

18 Wattle Road

Prepared by: GML Heritage

Address: 18 Wattle Road, Hawthorn 3122

Name: 'Maryville'	Survey Date: April 2022
Place Type: Residential	Architect: George R Johnson
Grading: Significant	Builder: unknown
Extent of Overlay: To title boundaries	Construction Date: 1871



Figure 1 18 Wattle Road, Hawthorn (Source: GML 2021)

Historical Context

The area of Wattle Road, Hawthorn, is on the traditional Country of the Wurundjeri Woi-wurrung.

Pastoralists moved into the Boroondara district in the 1830s. In 1837 John Gardiner took up a pastoral licence over an extensive area that encompassed much of Hawthorn, including present-day Wattle Road. The land occupied by Wattle Road and adjacent streets was surveyed as Crown allotments 45 and 46 in the Parish of Boroondara and was offered for sale in 1843; these allotments were first acquired by Matthew Hughes (McWilliam 1997:20).

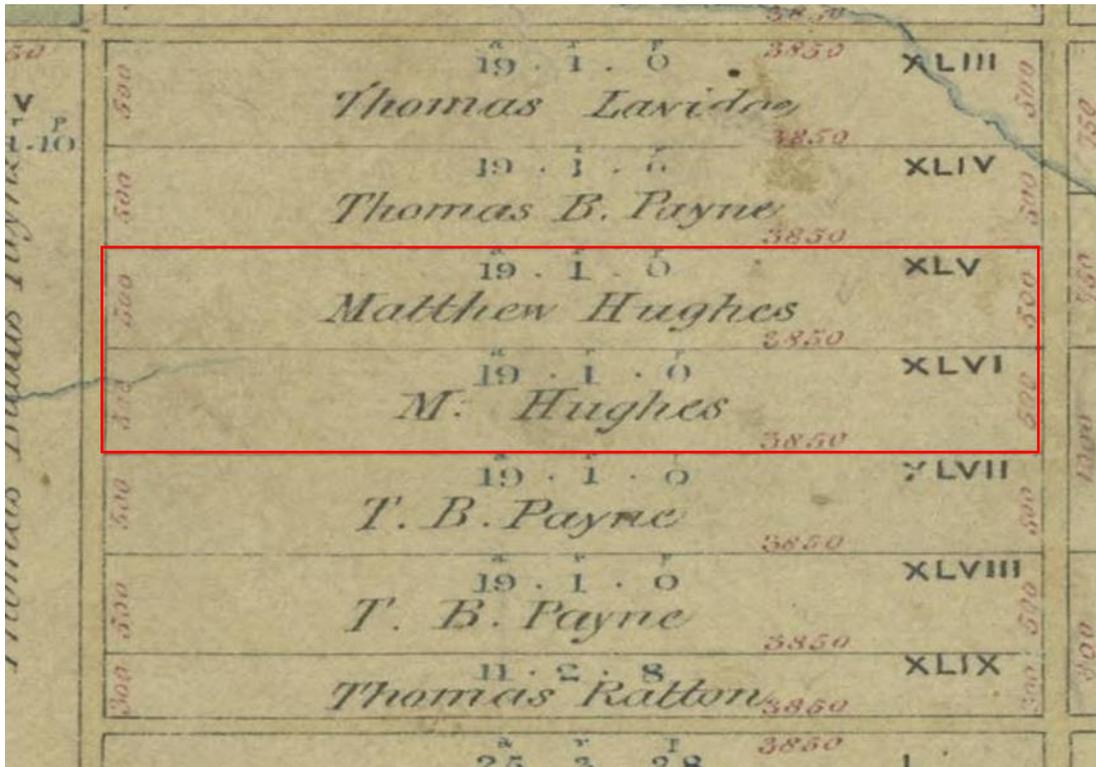


Figure 2 1855 cadastral plan showing Crown allotments 45 and 46, Parish of Boroondara. The extent of land fronting Wattle Road is outlined in red. (Source: PROV, VPRS 8168/P0002 339 with GML overlay)

The first residents in Hawthorn were an eclectic mix that included farmers, as well as those in trades, business, politics, and the military (Context 2012:4). While Hawthorn was developed primarily as a residential area, by the early 1850s agriculturalists constituted a quarter of its population. Viticulture proved a successful early enterprise, with Boroondara being the third-richest grape growing region in Melbourne (after Coburg and Bundoora) led by French, English and German communities that cultivated small plots with grape vines (Context 2012:5, Peel et al 1993:20).

