

### 3.3 6 Kintore Street, Camberwell - Dwelling extension in a Heritage Overlay

#### 6 Kintore Street, Camberwell - Extension to a House in a Heritage Overlay

<b>Application no.:</b>	<b>PP21/1025</b>
<b>Responsible director:</b>	<b>Scott Walker, Director Urban Living</b>
<b>Authorised by:</b>	<b>David Cowan, Manager Planning and Placemaking</b>
<b>Report officer:</b>	<b>Calum Schwindt, Statutory Planner</b>

### Report abstract

#### Proposal

The proposal seeks to partially demolish an existing dwelling in a Heritage Overlay and construct both two-storey and single-storey additions generally to the rear of the site. The proposal is summarised as follows:

- The contemporary two-storey rear addition will have a maximum height of 7.24m and be setback 30.7m from the street.
- The ground floor addition will be setback 25.31m from the street.

#### Issues

The following key issues are addressed in the Planning Assessment Report (Attachment 1):

- The extent of proposed demolition to a significant graded dwelling and the impact to the Prospect Hill Road Heritage Precinct.
- The proposed built form of the dwelling extension, including the materiality, bulk and dominance over the heritage place.
- The overall visibility of the addition from Kintore Street.

#### Officer's response

Council officers have undertaken an assessment of the proposal against the Boroondara Planning Scheme and concluded the following:

- The significant fabric of the existing house will be retained and conserved.
- The majority of contributory fabric will be retained and conserved. Any alterations will be located to the rear of the site and the alteration will not affect the significance of the place, which pertains to the architectural quality of the detailing at the front of the dwelling - namely the triple gabled bay windows and return verandah.
- The proposed additions will be significantly setback on the site and will not dominate the existing dwelling, subject to conditions.
- The additions will be contemporary in design with a distinction between what is new fabric from what is significant and contributory fabric of the Edwardian era.
- The additions will not dominate the subject site nor the broader streetscape.

Details of the proposal, discussion of all objections and assessment against relevant controls and policies are contained in the following attachments to this report:

- Attachment 1 - Planning Assessment Report

- Appendix A – Referral Comments
- Appendix B – Planning Policies
- Appendix C - Decision Plans
- Appendix D - Discussion Plans
- Appendix E - Zoning Map
- Appendix F - Locality Plan

## **Officers' recommendation**

That the Urban Planning Delegated Committee resolve that a Notice of Decision to Grant a Planning Permit No. PP21/1025 for the partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay at 6 Kintore Street, Camberwell be issued under the Boroondara Planning Scheme subject to the following conditions:

### **Amended plans required**

1. Before the development starts, amended plans must be submitted to the satisfaction of the Responsible Authority. When the plans are to the satisfaction of the Responsible Authority they will be endorsed and will then form part of the Permit. The plans must be drawn to scale with dimensions and three (3) copies provided, substantially in accordance with the S57A plans submitted 16 August 2022 but modified to show:
  - a) Provide structural engineering advice and methodology on how the chimney above the ensuite/ powder room will be supported within the roof space to allow the demolition of the fireplace.
  - b) Repoint northern (street facing) facade where necessary with mortar to match original in colour and composition.
  - c) Tuckpoint finish the entire northern (street facing) facade with tuckpointing to match original in colour and composition.
  - d) Gently remove paint/ altered surface from rendered /painted sections of the northern (street facing) façade, ensuring render is not damaged in the process. Do not sand blast.
  - e) Update the material schedule and elevations to be substantially in accordance with the material schedule shown on the plans submitted 27 September 2022.

### **Layout not to be altered**

2. The layout of the site and the size, levels, design and location of buildings and works shown on the endorsed plans must not be modified for any reason (unless the Boroondara Planning Scheme specifies that a permit is not required) without the prior written consent of the Responsible Authority.

### **Drainage**

3. The site must be drained to the satisfaction of the Responsible Authority

### **Boundary walls**

4. The external faces of walls on or facing boundaries must be cleaned and finished to an acceptable standard to the satisfaction of the Responsible Authority.

### **Permit to expire**

5. This permit will expire if:

- a) The development does not start within two (2) years of the issue date of this permit; or
- b) The development is not completed within four (4) years of the issue date of this permit.

The Responsible Authority may extend the times referred to if a request is made in writing before the permit expires or:

- (i) within six (6) months afterwards if the development has not commenced; or
- (ii) within twelve (12) months afterwards if the development has not been completed.

