

1 New Street, Hawthorn

Prepared by: GML Heritage

Address: 1 New Street, Hawthorn 3122

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|---|-----------------------------------|
| Name: House | Survey Date: November 2021 |
| Place Type: Residential | Architect: Unknown |
| Grading: Not significant | Builder: Unknown |
| Extent of Overlay: To title boundaries | Construction Date: c1928 |



Figure 1 1 New Street, Hawthorn. (Source: GML August 2022)

Historical Context

The area of Wattle Road, Hawthorn, is on the traditional Country of the Wurundjeri Woi-wurrung.

Pastoralists moved into the Boroondara district in the 1830s. In 1837 John Gardiner took up a pastoral licence over an extensive area that encompassed much of Hawthorn, including present-day Wattle Road. The land occupied by Wattle Road and adjacent streets was surveyed as Crown allotments 45 and 46 in the Parish of Boroondara and was offered for sale in 1843; these allotments were first acquired by Matthew Hughes (McWilliam 1997:20).

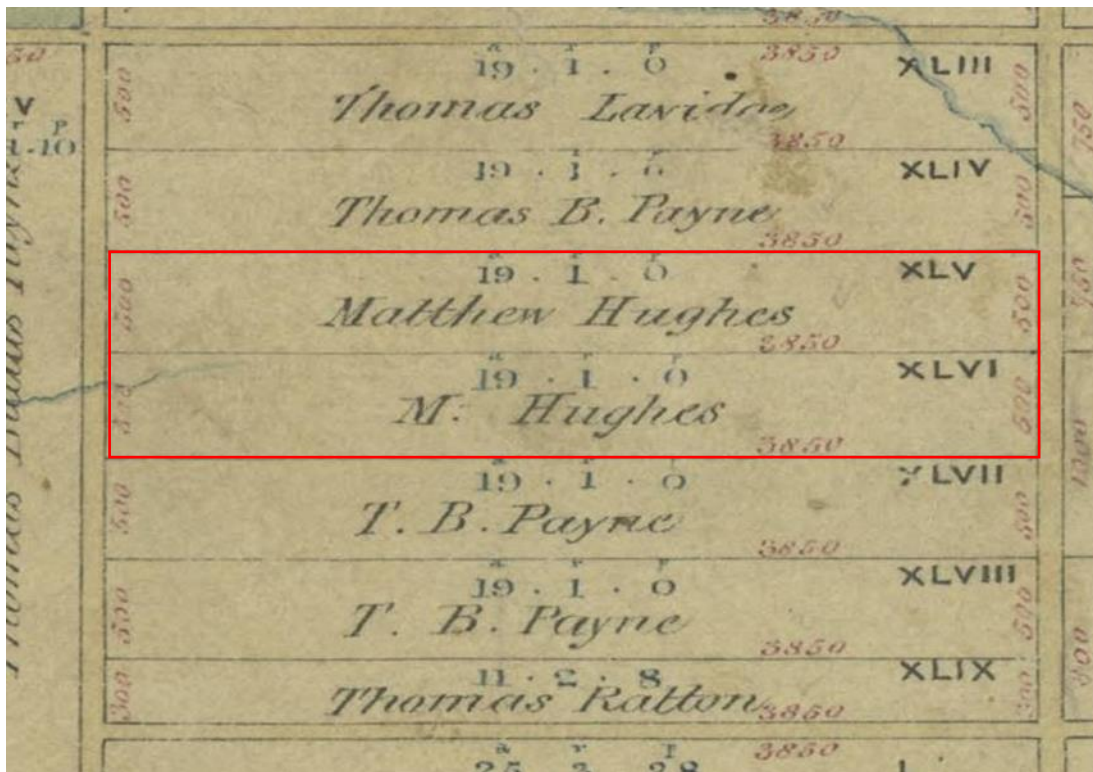


Figure 2 1855 cadastral plan showing Crown allotments 45 and 46, Parish of Boroondara. The extent of land fronting Wattle Road is outlined in red. (Source: PROV, VPRS 8168/P0002 339 with GML overlay)

The first residents in Hawthorn were an eclectic mix that included farmers, as well as those in trades, business, politics, and the military (Context 2012:4). While Hawthorn was developed primarily as a residential area, by the early 1850s agriculturalists constituted a quarter of its population. Viticulture proved a successful early enterprise, with Boroondara being the third-richest grape growing region in Melbourne (after Coburg and Bundoora) led by French, English and German communities that cultivated small plots with grape vines (Context 2012:5, Peel et al 1993:20).