The colonial politician and historian William Westgarth noted that the German community's 'industry, frugality, sobriety and general good conduct had made them excellent colonists' in South Australia. With support from the Commissioners of Emigration, Westgarth began a campaign to encourage German people who were experienced vinedressers and gardeners to emigrate to Victoria (Royal Historical Society of Victoria). The Hamburg firm of J Godfrey & Son made an appealing offer to help encourage German immigration (Meyer 1990:23). The company brought out a number of families from Silesia in Prussia from 1850. J Godfrey & Son coordinated their travel arrangements, with shipping costs covered by the Colonial Land Fund (a body in England that oversaw immigration to Australia before the colonies became self-governed) (NAA). As a result, a German community of vinedressers and gardeners was established in Hawthorn in 1850 (Meyer 1990:23). During the 1850s approximately 10,000 German immigrants arrived in Melbourne, and by the early 1860s they had settled mainly in Boroondara, Heidelberg and Malvern (Peel et al 1993:20).

Five German families (headed by Christian Finger, Gustave Kobelke, Gottlieb Aurisch, Johann Fankhauser and Karl Roemer) arrived in the Hawthorn area in 1850 (McWilliam 1978:7). A contemporary account claims that the German immigrants purchased 40 acres of land at £10 per acre

(*Argus*, 29 November 1884:4). In 1851 Hughes sold allotments 45 and 46 to Edward Kobelke, who then sold one-third of the land to Christian Finger and one-third to Johann Fankhauser (McWilliam 1997:30). The German settlers also purchased land in areas surrounding Wattle Road. Christian Finger purchased part of Crown allotment 64 at the corner of Glenferrie Road and Oxley Road in 1852. The same year, his son Henry Finger purchased part of Crown allotment 67, situated south of Liddiard Street (McWilliam 1997:21). Finger's property was divided by a lane (today's Wattle Road). He planted a vineyard on the site of present-day 41 Wattle Road. The natural attributes of the location made it amenable for vineyards. The land was on a gentle slope, and it was close to the Yarra River, which provided a ready water supply.

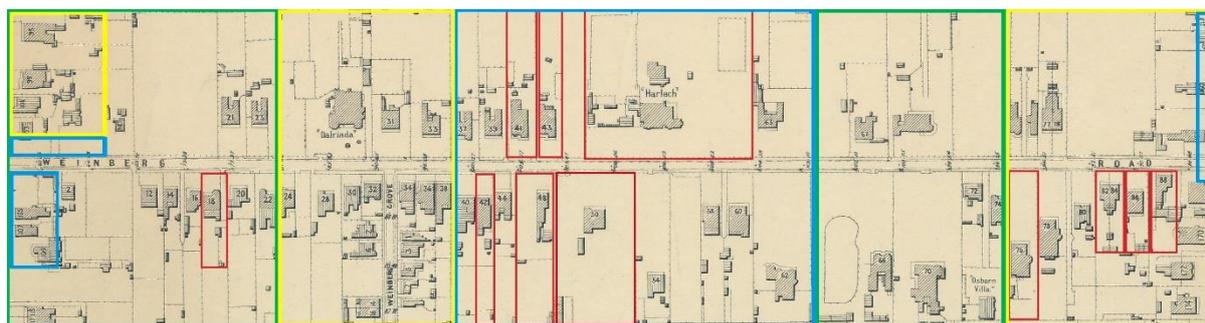


Figure 3 Extract from Melbourne & Metropolitan Board of Works Detail Plans Nos 55 and 56 (combined), dated 1901, showing the areas of land owned by German immigrants from the early 1850s: Edward Kobelke (green), Christian Finger (blue) and Johann Fankhauser (yellow). Individual houses in this study are marked in red. (Source: State Library Victoria; McWilliam 1997 with GML overlay)

In an early history of Hawthorn, published in 1910, CGA Colles and M Dew recounted the early German beginnings of Weinberg Road:

In the year 1850, five German families arrived in Hawthorn, and took up land in continuous blocks... which for some years they sedulously cultivated... These were men who changed the unfruitful earth into beautiful gardens. Weinberg-road [now Wattle Road] ... originally a lane for their carts... called by the earlier residents German Lane, was so named by them on account of the vineyards through which it passed; for one-time Hawthorn was largely a grape-growing district. (Colles and Dew 1910, quoted in McWilliam 1997:7)

By the end of the 1850s Weinberg Road was referred to locally as 'German Lane' and 'German Paddock' due to the number of German migrants who had settled there. In 1860 a group of residents, including Finger, Kobelke, Fankhauser, Schober, Aurisch, Gottke, Bruse and Bonwick appealed to the Hawthorn Borough Council to have the road developed and named. The residents asked that the road be formally named Weinberg Road, *weinberg* being the German word for vineyard (McWilliam 1997:21). This is believed to be the first officially named road in Hawthorn (McWilliam 1997:1). The narrow width of the road today is suggestive of early references to the road as a lane. Water from Yan Yean was laid on in 1868 (*Argus*, 1868).

The 1860s was a decade of transformation and prosperity for Hawthorn. Suburban development was spurred by the election of Hawthorn's first municipal council in 1860, making it the geographic centre of the city, alongside the opening of the railway to Hawthorn in 1861 (Context 2012:10). The coming of the railway led to an influx of middle-class residents who were able to commute between



Melbourne and the suburbs. A surge of development of public and private buildings followed, including various churches and schools, to cater to the growing population (Context 2012:10).