Council and the Victorian Civil and Administrative Tribunal are unable to approve requests outside of the relevant time frame.

**Notes:**

- Headings are for ease of reference only and do not affect the interpretation of permit conditions.
- This is not a Building Permit. A Building Permit may be required prior to the commencement of any works associated with the proposed development.
- Plant, equipment or services (other than those shown on the endorsed plans) that are visible from a street or a public park may require further planning permission. This includes air-conditioners, solar panels, water tank and the like.
- The Tree Protection Local Law requires that a Local Law Tree Permit be sought from Council for the removal and/or lopping of a 'Significant Tree' and/or excavation within the critical root zone of a Significant Tree. A list of Significant Trees is available at <https://www.boroondara.vic.gov.au/waste-environment/trees-and-naturestrips/find-out-if-tree-protected>. A Local Law Tree Permit is also required to remove, damage kill or destroy any identified 'Canopy Tree' which may include any excavation within the tree protection zone of a 'canopy tree'. The Tree Protection Local Law identifies a 'Canopy tree' as any tree with a single trunk circumference of 110cm or a combined circumference of a multi stemmed tree of 110cm or greater measured at 1.5m above ground level. A Planning Permit does not constitute a Local Law Tree Permit or permission to remove, damage kill or destroy a significant or canopy tree. The Tree Protection Local Law is available to download at <https://www.boroondara.vic.gov.au/waste-environment/trees-and-naturestrips/find-out-if-tree-protected> alternatively please contact Council's Arborist – Statutory Planning (telephone 9278 4888) should a Local Law Tree Permit be required.
- Prior to the commencement of any works on the site, the owner/developer must submit drainage plans for assessment and approval by the Responsible Authority (Asset Management).
- Stormwater drains are to be connected to a legal point of discharge approved by Council. Drainage Connections within a road reserve, right-of-way, parkland, within an easement or to a Health Act drain must be to Council's standards. A Council Supervision Permit is required for this work. All fees and charges associated with the connection are to be borne by the applicant.
- The permit application was not assessed against the provisions of Clause 54 – One Dwelling on a Lot (ResCode) of the Boroondara Planning Scheme. It is the responsibility of the applicant/owner to appoint a Registered Building Surveyor to determine compliance pursuant to the Building Regulations. Non-compliance with ResCode provisions will require dispensation from Council's

Building Services Department. (Use on all Permits when Clause 54 Assessment **has not** been undertaken)





**PLANNING ASSESSMENT**  
**Partial demolition and construction of alterations**  
**and additions associated with a dwelling in a**  
**Heritage Overlay**

<b>Application Number</b>	PP21/1025
<b>Date Application Received</b>	11 November 2021
<b>Planning Officer</b>	Calum Schwindt
<b>Delegate</b>	Cassandra Rea
<b>Applicant</b>	Simon Meers C-/Neil Architecture/Fulcrum Planning
<b>Property Address</b>	6 Kintore Street, Camberwell
<b>Zoning</b>	Clause 32.09 - Neighbourhood Residential Zone - Schedule 3
<b>Overlays</b>	Clause 43.01 - Heritage Overlay - Schedule 159
<b>Particular Provisions</b>	Nil
<b>Permit Triggers</b>	Clause 43.01-1 (HO) of the Boroondara Planning Scheme, a permit is required to: <ul style="list-style-type: none"> <li>• Demolish or remove a building.</li> <li>• Construct a building or construct or carry out works.</li> <li>• Carry out works, repairs and routine maintenance which change the appearance of a heritage place or which are not undertaken to the same details, specifications and materials.</li> </ul>
<b>Aboriginal Cultural Heritage</b>	No.
<b>Covenant</b>	No.
<b>Potential Overland Flow?</b>	No.
<b>Advertised?</b>	Public notice of the application was given on 8 March 2022 by Council posting notices to abutting and nearby property owners and occupiers and by the display of a sign on the site for a period of not less than 14 days.
<b>Ward</b>	Junction
<b>Number of Objections Received</b>	27
<b>Plans Assessed in this Report</b>	S57a Amended Plans, formally substituted on 16 August 2022
<b>Recommendation</b>	Notice of Decision to Grant a Planning Permit, subject to conditions.

