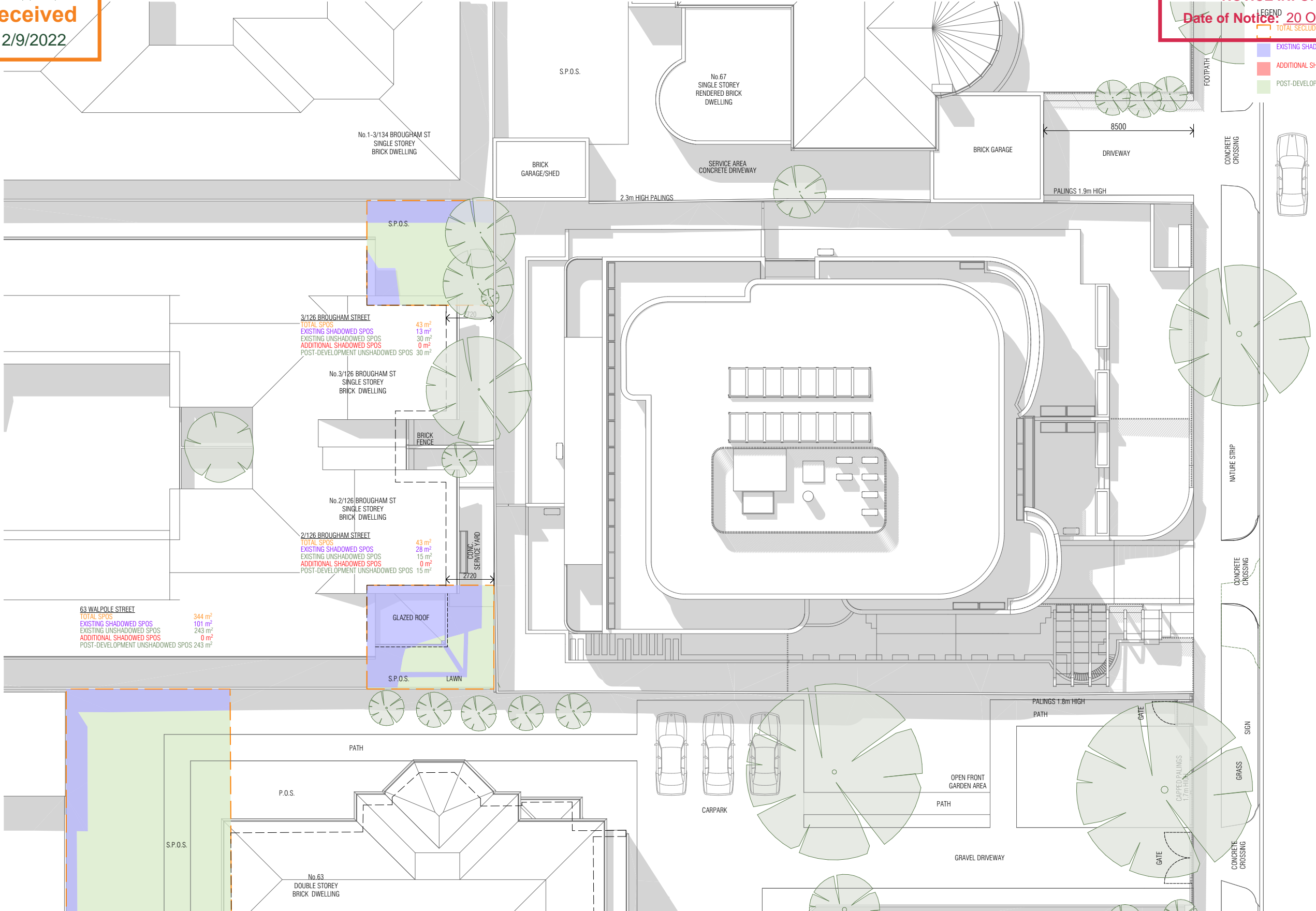
DATE OF NOTICE: 20 October 2022

TOTAL SECLUDED PRIVATE OPEN SPACE

EXISTING SHADOWED SPDS

ADDITIONAL SHADOWED SPDS

POST-DEVELOPMENT UNSHADOWED SPDS

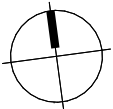


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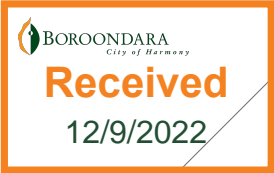


DRAWING
SHADOW DIAGRAM 22ND
SEPTEMBER 1:00PM

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE	DATE
1:200 @ A3	01/09/2022
DRAWN	JOB No.
MW/TJ/YC	1804
TOWN PLANNING	DRAWING No.
	TP-35
	REV No.
	B