Demand for suburban blocks is reflected in the subdivision and building of residences in the 1860s on Weinberg Road (now Wattle Road). In this decade, more than 25 properties were built on Weinberg Road, owned by 20 different families (Context 2012:10). Of these properties, Walter Bonwick, occupying what is now 28–44 Wattle Road (on the southern side), had built three houses (Gould 1992). Wilhelm Finger (son of Christian Finger) had also built three houses, having subdivided the vineyard on the northern side of Wattle Road. Of these three houses, only two houses built by the Finger family remain today, and these were rebuilt in 1883 by the Fingers (Gould 1992).

The residential composition of Hawthorn shifted again in the 1870s as the subdivision of larger estates gathered momentum when, following the death of some leading district pioneers, large properties were sold to developers, who divided them into residential lots (Context 2012:10). While a pattern of selling off portions of larger properties was true of Weinberg Road in the 1870s, no evidence has been found (such as estate subdivision plans) that indicates the land was sold to developers to be subdivided. Nevertheless by 1875 over 40 homes had been constructed on Weinberg Road, which was nearly double the number built in the 1860s.

The Melbourne land boom of the 1880s greatly stimulated speculative subdivision and residential development in Hawthorn. This period of economic buoyancy in Hawthorn was further stimulated by the extension of the railway from Hawthorn to Lilydale in 1882 and the spur railway from Hawthorn to Kew in 1887. The pattern of speculative subdivision continued in many parts of Hawthorn as the number of large private estates declined to accommodate the growing professional middle class who were settling in Hawthorn at this time (Context 2012:5). The German families sold off portions of their land through the 1880s in a more ad hoc way and, by 1890, 50 houses had been built on Weinberg Road (Poole 2018). During the 1880s the German presence in Hawthorn began to dissipate, and many of the original farming families relocated their vineyards and orchards elsewhere. The Fankhausers, for example, moved to Balwyn, where they lived south of Belmore Road.

An exception to this pattern of ad hoc land sales along Weinberg Road was Weinberg Grove (now Wattle Grove) which was subdivided and developed from the 1880s (Weinberg Grove 1886 subdivision plan, SLV).

The early 1900s brought new prosperity and the return of suburban and commercial development after the economic depression of the 1890s. The electric tramlines built between 1913 and 1918 in Burke Road, Camberwell Road and Riversdale Road provided improved public transport, connecting local residents with Hawthorn's commercial centres and providing ready access to the city (Context 2019:1). The City of Hawthorn changed the name of Weinberg Road to Wattle Road during World War I due to growing anti-German sentiment (Built Heritage 2012:37).

The first half of the twentieth century saw a number of Wattle Road's large land holdings subdivided, creating new streets and courts. These included Vivian Grove (1911), Burton Avenue (1912), New Street (1923), Carson Crescent (1924), Finchley Court (1940) and Ardene Court (1957).

The early postwar period saw significant change in Wattle Road with the demolition of a number of its early houses and the construction of large unit developments. Up until this time, many early houses had retained their substantial allotments. Similar development has continued throughout the late twentieth century and into the twenty-first. In recent years there has been further demolition of early

Victorian houses and the construction of multi-unit developments and, more recently, substantial blocks of apartments.

Place History

The property at 18 Wattle Road, Hawthorn, comprising a single storey dwelling built in 1871 to a design by architect George Johnson. It is situated on the south side of Wattle Road between Power Street and Wattle Grove.

Crown allotments 45 and 46 were sold to German immigrant Edward Kobelke, who then sold a third of the land to Christian Finger and a third to Johann Fankhauser (McWilliam 1997:30).

In 1867 Kobelke sold the subject land to Jabez Green, and by 1871 the land had been sold to Alfred William Harston, law stationer who built a house on the land in the same year (McWilliam 1997: 129-131; CT V433 F481, RB 1871). Harston was a councilor in the City of Hawthorn from 1869 to 1874 and Mayor of Camberwell from 1871 to 1872 (McWilliam 1997:131).