## THE SITE

The site is currently occupied by a single detached dwelling, known as 'Velore', which is a significant graded dwelling in the Prospect Hill Road Precinct. The site is characterised by a front garden, low picket fence, prominent projected bay window and a red brick Edwardian era dwelling. The double fronted dwelling includes two double hipped roofs with a bullnose wraparound verandah, which is flanked by two asymmetrical triple gable projected bay windows.

Vehicle access is provided via the rear laneway, which abuts the subject site's rear boundary generally accessed via Berwick Street. The proposal contains numerous mature canopy trees generally accessed via Berwick Street and numerous mature canopy trees within the site.

<b>Width of Frontage</b>	21.34m
<b>Maximum Depth of Site</b>	48.77m
<b>Total Site Area</b>	1040m <sup>2</sup>
<b>Easements</b>	The subject site is not encumbered by any easements.
<b>Fall of the Land</b>	The site has a moderate fall from the north-west to the south-east of approximately 2.5 metres.

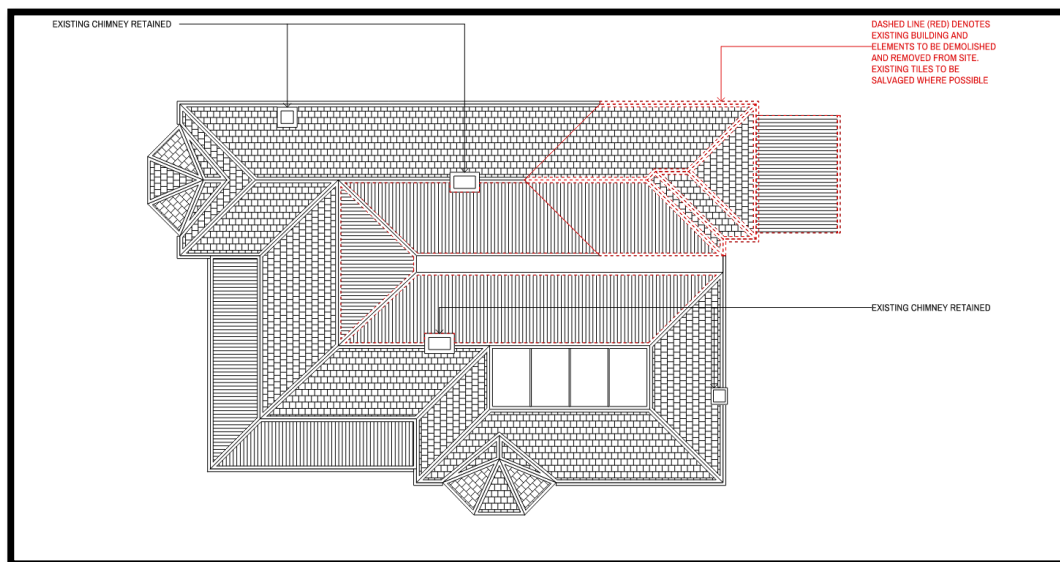


Above - Subject site

## THE PROPOSAL

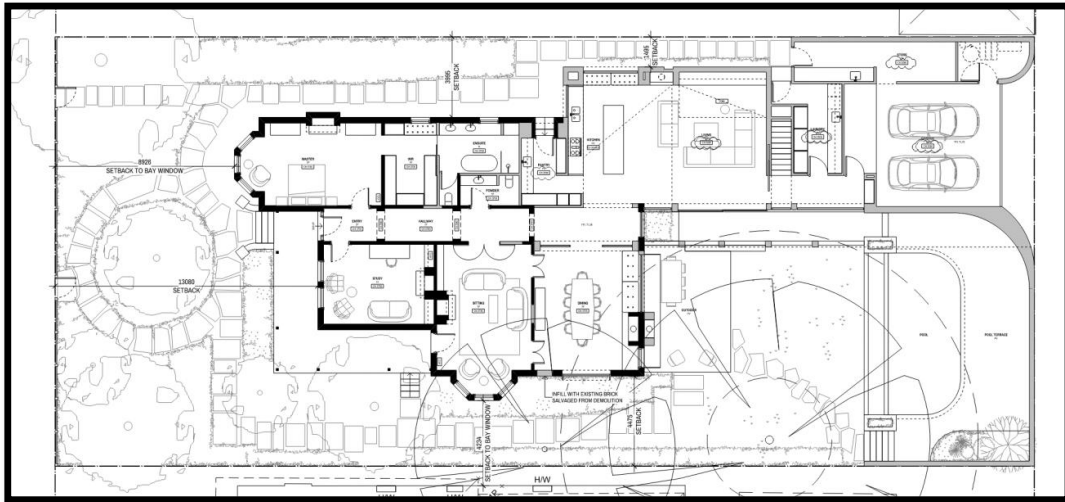
The proposal is summarised as follows:

- It is proposed to partially demolish the rear portion of the existing dwelling. The extent of demolition will be proposed approximately 22.5m from the street frontage and approximately 14.7m from the dwelling's front façade. The demolition comprises the internal rear portion of the roof (not visible from the street).

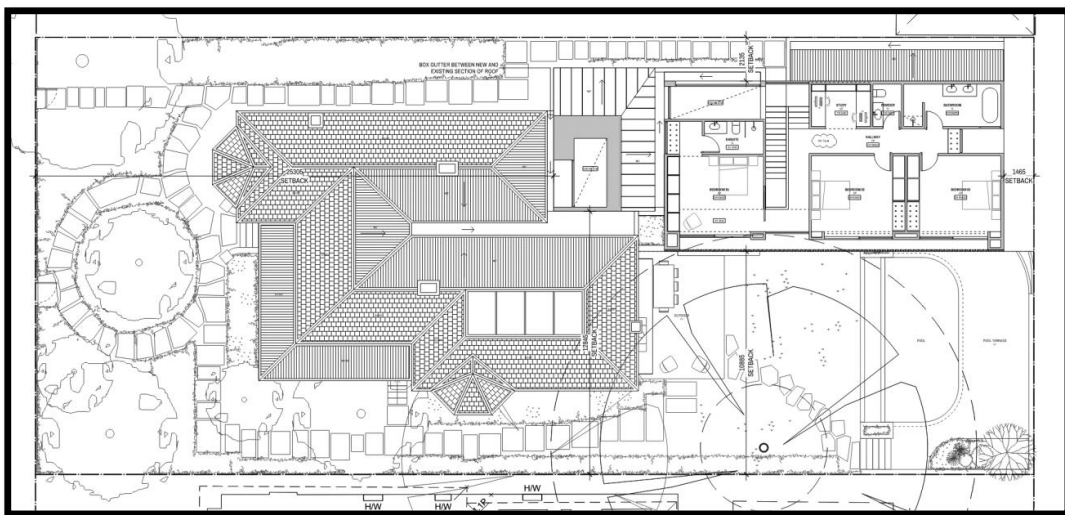


Above: Roof demolition shown in red noting that the internal valley is being replaced.

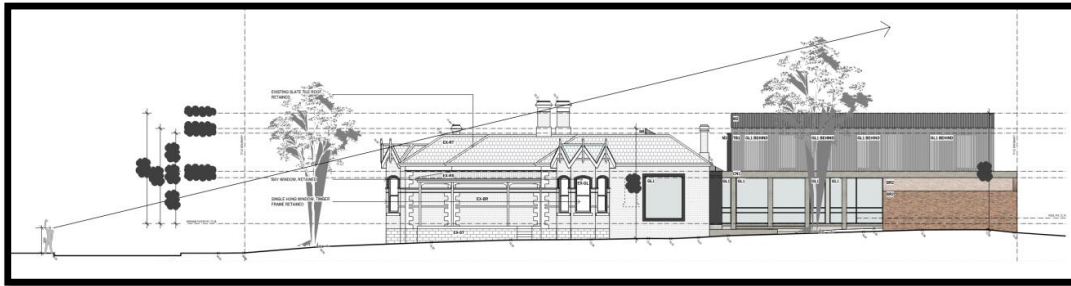
- The application includes the construction of a double-storey extension, with a maximum height of 7.24m. The extension includes a ground-floor linking section, with a maximum height of 6.25m.