NOTICE INFORMATION

LEGEND

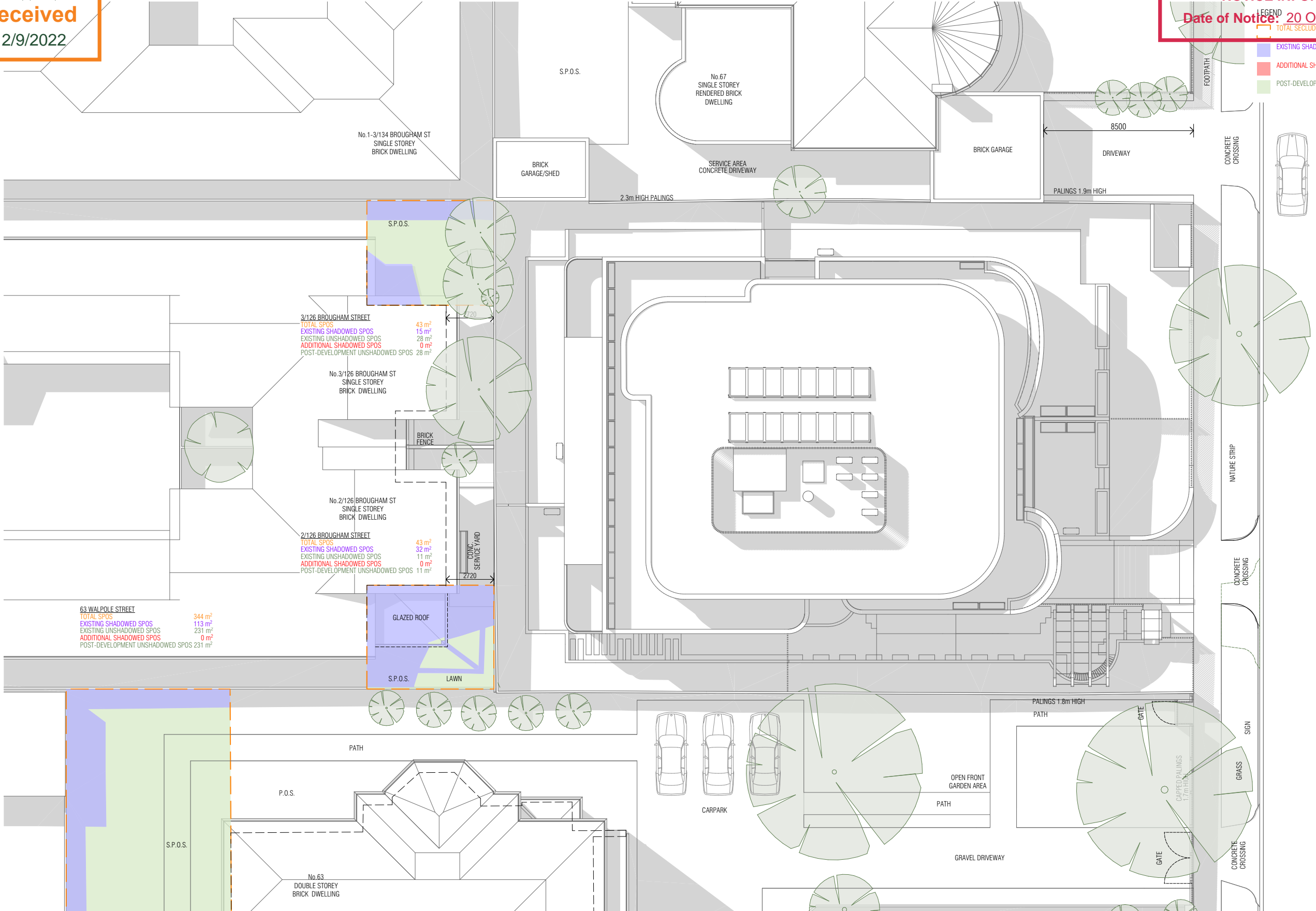
DATE OF NOTICE: 20 October 2022

TOTAL SECLUDED PRIVATE OPEN SPACE

EXISTING SHADOWED SPDS

ADDITIONAL SHADOWED SPDS

POST-DEVELOPMENT UNSHADOWED SPDS

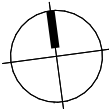


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DRAWING
SHADOW DIAGRAM 22ND
SEPTEMBER 2:00PM

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE	DATE
1:200 @ A3	01/09/2022
DRAWN	JOB No.
MW/TJ/YC	1804
TOWN PLANNING	DRAWING No.
TP-36	REV No.
B	



NOTICE INFORMATION

LEGEND

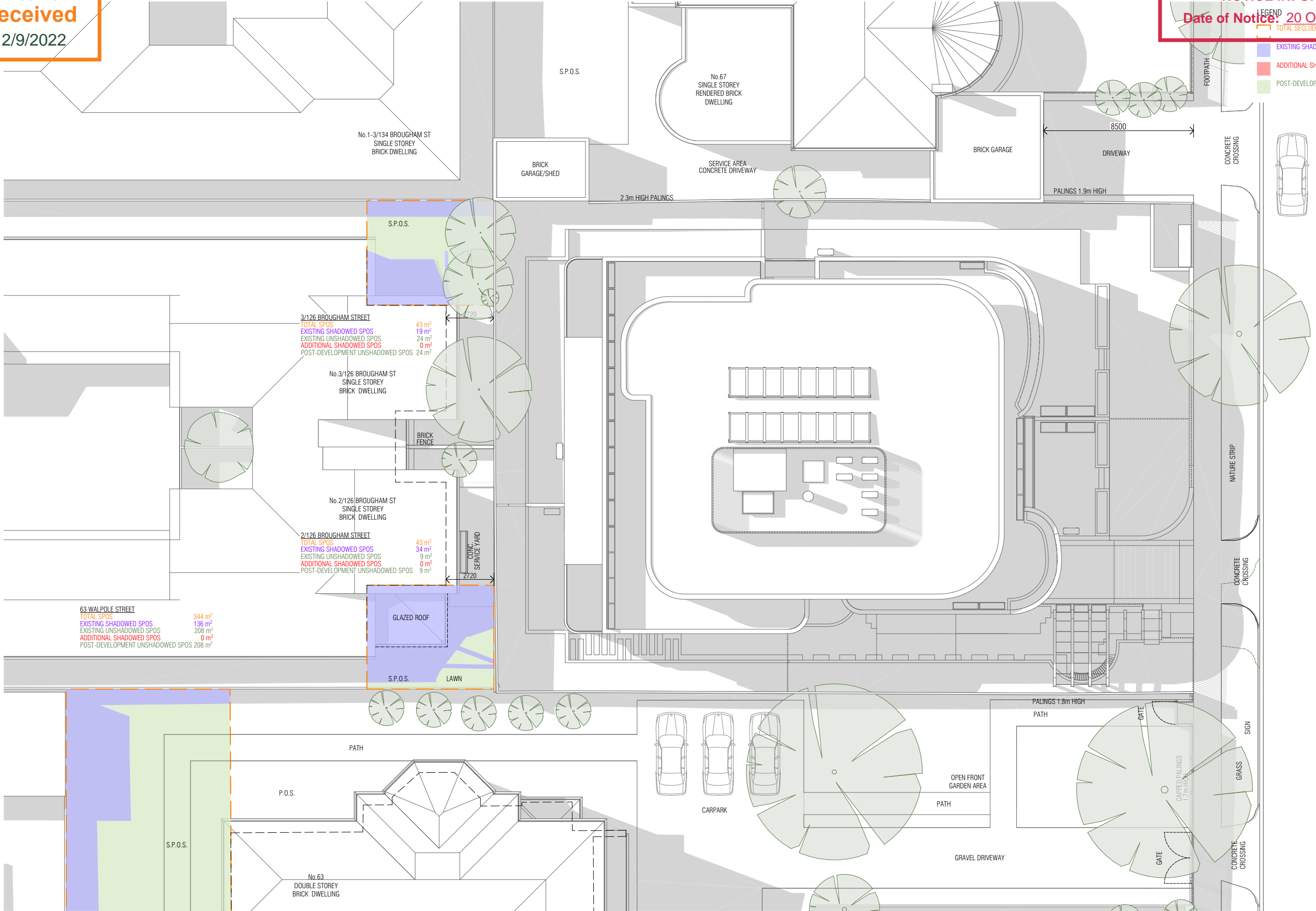
Date of Notice: 20 October 2022

TOTAL SECLUDED PRIVATE OPEN SPACE

EXISTING SHADOWED SPDS

ADDITIONAL SHADOWED SPDS

POST-DEVELOPMENT UNSHADOWED SPDS



63 WAL POLE STREET
TOTAL SPDS 344 m²
EXISTING SHADOWED SPDS 136 m²
EXISTING UNSHADOWED SPDS 208 m²
ADDITIONAL SHADOWED SPDS 0 m²
POST-DEVELOPMENT UNSHADOWED SPDS 208 m²