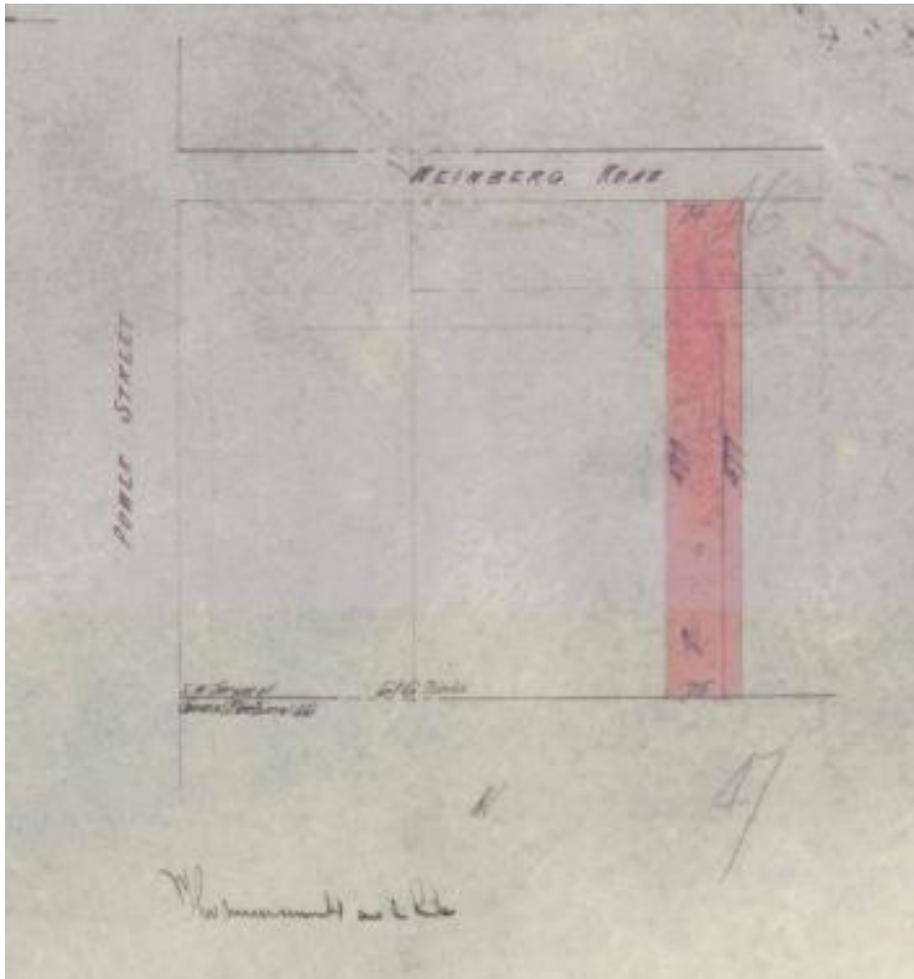


Figure 4 Detail from Certificate of Title 433/481 showing the parcels of land (coloured pink) that were transferred to Alfred William Harston in 1871. (Source: LANDATA)

According to historian Gwen McWilliam, the original houses at 18 and 22 (now demolished) were almost identical dwellings with matching bay windows, bluestone foundations, chimneys and architectural style (McWilliam 1997: 129). It is thought that George Johnson was the architect of both

18 and 22, having called for tenders for 'two brick villas in Weinberg Road' in October 1871 (McWilliam 1997: 129; *Argus* October 1871:3).