Five German families (headed by Christian Finger, Gustave Kobelke, Gottlieb Aurisch, Johann Fankhauser and Karl Roemer) arrived in the Hawthorn area in 1850 (McWilliam 1978:7). A contemporary account claims that the German immigrants purchased 40 acres of land at £10 per acre (Argus, 29 November 1884:4). In 1851 Hughes sold allotments 45 and 46 to Edward Kobelke, who then sold one-third of the land to Christian Finger and one-third to Johann Fankhauser (McWilliam 1997:30). The German settlers also purchased land in areas surrounding Wattle Road. Christian Finger purchased part of Crown allotment 64 at the corner of Glenferrie Road and Oxley Road in 1852. The same year, his son Henry Finger purchased part of Crown allotment 67, situated south of Liddiard Street (McWilliam 1997:21). Finger's property was divided by a lane (today's Wattle Road). He planted a vineyard on the site as the land was on a gentle slope, and close to the Yarra River, which provided a ready water supply.

By the end of the 1850s Weinberg Road was referred to locally as 'German Lane' and 'German Paddock' due to the number of German migrants who had settled there. In 1860 a group of residents, including Finger, Kobelke, Fankhauser, Schober, Aurisch, Gottke, Bruse and Bonwick appealed to the Hawthorn Borough Council to have the road developed and named. The residents asked that the road



be formally named Weinberg Road, *weinberg* being the German word for vineyard (McWilliam 1997:21).

This is believed to be the first officially named road in Hawthorn (McWilliam 1997:1). The narrow width of the road today is suggestive of early references to the road as a lane. Water from Yan Yean was laid on in 1868 (Argus, 1868).

The 1860s was a decade of transformation and prosperity for Hawthorn. Suburban development was spurred by the election of Hawthorn's first municipal council in 1860, making it the geographic centre of the city, alongside the opening of the railway to Hawthorn in 1861 (Context 2012:10). The coming of the railway led to an influx of middle-class residents who were able to commute between Melbourne and the suburbs. A surge of development of public and private buildings followed, including various churches and schools, to cater to the growing population (Context 2012:10).

The residential composition of Hawthorn shifted again in the 1870s as the subdivision of larger estates gathered momentum when, following the death of some leading district pioneers, large properties were sold to developers, who divided them into residential lots (Context 2012:10). While a pattern of selling off portions of larger properties was true of Weinberg Road in the 1870s, no evidence has been found (such as estate subdivision plans) that indicates the land was sold to developers to be subdivided. Nevertheless by 1875 over 40 homes had been constructed on Weinberg Road, which was nearly double the number built in the 1860s.

The Melbourne land boom of the 1880s greatly stimulated speculative subdivision and residential development in Hawthorn. This period of economic buoyancy in Hawthorn was further stimulated by the extension of the railway from Hawthorn to Lilydale in 1882 and the spur railway from Hawthorn to Kew in 1887. The pattern of speculative subdivision continued in many parts of Hawthorn as the number of large private estates declined to accommodate the growing professional middle class who were settling in Hawthorn at this time (Context 2012:5). The German families sold off portions of their land through the 1880s in a more ad hoc way and, by 1890, 50 houses had been built on Weinberg Road (Poole 2018). During the 1880s the German presence in Hawthorn began to dissipate, and many of the original farming families relocated their vineyards and orchards elsewhere. The Fankhausers, for example, moved to Balwyn, where they lived south of Belmore Road.

Wattle Grove (formerly Weinberg Grove) was created in 1885 when land owned by Walter Bonwick was subdivided into sixteen allotments (twelve facing Wattle Grove and four facing Wattle Road). The street developed over the next twenty years and was fully built out by 1906.

The early 1900s brought new prosperity and the return of suburban and commercial development after the economic depression of the 1890s. The electric tramlines built between 1913 and 1918 in Burke Road, Camberwell Road and Riversdale Road provided improved public transport, connecting local residents with Hawthorn's commercial centres and providing ready access to the city (Context 2019:1). The City of Hawthorn changed the name of Weinberg Road to Wattle Road during World War I due to growing anti-German sentiment (Built Heritage 2012:37).