3/126 BROUGHAM STREET
TOTAL SPDS 43 m²
EXISTING SHADOWED SPDS 19 m²
EXISTING UNSHADOWED SPDS 24 m²
ADDITIONAL SHADOWED SPDS 0 m²
POST-DEVELOPMENT UNSHADOWED SPDS 24 m²

No. 3/126 BROUGHAM ST
SINGLE STOREY
BRICK DWELLING

No. 2/126 BROUGHAM ST
SINGLE STOREY
BRICK DWELLING

2/126 BROUGHAM STREET
TOTAL SPDS 43 m²
EXISTING SHADOWED SPDS 34 m²
EXISTING UNSHADOWED SPDS 9 m²
ADDITIONAL SHADOWED SPDS 0 m²
POST-DEVELOPMENT UNSHADOWED SPDS 9 m²

P.O.S.

No. 63
DOUBLE STOREY
BRICK DWELLING

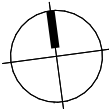
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REV No.	AMENDMENTS / ISSUE
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B	COUNCIL REF

DRAWN
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ACN 083 228 782



DRAWING
SHADOW DIAGRAM 22ND
SEPTEMBER 3:00PM

PROJECT
RESIDENTIAL DEVELOPMENT
65 WALPOLE STREET,
KEW

Ascui & Co.
Architects

SCALE
1:200 @ A3

TOWN
PLANNING

DATE
01/09/2022

JOB No.

1804

DRAWING No.

TP-37

REV No.

B



Landscape Architectural Concept
65 Walpole Street, Kew
Town Planning Submission
May 2022

NOTICE INFORMATION
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01. Site Context

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Site Context
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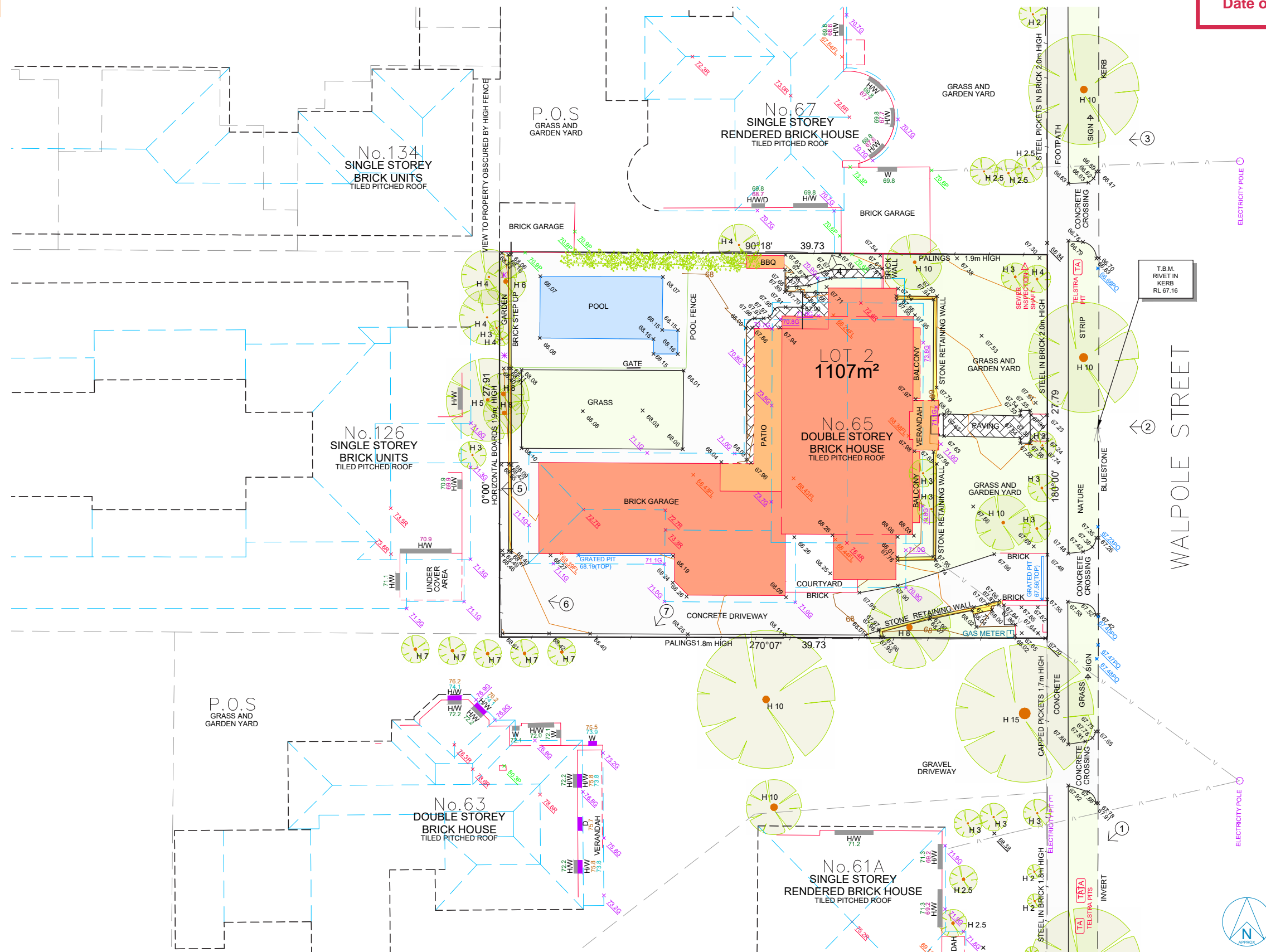
Landscape Architectural Concept
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Site Context—
Aerial photograph



Site Context
65 Walpole Street, Kew

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Site Context—
Survey (not to scale)

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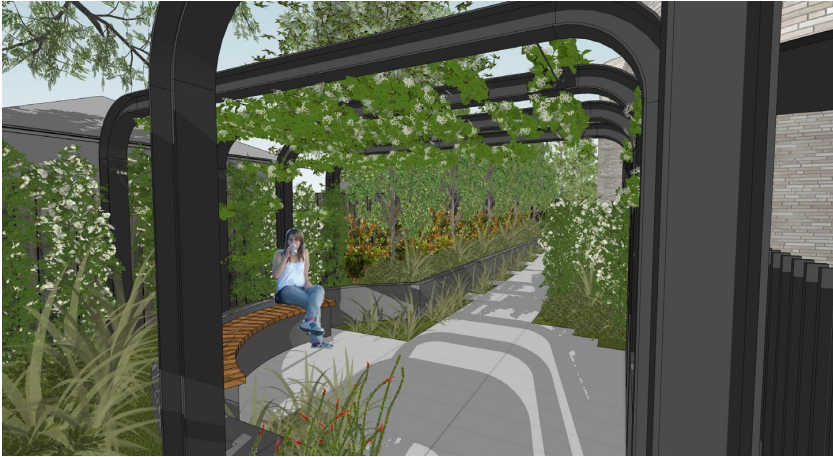
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Site Context
65 Walpole Street, Kew