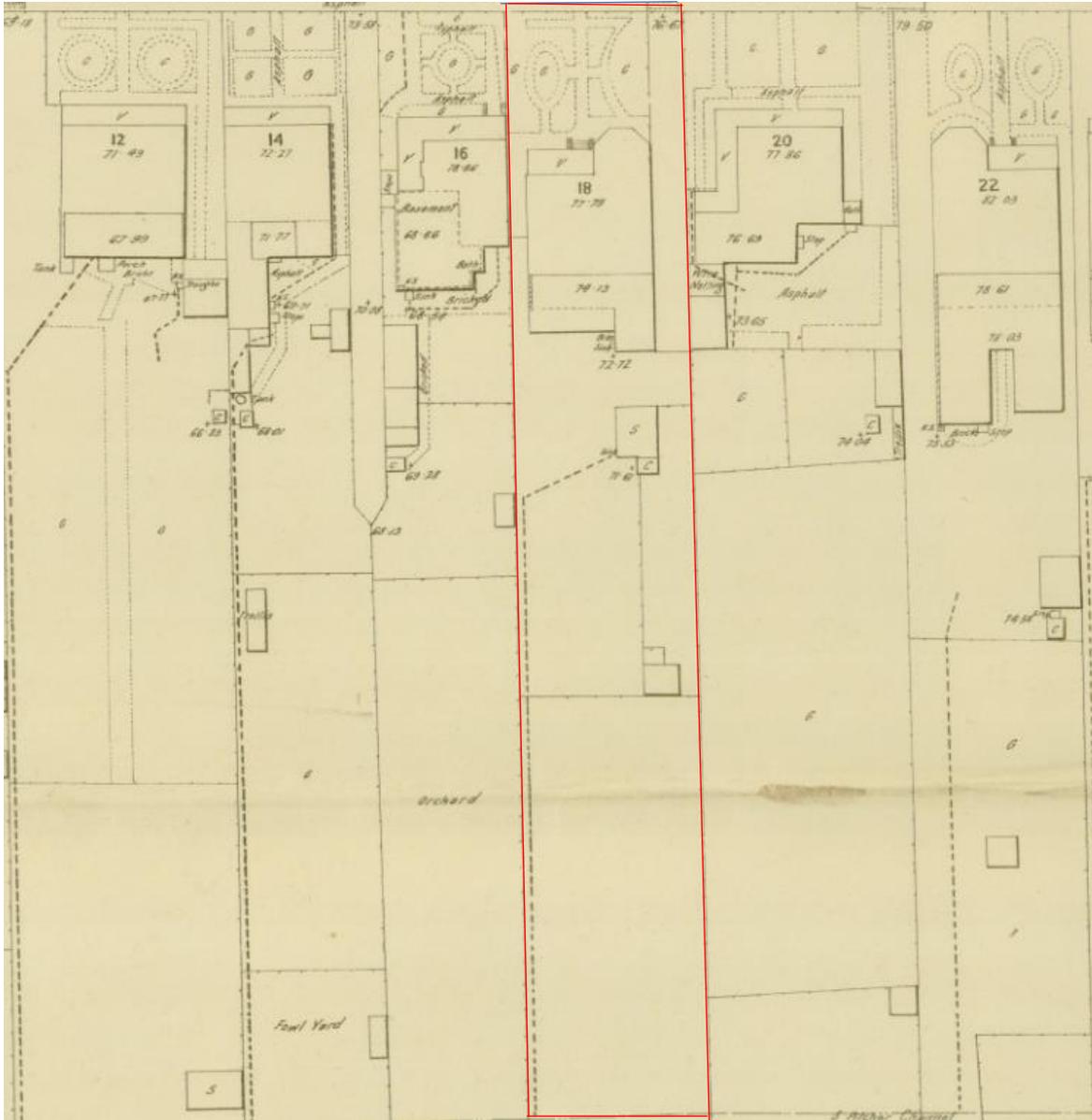


Figure 5 Detail from Melbourne and Metropolitan Board of Works detail plan No. 1483, Municipality of Hawthorn, 1902. 18 Wattle Road is outlined in red. (Source: State Library Victoria with GML overlay)

Harston did not live at 18 Wattle Road: the rate books show that he rented out the property during the early 1870s (RB 1871–75). The property was sold to William Davidson, law clerk, in October 1876. (CT V433 F481). The house was referred to as 'Maryville' during Davidson's occupancy (*Argus*, September 1880: 1), which ended with his death in 1931 (*Sunraysia Daily*, June 1931:12).

Over the proceeding decades the property changed hands numerous times (CT V1920 F933, CT V8335 F251, CT V9.17 F446). Over those years numerous alterations and additions were made to the rear of the house, the most recent bring a two-storey addition in 2002 to a design by architect Nicholas Giola (Lovell Chen 2012).

Description

18 Wattle Road, Hawthorn is a single-storey, double-fronted rendered brick villa built in 1871 for law stationer Alfred William Harston. Located on the south side of Wattle Road between Wattle Grove and Power Street, the house is set back from the street on a deep allotment which includes the dwelling, pool and tennis court.

Asymmetrical in form with a projecting canted bay window, the house has bluestone foundations and sits beneath a hipped slate roof with shallow boxed eaves and moulded cement eaves brackets which sit above a moulded string course. Across the bay window, two eaves brackets are missing.

The house is simply detailed, as is typical of pre-Boom Italianate villas, with tall, round arched, double-hung sash windows to a canted bay and standard double-hung sash windows elsewhere. The window heads to the bay window are framed by simple curved mouldings which stop at a plain capital, or springing block. A glazed four-panelled front door with glazed decorative surround sits under a verandah with timber floor and posts and a cast iron frieze with separate corner brackets.

Three prominent rendered brick chimneys with substantial caps and cement brackets penetrate the roof line.

The two-storey addition to the rear of the property in 2002 is not visible from the public domain. The front garden has been landscaped recently and a concrete parking apron has been constructed in front of the bay window. The central path from the street to the front verandah is consistent with the pathway alignment of the garden in 1902. Other aspects of the early garden layout by 1902 have been replaced. There is no front fence.

Key features of the house and landscape include:

- Retention of its front garden setting and part of the early pathway layout;
- asymmetric built form with canted bay window;
- rendered brick walls with bluestone foundations;
- hipped slate roof;
- substantial rendered brick chimneys with decorative Italianate caps and brackets;
- shallow boxed eaves with moulded cement eaves brackets;
- verandah with timber floor and posts and cast iron frieze with separate corner brackets.
- original pattern of fenestrations, including round arched and standard double-hung sash windows;
- cement moulds to the windows of the canted bay, terminating in a plain capital or springer block.

Alterations and additions include:

- loss of two brackets to the canted bay;
- two-storey addition to the rear (not visible from the public domain)
- recent landscaping to the front garden, including a concrete parking apron.

Integrity

18 Wattle Road is highly intact with very few changes visible to the original or early fabric of the dwelling. The building retains its original built form, roof form, rendered brick walls and window and door openings and joinery. Original details include its bluestone foundations, slate hipped roofs, timber verandah with cast iron frieze and brackets, eaves brackets, round arched sash windows with cement moulds to the canted bay and three extant chimneys with substantial Italianate caps and brackets. The loss of two eaves brackets to the canted brackets could be easily replaced.