Above - Ground Floor Extension



Above - First Floor Extension



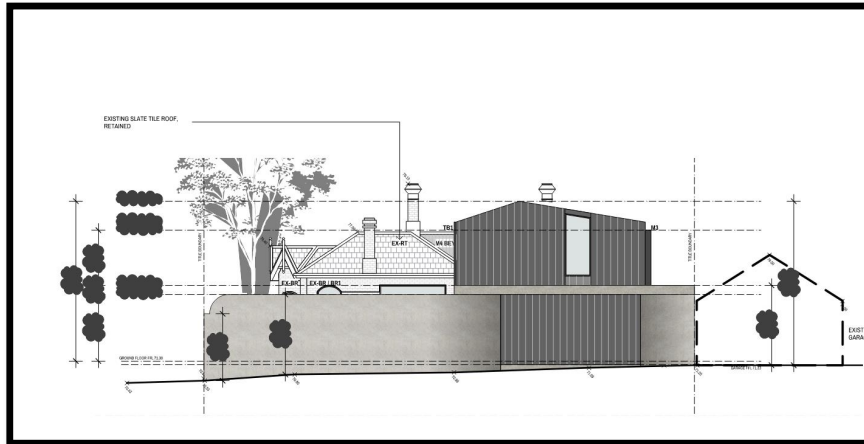
Above: West Elevation



Above: East Elevation



Above - North Elevation



Above - South (laneway) Elevation

- The double-storey extension will have a contemporary pitched metal roof with a variety of wall cladding including red brick, bagged brick, concrete/ cement framing, Colorbond standing seam, Weathergroove and timber battens.
- The brickwork flanking the pool will be *Krause Emperor 'Heritage Red'* and the materiality of the rear laneway wall will be a cement render.
- Car parking will be provided to the rear of the site.

#### THE SURROUNDING AREA

The subject site is located within an established residential area. Dwellings in the area are generally detached on large lots with front and rear gardens. The predominant architectural style to the street is reflective of late-Victorian and Edwardian era single storey dwellings, often with modern two storey extensions to the rear.

Street trees also contribute to the garden setting of the locality.





Above - Aerial image of the subject site and surrounding area

To the east, the subject site abuts 8 Kintore Street which is occupied by a contributory graded dwelling of Edwardian era construction. The dwelling includes a landscaped front setback and a vehicle crossover, which abuts the subject site's eastern boundary. Car parking is provided via a garage located to the rear of the dwelling.

The dwelling presents as single storey to the street, with a two-storey addition to the rear.



Above - 8 Kintore Street (as viewed from the street)



Above - 8 Kintore Street (as viewed from the rear - source: Realestate.com.au)

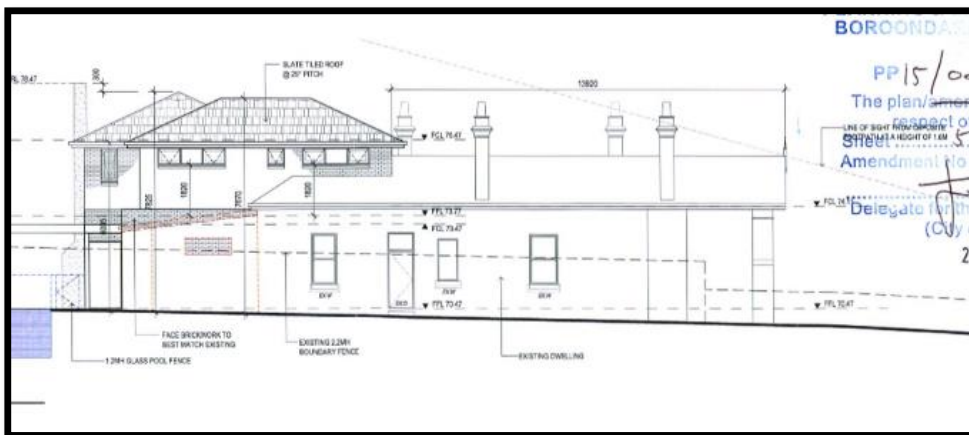
To the west, the subject site abuts 4 Kintore Street, which is occupied by a Contributory graded Victorian dwelling. The dwelling presents as single storey to the street and has a double storey extension to the rear approved by Planning Permit PP15/00942. The overall height of the extension is 7.825m, not inclusive of the rear chimney. Compliance with the sight line test is also noted. Vehicle access is provided via a vehicle crossover along the site's western boundary.

An extract from existing approved and constructed rear extension at 4 Kintore Street, Camberwell associated with PP15/00942 is below.