The first half of the twentieth century saw a number of Wattle Road's large land holdings subdivided, creating new streets and courts. These included Vivian Grove (1911), Burton Avenue (1912), New Street (1923), Carson Crescent (1924), Finchley Court (1940) and Ardene Court (1957).

The early postwar period saw significant change in Wattle Road with the demolition of a number of its early houses and the construction of large unit developments. Up until this time, many early houses had retained their substantial allotments. Similar development has continued throughout the late twentieth century and into the twenty-first. In recent years there has been further demolition of early Victorian houses and the construction of multi-unit developments and, more recently, substantial blocks of apartments.

Place History

The property at 1 New Street, Hawthorn, is situated on the east side of New Street, between Power Street to the west, Glenferrie Road to the east and Wattle Road to the south.

The subject site was originally part of a much larger parcel owned by German settler Christian Finger from the 1850s. By 1863, a large house named 'Harlech' was built on the parcel facing Weinberg Road (later Wattle Road). From the early 1890s, the prominent Melbourne stockbroker and journalist Robert Elias Wallen lived in 'Harlech' (McWilliam 1997:210; CT V2363 F522). Wallen was the first secretary and later chairman of the Melbourne Stock Exchange from 1865 to 1884. He was also active in civic affairs and was a member of the Hawthorn Borough (later Municipal) Council 1877–83, serving as mayor in 1878 and 1879. Keenly interested in art, he was president in of the Art Union of Victoria in 1882 and over the following ten years he was president or vice-president. He was a trustee of the National Gallery, Museums, and Public Library of Victoria 1889–93 (Hall 1976).

In 1911 the 'Harlech' property was purchased by the Faithful Companions of Jesus, and officially opened as St Mary's Convent and school (McWilliam 1997:213–215; S&McD 1912; *Advocate*, 16 Sept 1911: 25). In 1924 the site was subdivided into six lots (four lots facing Wattle Road and two lots facing New Street), with four of the six lots transferred to Dorinda Meagher, Mary Scanlan and Mary Smith, who were most likely nuns of the Faithful Companions of Jesus (CT V4836 F108, Figure 5). In July of that same year the women subdivided their land, with the penultimate sale of Lot 6, facing New Street, to artificial flower manufacturer Paul Harbig in December 1927 (CT V4836 F108; Figure 6). A sale poster of the 1923 subdivisions shows a 2-storey building already in existence (Figure 6). This building is mentioned in an article about the subdivision in the *Herald* in 1923 as a 'two-storied building suitable for conversion' (*Herald* September 1923:16). This would suggest that this building is the brick and timber building shown behind 'Harlech' on the 1902 MMBW Plan (Figure 3). It is unclear if this building was demolished at this time or whether a new façade was added to it by Paul Harbig to form a new residence. The rear section of the house has a higher floor to ceiling height indicative of a different (earlier) build date. The 1902 MMBW plan shows an L shaped brick building with a timber wing attached. This could be the taller section of the house and the single storey wing that runs along its southern façade (Figure 3 and Figure 4). However, this is conjecture and would need to be confirmed on site.

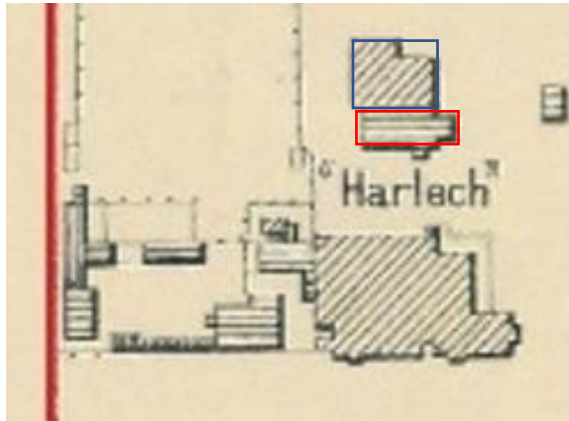


Figure 3 Part of 1902 MMBW plan showing brick and timber building behind Harlech. L shaped brick section outlined in blue. Timber section outlined in red (Source: State Library of Victoria)