Overall, the place has high integrity.

Comparative Analysis

The emerging prosperity of Hawthorn during the 1860s and 1870s resulted in a substantial population boom. Consequently, numerous large private landholdings and estates were subdivided to capitalise on the growing demand for residential allotments. Most of this speculative subdivision saw the breaking up of large estates into residential streets and allotments.

In contrast, having first been subdivided among the early German families in the 1850s, the land along Wattle Road underwent more ad hoc subdivisions during the 1870s and 1880s. New streets off Wattle Road, except Wattle Grove, were not created until the first half of the twentieth century. Unlike elsewhere in Hawthorn where the early subdivisions resulted in streetscapes of houses built over relatively short periods with largely consistent built forms and setbacks, Wattle Road maintained its lane-like character and developed a distinctive character from more ad hoc subdivision and development patterns, becoming built out with houses of varying scale, elaboration and allotment sizes.

More recently, as the result of further subdivision and development, the distinctive character of Wattle Road has changed, and many of its early houses and their gardens have been demolished. The early allotments and houses that remain provide evidence of the street's origins and early suburban development that distinguishes this part of Hawthorn from elsewhere in the locality and in Boroondara.

Although the remaining early houses of the street vary in scale, setback and elaboration of detail, they all exhibit characteristics of the Italianate style.

The Italianate style is a mid-nineteenth century revival of earlier Italian architectural forms and details, especially those from the time of the Renaissance, which were in themselves a revival and reappraisal of Greek and most importantly Roman architecture.

The Italianate style was also associated (although less commonly in Victoria and chiefly in the 1840s to 1860s, but with lingering influence) with a revival of building forms of vernacular Italian rural buildings, particularly in their use of asymmetrical massing and towers, which produced a picturesque effect.

The Italianate style as applied to domestic architecture in Victoria favoured simple building forms, sometimes enlivened by bays and towers, with sheer wall surfaces in face brick (often bichrome or polychrome) or cement render, generally incorporating quoining (often as surface decoration if not necessarily a structural need).

Decoration in the Italianate style derived from Roman precedents and included elements from Classical entablatures and architectural orders, including a hierarchy of architraves, friezes and cornices with associated moulding, panels and brackets, applied to eaves, parapets and chimneys.

Eclectic touches were often married to the Italianate style, including Romanesque, Gothic, or stilted segmental arch-headed fenestration, incongruous replication of masonry features in timber, and excessive ornament that characterised the Boom style of the late nineteenth century.

The Italianate style is well represented in the Heritage Overlay in Boroondara. Individually significant examples included detached villas (both symmetrical and asymmetrical in plan), terrace houses and mansions. They are typically set within a garden with a low front fence at the street frontage. Detailing ranges from modest to elaborate, typically including features from the era such as cast iron verandah friezes and posts and polychrome masonry to the front façade. The level of intactness of the Victorian-era Italianate villas in the City of Boroondara is moderate to very high.

Comparable examples to 18 Wattle Road, Hawthorn which have been identified as being Individually Significant within the City of Boroondara, include:



Figure 11 65 Lisson Grove, Hawthorn (HO90) built in 1884-1886. (Source: VHD/Meredith Gould 1992)

One of four single-storey houses built in Lisson Grove between 1884 and 1886 for John Trood, gentleman, as investments. The house is architecturally significant for the unusually intact condition of a standard villa form and historically significant for the illustration of boom period speculative housing in the Lisson Grove area.



Figure 6 7 Elphin Grove, Hawthorn (HO425) built in 1888. (Source: GML Heritage 2022)

7 Elphin Grove, Hawthorn, is of local historical and architectural significance as a fine, representative and relatively externally intact example of a single-storey, double-fronted Victorian Italianate villa set on a substantial suburban allotment. Although a series of substantial rear additions have been made, they do not detract from the presentation of the house.



Figure 7 'Ennis Mount', 5 Rosslyn Street, Hawthorn (HO118) built in 1885-86 (Source: VHD/ Meredith Gould 1992)

'Ennis Mount', 5 Rosslyn Street, Hawthorn, is architecturally significant for its substantially intact single storey villa house form from the 1880s. Originally facing Auburn Road, the building's principal elevation cannot be seen with the side elevation presenting as a standard villa form with canted bay and hipped slate roof.



Figure 5 'Kinvonvie', 42 Lisson Grove, Hawthorn (HO87) built in 1879-80. (Source: VHD/Meredith Gould 1992)

'Kinvonvie', 42 Lisson Grove, Hawthorn, is historically significant for its associations with Donald Munro, auctioneer of the successful (then bankrupt) firm of Munro & Baillieu and son of James Munro, Premier of Victoria, founder of the Federal Bank and the New Estate Bank. Both father and son became prominent in the Victorian land boom.