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- Reference imagery—
- 01. Hero render view (architecture)
 - 02. Internal view A (architecture)
 - 03. Internal view B (architecture)

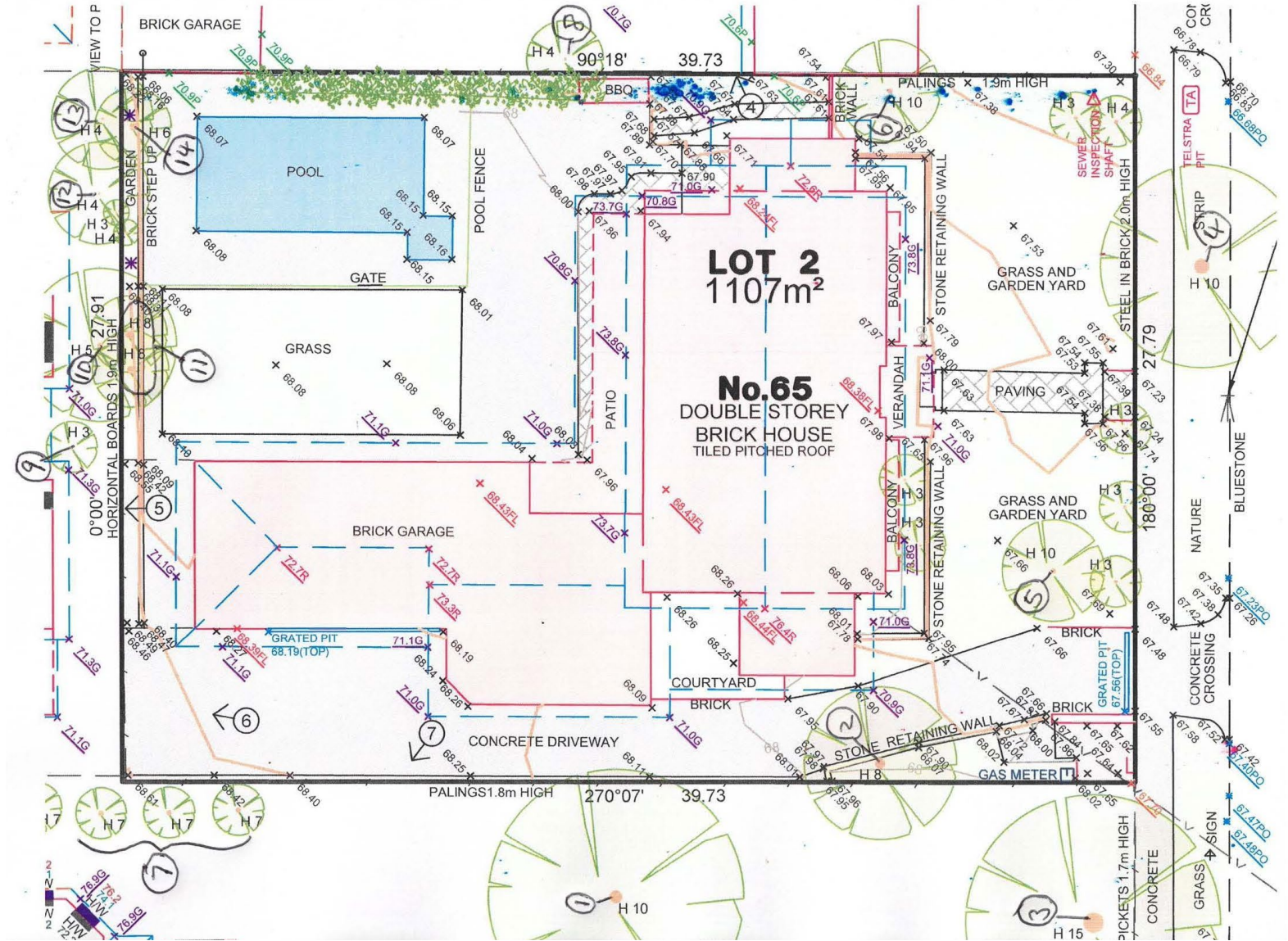
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Site Context—
Architectural reference imagery



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Site Context
65 Walpole Street, Kew



Existing vegetation list—

- | | | |
|-----|---|-------------------|
| 01. | Liquidambar styraciflua 16x16m
Liquidambar | TPZ ~ 8.8 SRZ 3.2 |
| 02. | Harpephyllum caffrum 10x9m
Kaffir Plum | TPZ 6.3 SRZ 2.7 |
| 03. | Pinus radiata 20x20m
Monterey Pine | TPZ 15 SRZ 3.9 |
| 04. | Lophostemon conferta 14x11m
Brush Box | TPZ 7.9 SRZ 3 |
| 05. | Betula alba 10x6m
Silver Birch | TPZ 3.1 SRZ 2.1 |
| 06. | Betula alba 8x6m
Silver Birch | TPZ 2.5 SRZ 1.8 |
| 07. | Betula alba 'Fastigiata' x3 7.5 x 1.5m
Silver Birch | TPZ 2 SRZ 1.5 |
| 08. | Harpephyllum caffrum 3x2m
Kaffir Plum | TPZ 2 SRZ 1.7m |
| 09. | Acer palmatum 3x2m
Japanese Maple | TPZ 2 SRZ 1.5 |
| 10. | Syzygium smithii 6x6m
Lillypilly | TPZ 3 SRZ 2 |
| 11. | Arecastrum romanzoffianum x 2 6m to bud
Cocos Palm | TPZ 4 |
| 12. | Pittosporum eugenoides 'Variegatum' 5x5m
Silver Tarata | TPZ 2 SRZ 1.5 |
| 13. | Pittosporum eugenoides 'Variegatum' 3x3m
Silver Tarata | TPZ 2 SRZ 1.5 |
| 14. | Arecastrum romanzoffianum 6m to bud
Cocos Palm | TPZ 4 |

Reference—

01. Tree location map (arborist)
02. Existing vegetation list

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Site Context—
Existing Vegetation

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02. Starting Points

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Starting Points
65 Walpole Street, Kew

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Starting Points—
Inspiration

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Starting Points—
Inspiration