Figure 4 2022 aerial of 1 New Street, Hawthorn. Area outlined in blue may be L shaped brick section shown on 1902 MMBW plan. Red section could be timber section shown on same plan. Yellow section could be new façade added when building converted to a house in c1928. This needs to be confirmed on site (Source: Nearmap with GML overlay)

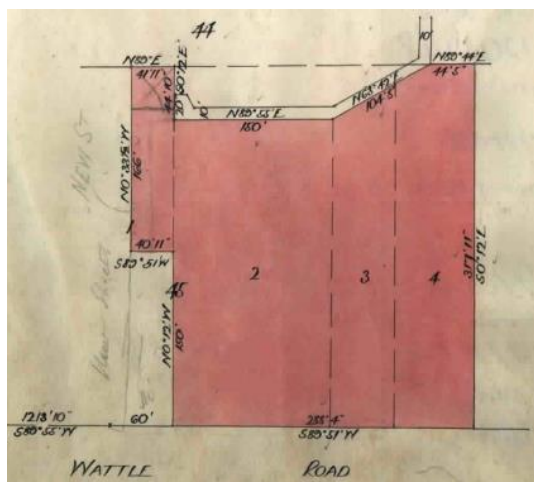


Figure 5 Detail of title deed showing earlier subdivisions purchased by Dorinda Meagher, Mary Scanlan and Mary Smith in 1924. (Source: CT V4836 F108)

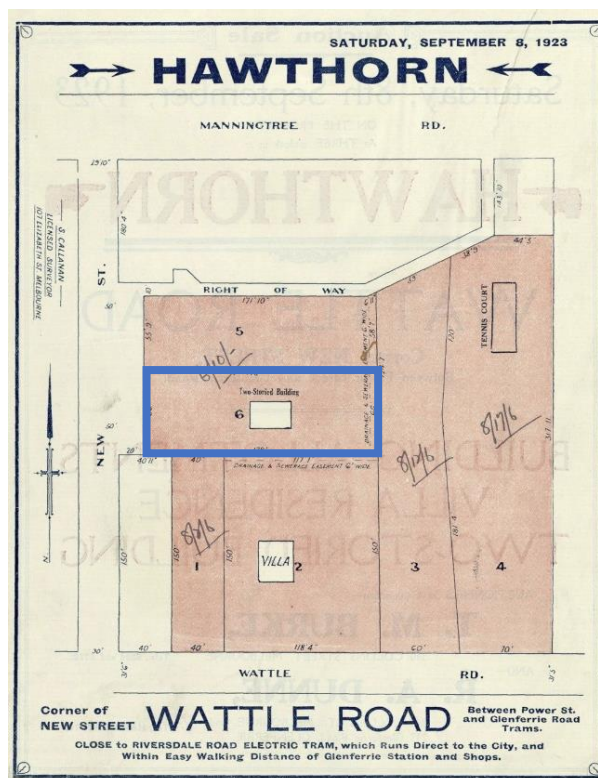


Figure 6 Sale advertisement showing subdivisions in c1924. Lot 6, with the existing dwelling, was purchased by Paul Harbig in 1927 (shown in blue). Lot 2, with a dwelling marked 'villa', is the location of 'Harlech'. (Source: CT V4836 F108; State Library Victoria)

A house at 1 New Street, Hawthorn is first listed in the Melbourne Telephone Directory in 1929 which suggests the dwelling had adopted its new address of 1 New Street by this time (Melbourne Telephone Directory of 1929). Paul Harbig continued to live at 1 New Street until his death in April 1945 when his son Richard and widow Martha inherited the house, selling it a year later to the Burwood Boys' Home (CT V4836 F108).

The Burwood Boys' Home was established in 1895 in Burwood, Victoria, and housed boys aged between 9 and 15 who were wards of the state (Find & Connect 2022a). Boys who had completed their schooling were sent to live in 1 New Street, Hawthorn, which was run as a hostel named 'The Palms'. The hostel was closed and sold by the Burwood Boys' Home in 1959 (Find & Connect 2022b). At the time of this sale, the house was described as having 18 rooms, a garage, bungalow and boiler house, and being suited for institutional use or as a guest or reception home (*Australian Jewish News*, 13 February 1959:15). The house was then owned by Hugo and Golda Stiel from the early 1960s to 1984 and operated as the 'Ella Guest House' until at least 1978 (S&McD 1965-1974; *The Age*, 16 May 1978:28). In 1984 the house was purchased by a company which operates the supported residential aged care home 'Hawthorn's Victoria Gardens'. The same company purchased an additional plot of land to the northeast of the subject site in 1988, creating a larger L-shaped allotment (CT V9999 F357; Figure 8).