'Kinvonvie' is architecturally significant as an example of the simpler garden villa designs from the 1870s. It is also significant for its contribution to the Victorian Garden Suburb precinct at Lisson Grove.



Figure 4 'Noorac', 23 View Street Hawthorn (HO478), built in 1881-82. (Source:VHD/Lovell Chen 2006)

'Noorac', 23 View Street, Hawthorn, is of architectural and historical significance at a local level. Prior to the break-up and subdivision of its landholding in the 1920s, the house was prominently located in the Auburn Road/Barkers Road area of Hawthorn. The single-storey, canted-bay Italianate form was a popular option for affluent residents of the area in the latter decades of the nineteenth century. Although altered, through the loss of the return verandah and the comparatively early addition of the tower portico, the house is nevertheless significant as an example of a 'layered' Victorian dwelling, which retains several

key elements typical of the 1880s
Italianate mode in Boroondara.

18 Wattle Road compares well with the examples above as a highly intact representative example of an Italianate villa built in the 1870s. As with the other examples, the single-storey, double-fronted, asymmetrical house exhibits key features associated with that building form, including the slate hipped roof, moulded eaves brackets, timber and cast iron verandah, timber double hung sash windows and brick chimneys with cement caps.

What sets 18 Wattle Road apart is its early build date. Few houses survive in Hawthorn from the early 1870s that evidence the beginnings of suburban development in the suburb. It was not until the 1880s with the advent of the Melbourne land boom, and locally the extension of the railway from Hawthorn to Lilydale in 1882, that suburban development in Hawthorn took off. 18 Wattle Road, with its restrained use of classical motifs is a fine example of a pre-boom Italianate villa built at the beginning of the suburbanisation of Hawthorn. In this way it is most comparable to 'Kinvonvie', 42 Lisson Grove, Hawthorn (HO87) although this house was built nine years later in 1879-80.

Overall, 18 Wattle Road, Hawthorn is a fine early pre-Boom example of a Victorian-era, double-fronted house expressed in the Italianate architectural style in its original garden setting. The asymmetrical arrangement of the façade and canted bay window, hipped roof, eaves brackets, rendered brick walls, timber and cast iron verandah, timber sash windows, mouldings and rendered brick chimneys with cement caps, are characteristic of this type and style. Built in 1871, it is one of few houses in Hawthorn that evidence the beginnings of residential development in the suburb.

Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Environment, Land, Water and Planning, August 2018, modified for the local context.

CRITERION A: Importance to the course or pattern of the City of Boroondara's cultural or natural history (historical significance).

18 Wattle Road, Hawthorn is of historical significance for the evidence it provides of an early and distinctive phase in the history of suburban development in Hawthorn. Early settlement in this part of Hawthorn along Wattle Road (established in the 1850s and then known as Weinberg Road), was associated with German immigrants who settled and farmed the land there between the 1850s and the early 1880s, establishing small vineyards and market gardens. In 1867 Edward Kobelke sold the subject land to Jabez Green. Green subsequently sold it to Alfred William Harston, law stationer, who commissioned the building of 18 Wattle Road. The 1871 Victorian-era house illustrates the early subdivision and transfer of land from the initial German landowners and the beginnings of suburban development in this part of Hawthorn.

CRITERION B: Possession of uncommon, rare or endangered aspects of the City of Boroondara's cultural or natural history (rarity).

N/A

CRITERION C: Potential to yield information that will contribute understanding the City of Boroondara's cultural or natural history (research potential).



N/A

CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

18 Wattle Road, Hawthorn, is of representative significance as an intact pre-Boom Italianate villa built in 1871 which retains its original garden setting. Overall the house demonstrates key characteristics associated with the Italianate style, including an asymmetrical built form with canted bay, hipped slate roof, moulded eaves brackets, rendered brick walls, timber and cast iron verandah, timber sash windows (some with round arched tops), mouldings and rendered brick chimneys with cement caps and brackets. (Criterion D)

CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

N/A

CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).

N/A

CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

N/A

CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the City of Boroondara's history (associative significance).

N/A

Statement of Significance

What is significant?

18 Wattle Road, Hawthorn built 1871 is significant.

Elements that contribute to the significance of the place include:

- front garden setting;
- asymmetric built form with canted bay window;
- rendered brick walls with bluestone foundations;
- hipped slate roof;
- substantial rendered brick chimneys with decorative Italianate caps and brackets;
- shallow boxed eaves with moulded cement eaves brackets;
- verandah with timber floor and posts and cast iron frieze with separate corner brackets;
- original pattern of fenestrations, including round arched and standard double-hung sash windows; and
- cement moulds to the windows of the canted bay, terminating in a plain capital or springer block.

How is it significant?

18 Wattle Road, Hawthorn, is of local historical and representative (architectural) significance to the City of Boroondara.

Why is it significant?