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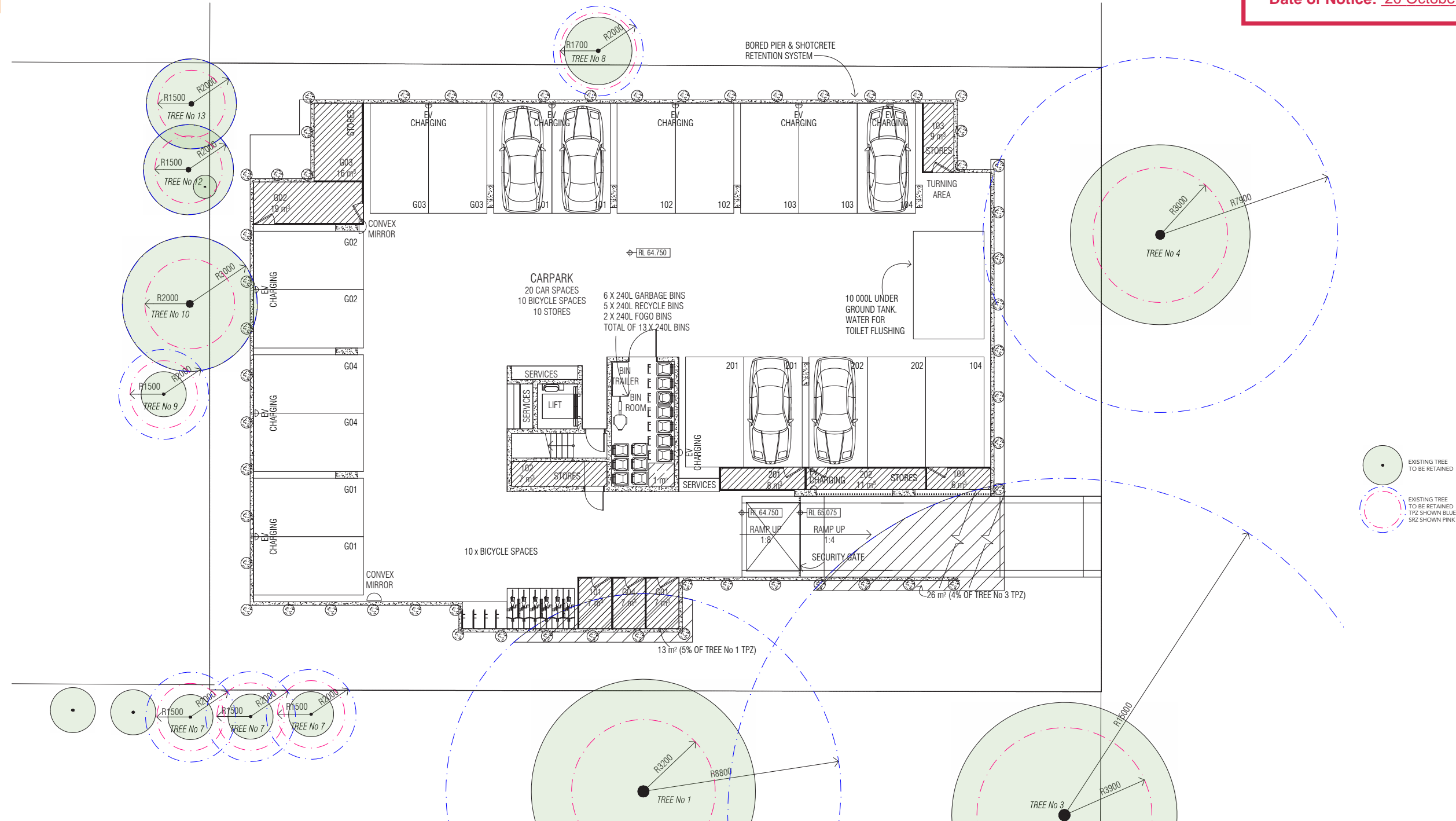
03. Design Concept