Above: 4 Kintore Street as viewed from the street



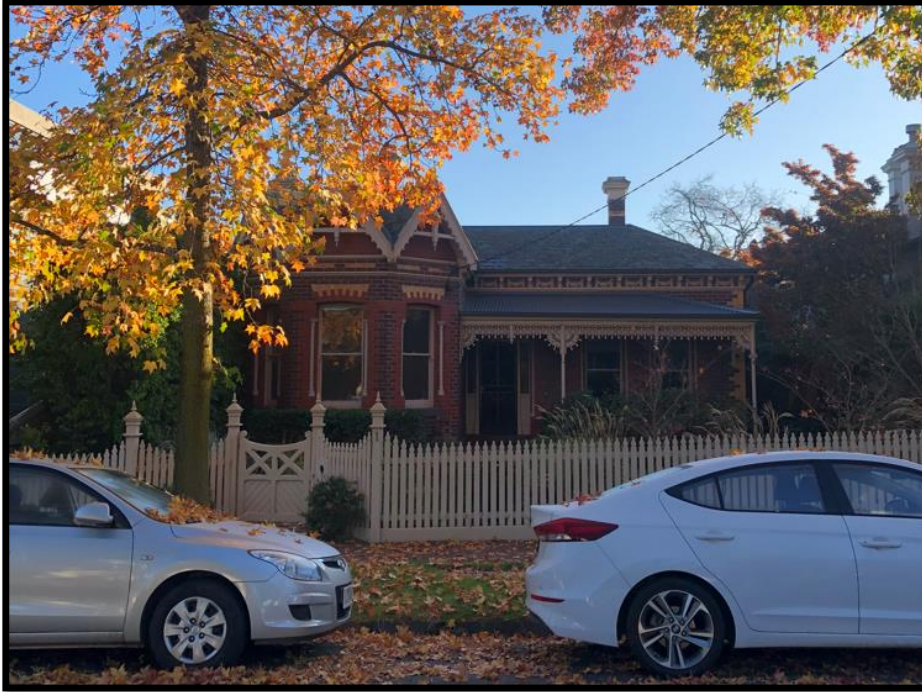
Above - Extract from the Endorsed Plans for the rear double storey addition for 4 Kintore Street



Above - 3 Kintore Street

Opposite the subject site is 1 and 3 Kintore Street. Both dwellings graded contributory, detached dwellings with mature landscaped front setbacks.

3 Kintore Street features a detached Edwardian era dwelling, finished in a grey render, projected bay window and high front fence covered in vegetation and wrap around verandah.



Above - 1 Kintore Street

1 Kintore Street features a similar triple gable projected bay window as the subject site, ornamental brickwork with tuckpointing and a low picket fence.





Above - No. 10 Kintore Street



Above - 5 Kintore Street



Above - 1 Kintore Street and 828 Burke Road

### PERMIT HISTORY

Details of previous applications for nearby properties are as follows:

Nearby Properties				
Address	Application No.	Date of Decision	Decision	Description of Proposal
4 Kintore Street	PP15/00942	21 December 2015	PERMIT	Partial demolition and the construction of alterations and additions to an existing dwelling in a Heritage Overlay and in accordance with the endorsed plans
5 Kintore Street	PP06/00631	7 December 2015	PERMIT	Part demolition and construct alterations and additions to the existing dwelling in a Heritage Overlay
7 Kintore Street	PP12/01076	4 January 2022	PERMIT	Part demolition and construct buildings and works to an existing dwelling in a Heritage Overlay in accordance with the endorsed plans.

## AMENDMENTS TO THE PROPOSAL

An amendment to a planning application was lodged with Council after notification.

The proposed changes are as follows:

Date Received	Amendments	Amendment Type
1 June 2022	<ul style="list-style-type: none"> <li>Reduction in overall height by approx. 900mm shifting ridgeline of the rear extension of the double storey section central to the site.</li> <li>Linking element reduced in height by approx. 200mm</li> <li>Insertion of timber battens to north-facing windows on first floor.</li> <li>Change of metal cladding colour from black to dark grey and mid-grey.</li> </ul>	S57A
20 June 2022	<ul style="list-style-type: none"> <li>Amended plans to include location of all existing chimneys.</li> </ul>	Discussion Plans
29 July 2022	<ul style="list-style-type: none"> <li>Reduction in overall height of the double storey extension by reducing wall heights.</li> </ul>	Discussion Plans
16 August 2022	<ul style="list-style-type: none"> <li>Reduction in height of linking element by 1m.</li> <li>Reduction in height of rear extension through adjustments to wall heights and roof pitch angle.</li> </ul>	S57A (Appendix C)
27 September 2022	<ul style="list-style-type: none"> <li>Clarification regarding the external shroud on the south elevation.</li> <li>Confirmation that restoration works will be undertaken.</li> <li>Various materiality clarification, including brickwork, pavers and window frames.</li> <li>Pool fencing clarified.</li> </ul>	Discussion Plans (Appendix D)
It was considered that the proposed changes were minor in nature and did not warrant re-notification.		