18 Wattle Road, Hawthorn, is of historical significance for the evidence it provides of an early and distinctive phase in the history of suburban development in Hawthorn. Early settlement in this part of Hawthorn along Wattle Road (established in the 1850s and then known as Weinberg Road), was associated with German immigrants who settled and farmed the land there between the 1850s and the early 1880s, establishing small vineyards and market gardens. In 1867, Edward Kobelke sold the subject land to Jabez Green. Green subsequently sold the land to Alfred William Harston, law stationer, who commissioned the building of 18 Wattle Road. The 1871 Victorian-era house illustrates the early subdivision and transfer of land from the initial German landowners and the beginnings of suburban development in this part of Hawthorn. (Criterion A)

18 Wattle Road, Hawthorn, is of representative significance as an intact pre-Boom Italianate villa built in 1871 which retains its original garden setting. Overall the house demonstrates key characteristics associated with the Italianate style, including an asymmetrical built form with canted bay, hipped slate roof, moulded eaves brackets, rendered brick walls, timber and cast iron verandah, timber sash windows (some with round arched tops), mouldings and rendered brick chimneys with cement caps and brackets. (Criterion D)

Grading and Recommendations

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Boroondara Planning Scheme:

External paint controls	
<i>Is a permit required to paint an already painted surface?</i>	No
Internal alteration controls	
<i>Is a permit required for internal alterations?</i>	No
Tree controls	
<i>Is a permit required to remove a tree?</i>	No
Solar energy system controls	
<i>Is a permit required to install a solar energy system?</i>	Yes
Outbuildings and fences exemptions	
<i>Are there outbuildings or fences which are not exempt from notice and review?</i>	No
Victorian Heritage Register	
<i>Is the place included on the Victorian Heritage Register?</i>	No
Prohibited uses may be permitted	
<i>Can a permit be granted to use the place for a use which would otherwise be prohibited?</i>	No
Aboriginal heritage place	
<i>Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?</i>	No
Incorporated plan	
<i>Does an incorporated plan apply to the site?</i>	No

Identified by:

'Hawthorn Heritage Precincts Study' Context Pty Ltd, 2009, revised 2012



References

Argus, as cited.

Built Heritage Pty Ltd 2012. 'City of Boroondara Thematic Environmental History', prepared for the City of Boroondara.

City of Hawthorn. Rate Books. 1850-1870.

City of Hawthorn 1976. 18 Wattle Road, Hawthorn building permit documentation (BP)

Colles, CGA 1910. *History of Hawthorn: A Book of References, Jubilee Year 1910*. Hawthorn: M.Dew.

Context 2019. 'City of Boroondara Municipal-wide Gap Study: Volume 3 Hawthorn (revised)', prepared for the City of Boroondara.

Context Pty Ltd 2012. 'Hawthorn Heritage Precincts Study Volume 1', prepared for the City of Boroondara.

Context Pty Ltd 2012. 'Hawthorn Heritage Precincts Study Volume 2', prepared for the City of Boroondara.

Gould, Meredith 1992. 'Hawthorn Heritage Study', prepared for Hawthorn City Council.

Gould, Meredith 1993. 'Hawthorn Heritage Study Volume 1A Main Report', prepared for the City of Hawthorn.

Herald, as cited.

Certificates of Title (CT), as cited.

Lovell Chen 2014. 'Kew and Hawthorn further heritage investigations – assessment of specific sites.' Prepared for City of Boroondara.

McWilliam, Gwen 1978. *Hawthorn Peppercorns*. Melbourne: Brian Atkins.

McWilliam, Gwen 2004. *Hawthorn Street Index: A Brief History of the Streets of Hawthorn*, Victoria. Hawthorn: Hawthorn Historical Society.

McWilliam, Gwen 1997. *Wattle Road Hawthorn: From German Paddock via Weinberg Road*. The author, Hawthorn.

Meyer, Charles 1990. *A History of Germans in Australia 1939–1945*. Caulfield East: Monash University.

Melbourne and Metropolitan Board of works (MMBW) Detail Plan No. 1483, City of Hawthorn, 1902 (State Library Victoria).

National Archives of Australia, 'Colonial Office: Land and Emigration Commission', <https://discovery.nationalarchives.gov.uk/details/r/C4577>



Peel, Victoria 1993. *A History of Hawthorn*. Melbourne: Melbourne University Press in Association with the City of Hawthorn.

Poole, Marilyn 2018. 'German Speaking Immigrants: The Finger and Fankhauser families,' <https://dt-hs.blogspot.com/2021/06/german-speaking-immigrants-finger-and.html> (provided by Doncaster Templestowe Historical Society).

Public Record Office Victoria (PROV), Historic Plan Collection, VPRS8168Royal Historical Society of Victoria, 'William Westgarth', <https://www.historyvictoria.org.au/collections-lounge/william-westgarth/>

Sands & McDougall (S&McD). Melbourne Directories.

Sunraysia Daily, as cited.

Victorian Places 2015, '*Hawthorn*,' Monash University and University of Queensland, <http://www.victorianplaces.com.au/hawthorn>.