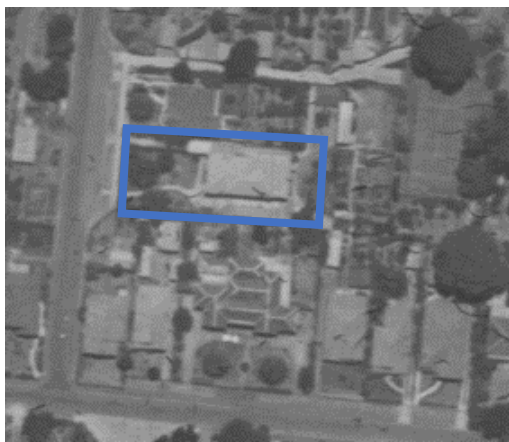


Figure 7 An aerial image of 1 New Street, Hawthorn, in 1945. (Source: Landata with GML overlay)

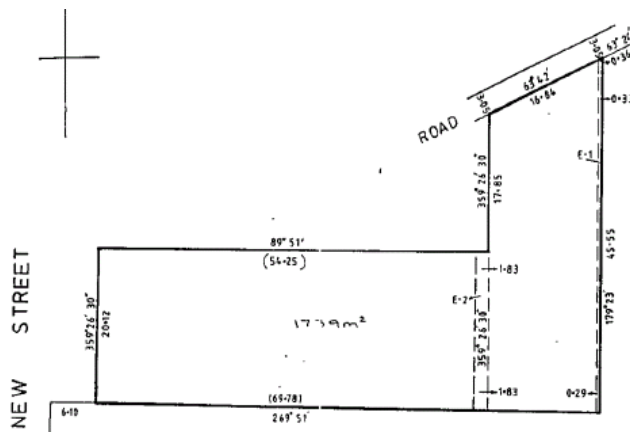


Figure 8 Larger L-shaped allotment following consolidation of two smaller plots in 1988. (Source: CT V9999 F357)

1 New Street, Hawthorn continues to operate as 'Hawthorn's Victoria Gardens' supported residential aged care home (Figure 9). The facility has expanded, with a rear extension constructed by 2009 (Nearmap 2009).

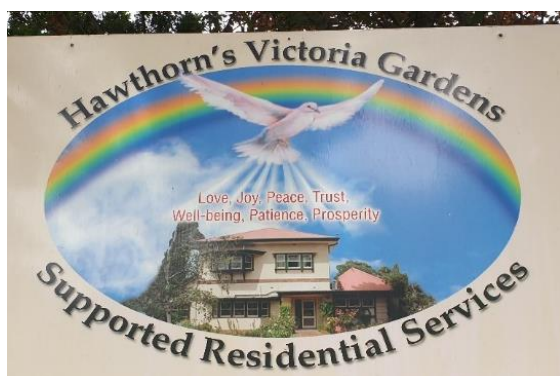


Figure 9 Sign advertising Hawthorn's Victoria Gardens at 1 New Street, Hawthorn. (Source: GML November 2021)

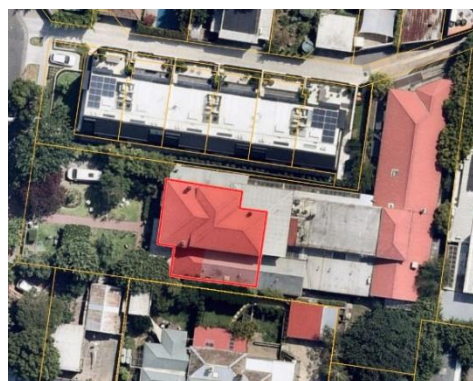


Figure 10 Aerial view of 1 New St, Hawthorn, showing L-shaped property boundary. The highlighted area (red) shows the boundary of the original house. (Source: Nearmap February 2022)

Description

1 New Street, Hawthorn, is a substantial double-storey brick interwar dwelling built c1928 for artificial flower manufacturer Paul Harbig. Located on the eastern side of New Street, Hawthorn, the house has a generous setback from the street with a landscaped front garden. The allotment includes the original dwelling and an L-shaped extension at the rear.