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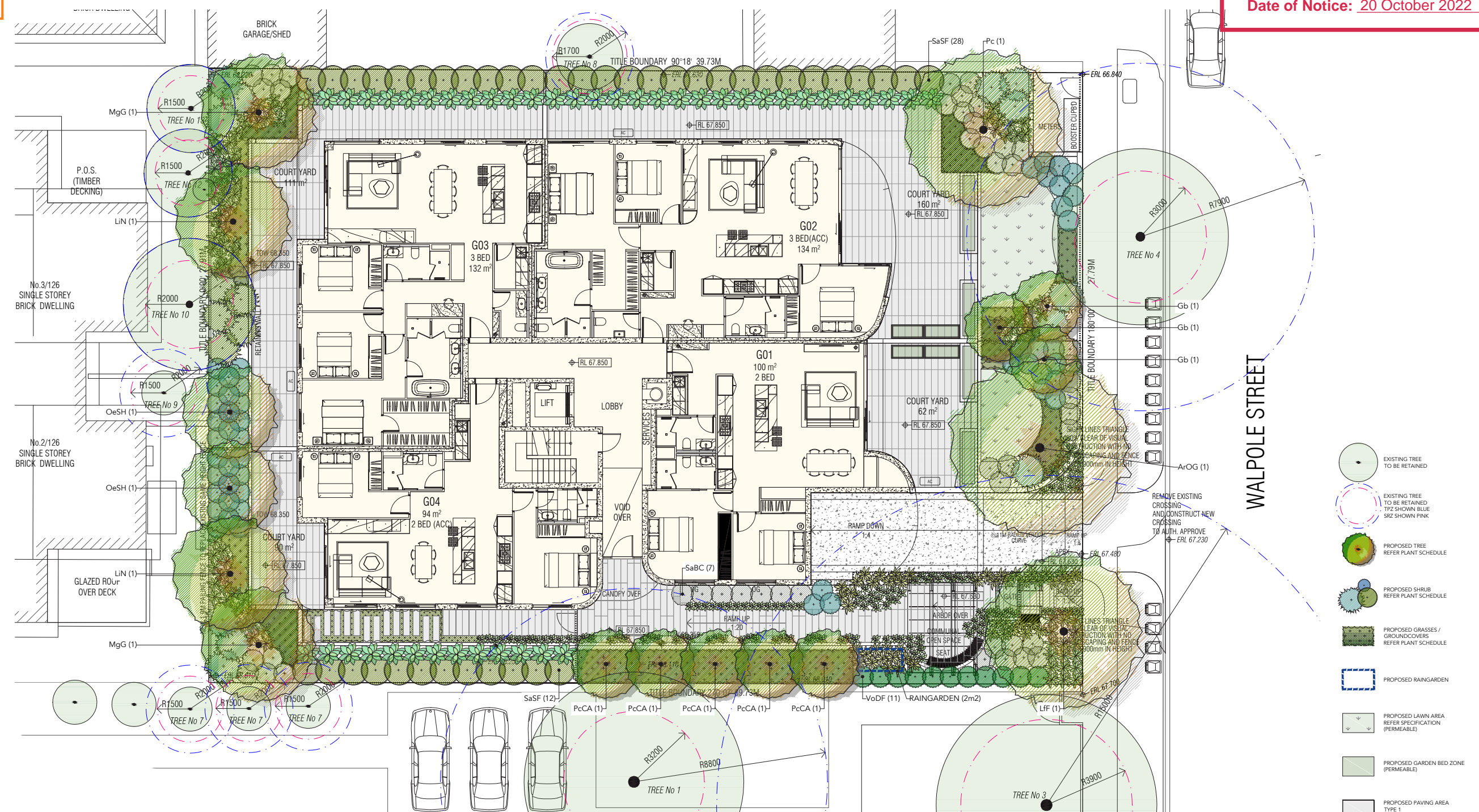
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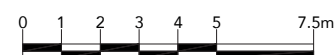
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KEY	BOTANICAL NAME	COMMON NAME	DECIDUOUS (D) EVERGREEN (E)	HEIGHT x WIDTH (@ MATURITY)	SUPPLY SIZE (MINIMUM)	DENSITY	QTY	KEY	BOTANICAL NAME	COMMON NAME	DECIDUOUS (D) EVERGREEN (E)	HEIGHT x WIDTH (@ MATURITY)	SUPPLY SIZE (MINIMUM)	DENSITY	QTY
TREES								CLIPPED HEDGES							
ArOG	<i>Acer rubrum</i> 'October Glory'	Red Maple	D	12.0 x 9.0m	2.0m Height	--	1	SaBC	<i>Syzygium australe</i> 'Bush Christmas'	Bush Christmas Lilly Pilly	E	1.8 x 1.2m	200mm Pots	--	7
Gb	<i>Ginkgo biloba</i>	Maidenhair	D	10.0 x 4.0m	2.0m Height	--	3	SaSF	<i>Syzygium australe</i> 'Select Form'	Select Form Lilly Pilly	E	3.0 x 1.2m (clipped)	200mm Pots	--	40
LfF	<i>Lagerstroemia fauriei</i> 'Fantasy'	Fantasy Crepe Myrtle	D	8.0 x 7.0m	2.0m Height	--	1	VoDF	<i>Viburnum odoratissimum</i> 'Dense Fence'	Dense Fence Sweet Viburnum	E	2.0 x 1.0m (clipped)	200mm Pots	--	11
LiN	<i>Lagerstroemia indica</i> 'Natchez'	Natchez Crepe Myrtle	D	8.0 x 6.0m	2.0m Height	--	2								
MgG	<i>Magnolia grandiflora</i> 'Greenback'	Greenback Magnolia	E	9.0 x 5.0m	2.0m Height	--	2								
OeSH	<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	E	8.0 x 5.0m	2.0m Height	--	2								
Pc	<i>Pistacia chinensis</i>	Chinese Pistache	D	8.0 x 6.0m	2.0m Height	--	1								
PcCA	<i>Pyrus calleryana</i> 'Capital'	Capital Pear	D	10.0 x 3.0m	2.0m Height	--	5								