The original dwelling sits below a hipped corrugated iron roof with three extant unpainted rendered chimneys, two visible on either side of the front elevation and a third at the rear. The rendered façade sits on a face brick base and features a brick band of three courses of clinker bricks that demarcates the first-floor level. Retaining its original pattern of fenestration of windows and doors, at ground level a five-paned bow window with flat roof and deep eaves, sits adjacent to a flat-roofed entrance porch supported by three banded brick piers. This porch appears to have originally returned down the



southern wall of the house but has been built in with windows. At the upper level an oriel window is supported on timber brackets with two chains connecting its flat roof to the eave above. This window sits adjacent to a timber-framed double-hung sash window with geometric lead glass design in its upper sashes. Sash windows are typically boxed units that sit on the outer brick skin of the wall and are supported by small brick brackets and have a narrow concrete window hood. The upper windows are offset to those below, giving an overall asymmetric composition to the facade

A single storey wing with a gabled corrugated iron roof is located along the south elevation of the main dwelling. This part of the building is visible in a 1945 aerial photograph (see Figure 7) and is possibly the timber section of the outbuilding shown on the 1902 MMBW plan. It appears to have been extended to the east and west at a later stage (Figure 10).

An extensive L-shape extension at the rear of the property has been added to the original house to provide accommodation and facilities for the residents of the aged care facility. It is unknown when these additions were made, however they predate 2009 (Nearmap).

1 New Street, Hawthorn has a generous setback from the street and an established landscaped garden. A non-original timber picket fence marks the New Street boundary and features a timber arbour entry above the front gate.

Key features of the building and landscape include:

- rendered brick walls with contrasting brick banding and detailing
- hipped roof form
- entry porch with banded piers
- original pattern of fenestration and door openings to its principal street facing elevation
- original window and door joinery including a bow window (ground floor) oriel window (first floor) and boxed double hung sash windows (some with leaded upper panes)
- three extant unpainted chimneys.

Integrity

The original c1928 dwelling at 1 New Street, Hawthorn, is largely intact with some changes visible to original or early fabric. The building retains its original built form, roof form, rendered brick walls, window and door openings, timber joinery. Original details include a projecting bow window with flat roof and deep eave at the ground level, entry porch with banded brick piers, oriel window with timber brackets, flat roof and chain supports, decorative brick banding, boxed sash windows with brick sill brackets and narrow concrete window hoods and lead lighting.

The original terracotta roof tiles have been replaced with corrugated iron.

The original c1928 building has been progressively extended to the south side (by 1945) and at the rear, expanding the residential aged care facilities which continue to operate at the property.

Overall, the original dwelling has good integrity.

Comparative Analysis

Built in 1928, 1 New Street, Hawthorn, is a large, interwar house that incorporates many design elements of the interwar attic bungalow adapted to fit a more traditional two storey built form. The brick house incorporates many interwar design elements including rendered walls, timber sash windows with frames set on the outer brick skin, canted bays and deep porches supported on substantial piers. Two storey houses at this time were more commonly expressed in an attic bungalow form with second storeys concealed within low slung gable roofs. Less common than the attic bungalow, the two storey bungalow form frequently demonstrates the transition between the Federation style and the Californian Bungalow style. Houses built at this time frequently cast off the picturesque complexities and decorative elements of the Federation style and introduced a simple massing and roof form (usually gabled) with details that emphasised hand crafted details and natural material.

Other individually significant two-storey interwar houses in Boroondara include:



Figure 11 6 Summerlea Grove, Hawthorn (HO476)
built in 1925–26 (Source: Lovell Chen 2006)

6 Summerlea Grove, Hawthorn is of local and architectural significance as a large interwar residence of the 1920s with a prominent hipped roof and asymmetrical front dominated by a central balcony and porch. It features materials and detailing typical of the period including face brickwork, roughcast stucco, Marseille pattern terracotta roof tiles and shingling.