Design Concept—
Landscape Plan: Ground Floor

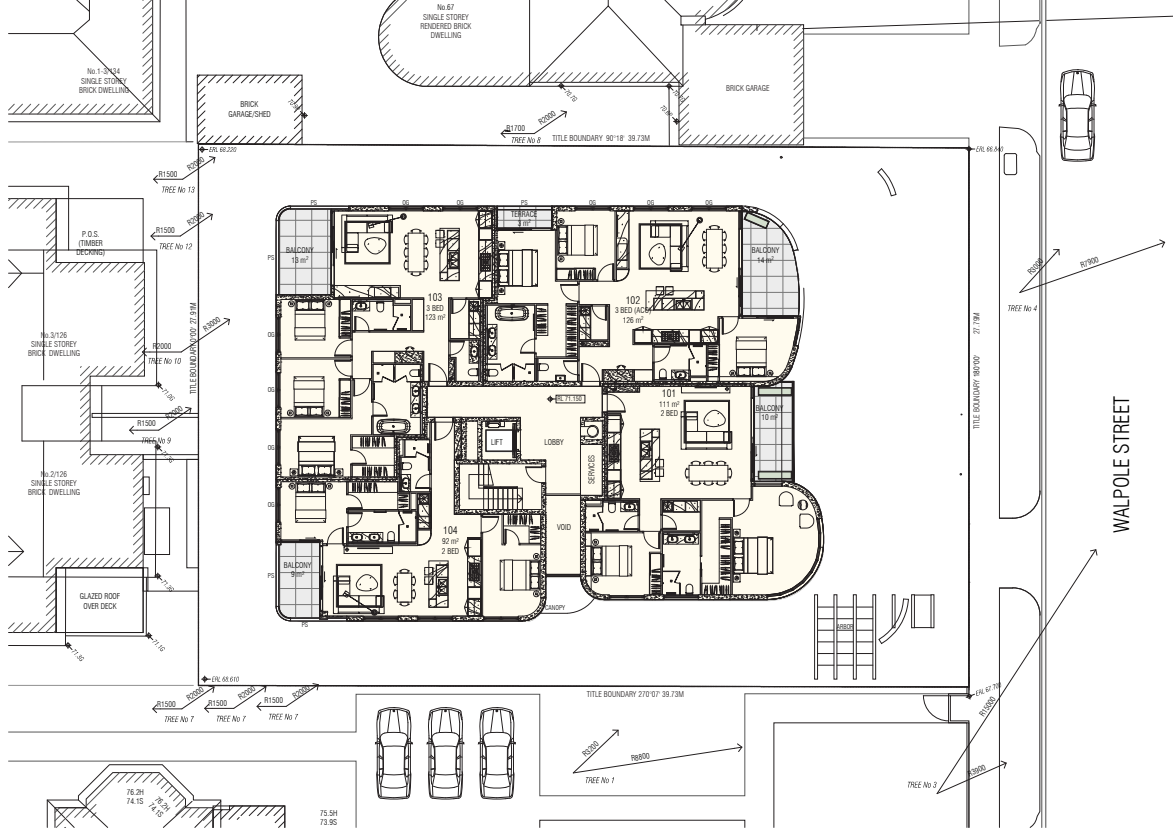


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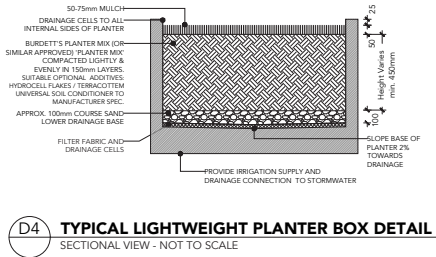
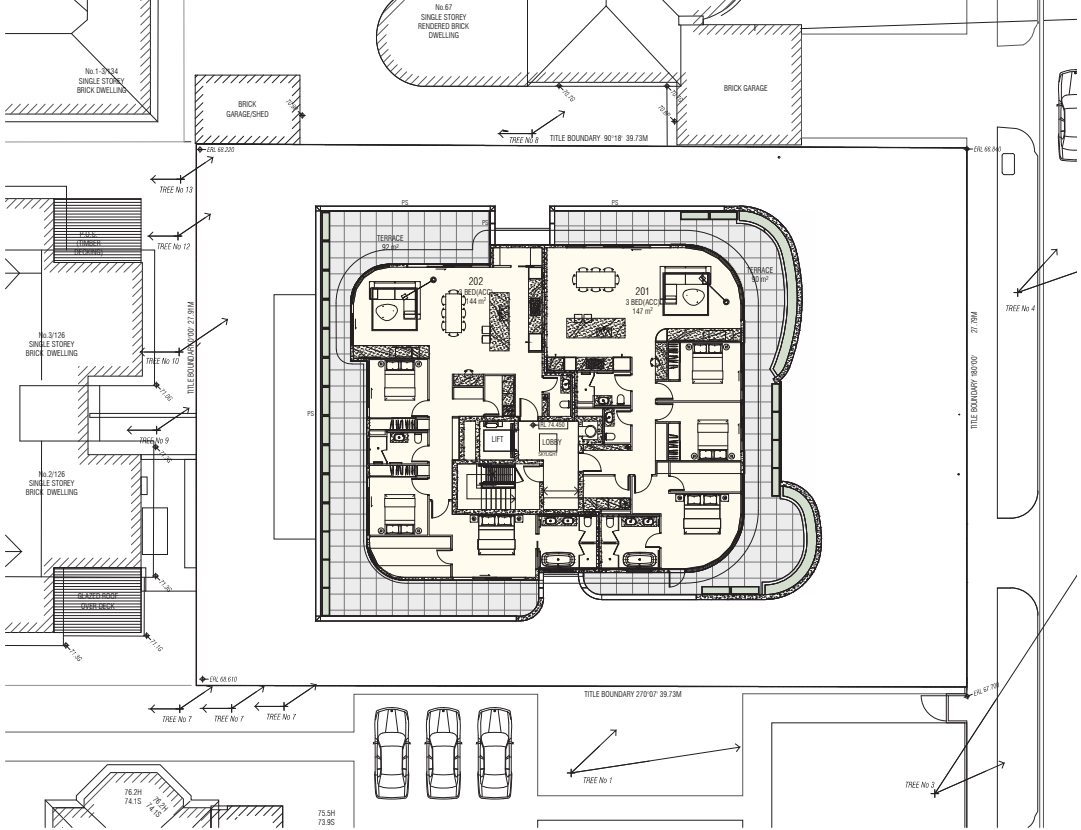
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References
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LEVEL 01 LANDSCAPE PLAN



LEVEL 02 LANDSCAPE PLAN



- PROPOSED GARDEN BED ZONE
- PROPOSED PAVING AREA TYPE 1 (HARDSTAND)
- BUILDING HATCH

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Design Concept—
Landscape Plan: Level 01, Level 02



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04. References

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References

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Acer rubrum 'October Glory'.jpg

Ginkgo biloba 1.jpg

Lagerstroemia Natchez.jpg

Lagerstroemia fauriei 'Fantasy'.jpg

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References—
Tree images

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Attachment 3.2.2

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Magnolia grandiflora 'Greenback'1.jpg



Olea europaea1.jpg



Pistacia chinensis.JPG



Pyrus calleryana 'Capital'.jpg

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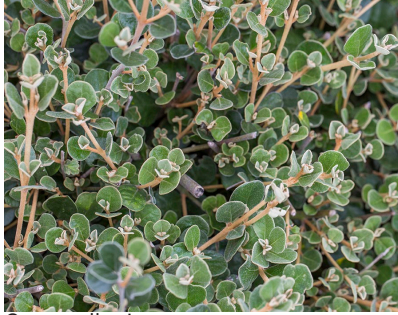
References—
Tree images



References
65 Walpole Street, Kew



Agave attenuata 1.jpg



Correa alba.jpg



Euonymus japonica Green Rocket.jpg



Euphorbia characias subsp. wulfenii.jpg



Euphorbia x martinii 'Baby Charm'.jpg



Ficus microcarpa hillii 'Flash'.jpg



Gardenia augusta Florida.jpg



Gardenia augusta 'O So Fine'.jpg



Leucadendron 'Jack Harre'.jfif



Murraya paniculata Min a Min 1.jpg



Philodendron 'Xanadu'.jpg



Pittosporum tobira Miss Muffet.jpg



Prunus lusitanica.jpg



Raphiolepis indica 'Oriental Pearl'.jpg



Raphiolepis indica 'Snow Maiden'.JPG



Syzygium australe 'Aussie Southern'.jpg



Viburnum odoratissimum2.jpg



Westringea 'Wynnable Gem'.jpg

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References—
Feature shrubs and accent plants



References
65 Walpole Street, Kew



Arthropodium cirratum 1.jpg



Casuarina glauca 'Cousin It'.png



Dianella caerulea 'Breeze'.jpg



Dichondra argentea 'Silver Falls'.jpg



Dietes bicolor.jpg



Ficus pumila.jpg



Liriope muscari 'Monroe's White'.jpg



Lomandra longifolia 'Tanika'.jpg



Myoporum parvifolium.jpg



Parthenocissus tricuspidata.jpg



Rosmarinus officinalis 'Prostratus' 3.jpg



Senecio serpens.jpg



Trachelospermum jasminoides (4).jpg



Viola hederacea 1.jpg

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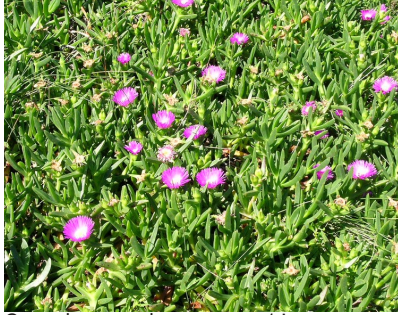
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References—
Feature groundcovers and climbers