Figure 12 158 Mont Albert Road, Canterbury
(HO397) built in 1919. (Source: Hermes)

158 Mont Albert Road, Canterbury, designed by prolific Melbourne architects Gawler and Drummond, is of historical and architectural significance as a relatively intact example of a double storey house of the interwar period. Boldly asymmetrical with Renaissance derived detailing, the brick house incorporates many interwar design elements including a terracotta tiled roof, roughcast rendered façade, timber sash windows with frames set on the outside of the façade and canted bays.



Figure 13 653 Burke Road, Camberwell (HO144) built in 1919 (Source: GML Heritage 2022)

653 Burke Road, Camberwell is architecturally significant for the early use of Californian Bungalow features and for the rare use of these features on a two-storey mansion house design. It illustrates a transition from the Queen Anne influenced houses incorporating bungalow features such as heavy masonry piers, shallow roof pitch and wide eaves with exposed rafter ends.



Figure 14 9 Boston Road, Balwyn (HO876) built in 1922 (Source: Context, September 2017)

‘Aloha’ is significant as a good and highly intact representative example of a relatively uncommon built form in the municipality during the interwar era, that is, a clear two-storied Bungalow form as opposed to the more common attic-storey Bungalow of the period. It retains typical elements of the Californian Bungalow style, namely its multiple projecting gables with gabled porch, face brickwork, wide eaves with exposed rafters and dominant chimneys.

Discussion

1 New Street, Hawthorn is an example of a two-storey interwar house built following the subdivision of an earlier nineteenth century estate in Hawthorn. While stylistically it compares somewhat to the above individually significant places, it does not possess the same level of architectural refinement and sophistication. While demonstrating some stylistic details of the interwar period including sheer rendered or face brick wall planes with minimal elaboration, timber sash windows with frames set on the outer brick skin, ground floor canted bays with flat roofs and deep porches supported on substantial piers, at 1 New Street these are arranged in a standard manner that lacks the picturesque quality of the other examples. This has resulted in a façade that has a flatness to it rather than the bold articulation of receding forms that can be seen in the other examples. Coupled with a lower integrity and intactness, 1 New Street does not meet the threshold as an individually significant place at the local level (Criterion D and E).

Historically, while the use of the house as a Boys Home for 14 years from 1946 and later as a supported residential aged care home from 1984 is of interest and a theme relevant to Boroondara's history, there are other earlier and better examples in the Heritage Overlay of the subthemes 8.3.4 Helping Others and 8.6.2 Growing Old and Retirement. The use of a converted 1920s house for these purposes was not typical across the municipality. While several large Victorian



Mansions were converted into hostels during the 1920s, aged care facilities tended to utilise purpose-built facilities.

Assessment Against Criteria

Criteria referred to in *Practice Note 1: Applying the Heritage Overlay*, Department of Environment, Land, Water and Planning, August 2018, modified for the local context.

CRITERION A: Importance to the course or pattern of the City of Boroondara's cultural or natural history (historical significance).

NA

CRITERION B: Possession of uncommon, rare or endangered aspects of the City of Boroondara's cultural or natural history (rarity).

NA

CRITERION C: Potential to yield information that will contribute understanding the City of Boroondara's cultural or natural history (research potential).

NA

CRITERION D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

NA

CRITERION E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

NA

CRITERION F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).

NA

CRITERION G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

NA

CRITERION H: Special association with the life or works of a person, or group of persons, of importance in the City of Boroondara's history (associative significance).

NA



Grading and Recommendations

Not recommended for inclusion in the Schedule to the Heritage Overlay of the Boroondara Planning Scheme as an individually Significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Boroondara Planning Scheme:

Not applicable

External paint controls

Is a permit required to paint an already painted surface?

Internal alteration controls

Is a permit required for internal alterations?

Tree controls

Is a permit required to remove a tree?

Solar energy system controls

Is a permit required to install a solar energy system?

Outbuildings and fences exemptions

Are there outbuildings or fences which are not exempt from notice and review?

Victorian Heritage Register

Is the place included on the Victorian Heritage Register?

Prohibited uses may be permitted

Can a permit be granted to use the place for a use which would otherwise be prohibited?

Aboriginal heritage place

Is the place an Aboriginal heritage place which is subject to the requirements of the Aboriginal Heritage Act 2006?

Incorporated plan

Does an incorporated plan apply to the site?

Identified by:

GML Heritage, 2022.



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