References
65 Walpole Street, Kew



Carpobrotus glaucescens 1.jpg



Dietes grandiflora 1.jpg



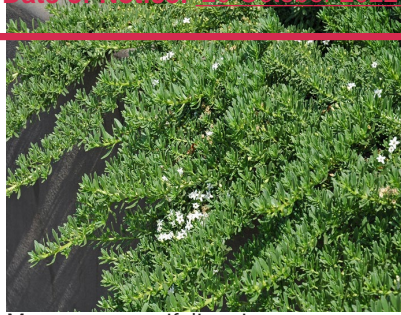
Lomandra longifolia 'Tanika'.jpg



Liriope muscari 'Just Right'.png



Liriope muscari 'Monroe's White'.jpg



Myoporum parvifolium.jpg



Poa labillardieri.jpg



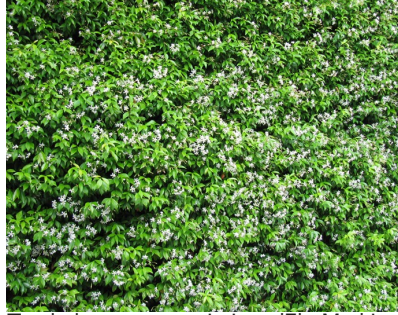
Poa labillardieri 'Eskdale'.jpg



Rosmarinus officinalis 'Prostratus'.jpg



Stachys byzantina.jpg



Trachelospermum asiaticum 'FlatMat'.jpg



Wetringia fruticosa Mundi.jpg

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References—
Upper level planting

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Site Preparation

Remove any on-site building material, rubbish and weeds from planting areas that will be restrictive to plant growth. Stump ground all trees marked as ‘to be removed.’ Imported topsoil to be a medium texture sandy loam.

Garden Beds

Existing subgrade to be dug to a depth of no less than 275mm below finished grade in garden beds to allow for 200mm topsoil and 75mm mulch. Gypsum to be spread if there is a clay sub surface. Use organic mulch on all garden bed areas.

Trees

Use three 50 x 50 x 2400 HW stakes per tree. Fasten trees to stakes with 50mm fabric tie in figure 8 loop. Existing street trees to be suitably protected. Maintain existing ground levels at the interface between the ground and the tree trunk. Area beneath the canopy should be fenced prior to the commencement of the construction activities. No excavation, filling, machinery or storage of materials shall occur within the fenced off area. Roots requiring severance beyond the tree canopy shall be clean cut with hand saw and kept moist. All roots over 40mm dia. Any roots within the fenced area should not be cut without the approval from an experienced arborist.

Planting

Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root curl or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.

Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be the same depth as the rootball and 2-3 times its diameter, with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of root-ball to hold water. All plants are to be thoroughly watered after planting and slow release fertiliser added at the quantities specified by the manufacturer.

Mulch

Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or similar with 80% of particles in the size range 10 to 20mm in plan and 5mm in thickness. No particles are to exceed 30mm in plan. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. All mulch is to be sloped towards plant stems but shall be kept back 100mm from the stems of all plants to prevent collar rot.

Raised Planter Box

Raised planter construction is to include, but not necessarily be limited to, the supply and installation of agricultural drains, drainage cells at base, filter fabric, planting medium, mulch and irrigation. Planter boxes must be effectively tanked and lined with coreflute to prevent leaking. Drainage cells are to be provided at the base of the planter and are to be covered with a layer of filter fabric and a 100mm deep layer of Hydrocell Hardfoam RG30. Provide root anchor netting over Hardfoam layer if trees are to be planted. A drainage outlet is to be installed in the base of the planter with the floor of the planter sloped towards it.

Supply and spread evenly a soil mix comprising of 50% washed sand, 40% Hydrocell flakes, and 10% composed organic matter. Compact lightly and evenly in 150mm layers.

Avoid differential subsidence and excess compaction and produce a finished surface that is graded evenly and ready for planting. Allow for 50mm layer of specified mulch to top of beds and a finished level 25-50mm below the planter rim. Drip irrigation as specified is to be installed beneath the mulch layer.

Drainage of garden beds is the responsibility of the Architect / Engineer / Builder. The Landscape Contractor is to ensure drainage connections and tapping points are included for each planter. Refer to Civil drawings for further details. All planters to have drainage and connection into Civil Drainage system.

Lawn

Lawn to be laid on 100mm of Sandy Loam or similar mix. Recommended grass to be ‘Sir Walter Buffalo’. Water storing granules to be spread at a rate of 10 - 20 grams prior to instant turf being laid.

Fertilizer

Use 6-9 month osmocote suitable for Australian plants and applied at following rates:
Advanced trees: 200g per tree. 200 dia pots: 20g per pot. 150 dia pots: 15g per pot.

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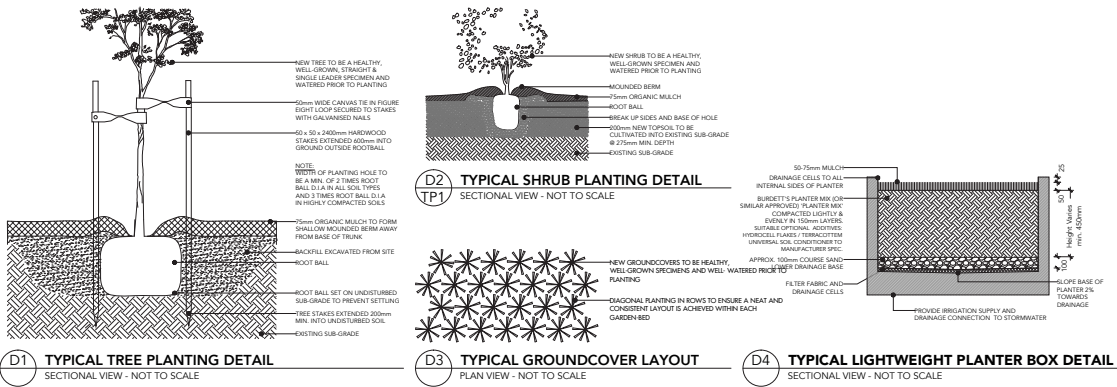
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Drip irrigation to be supplied. For all shrub/ tree areas include a battery operated timer, water filter, pressure regulator backflow preventer, vacuum breakers and master valve.

Maintenance Schedule

To follow for a two year period after final completion. Work to be carried out by the owner or body corporate. Plants to be regularly checked for pests and diseases and appropriate treatments applied. Where necessary:

- i. prune every 3 months to ensure good shape and remove dead limbs
- ii. additional applications of osmocote as per manufacturers recommendations
- iii. regular watering during summer months and dry periods
- iv. replace dead plants with equally sized plants within maintenance period
- v. control weeds throughout maintenance via hand and chemical means
- vi. replenish mulch
- vii. remove tree stakes after establishment to ensure successful ongoing health & shape of trees



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References—
Landscape specification



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