### PLAN CLARIFICATION - 27 SEPTEMBER 2022

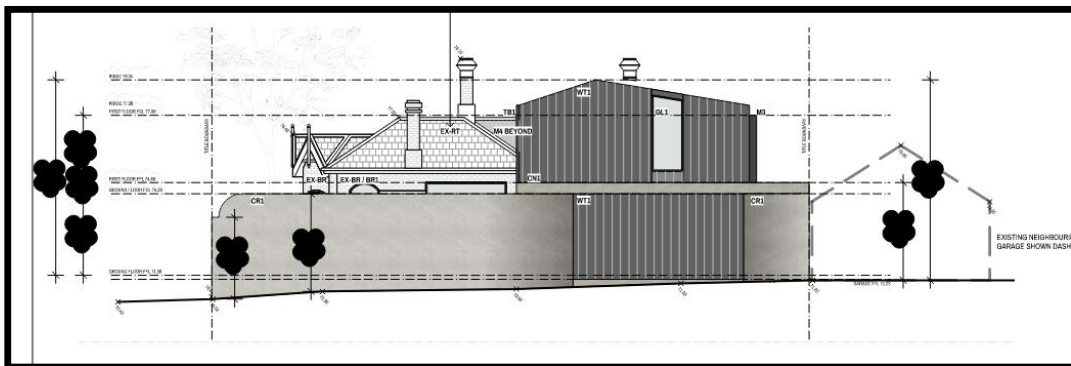
Matters of clarification were sought associated with the decision plans submitted 16 August 2022. In particular, the applicant has advised the following details:

- The external shroud on the southern elevation is metal sheeting;
- Brickwork specified to be *Krause Emperor 'Heritage Red'*;
- The finish on rear wall on boundary specified to be cement render;
- New window frames to be black aluminium/steel; and type of pavers sought.
- Extent of demolition to proposed door entry clarified on east elevation.















The updated materials are reflected in the extracts below.



Above – West elevation



Above – South elevation

PROPOSED MATERIALS AND COLOUR SCHEME (ELEVATION)									
	BR1 - NEW BRICKWORK TO MATCH EXISTING EX-BR (RED)		CON - CONCRETE (OFF-FORM)		MR - METAL ROOF SHEETING (DARK GREY / BLACK)		W - COLORBOND STANDING SEAM METAL CLADDING (OVERLUM GREY)		PAV - STONE PAVING TILE 800 OUTDOOR SANDORRE Limestone
	BR2 - NEW BRICKWORK TO EXTEND ON PRINCE OFPELOR HERITAGE RED		GL - GLAZING		MP - FOLDED METAL PAINTED (DARK GREY / BLACK)		WT - WEATHERTEX (BLACK) WEATHERPROOF CLADDING		
	CR - CONCRETE		MS - COLORBOND STANDING SEAM METAL CLADDING (DARK GREY)		RS - CORRUGATED ROOF SHEETING HERITAGE GRADE		TB - TIMBER BATTENS (STAINED BLACK)		
	CR1 - CEMENT RENDER								

Above – Material schedule

It is considered appropriate to include a condition on the permit that confirm the specified materiality and restoration works will be carried out in accordance with this set of plans.

#### **Suggest conditions:**

- Update the material schedule and elevations to be substantially in accordance with the material schedule shown on the plans submitted 27 September 2022.
- Repoint northern (street facing) facade where necessary with mortar to match original in colour and composition.
- Tuckpoint finish the entire northern (street facing) facade with tuckpointing to match original in colour and composition.
- Gently remove paint/ altered surface from rendered/ painted sections of the northern (street facing) facade, ensuring render is not damaged in the process. Do not sand blast.

#### **REFERRALS**

Please see full referrals in Appendix A to this report. A summary of each is provided below.

#### **Internal Referrals**

Heritage Advisor	<p>Supported, subject to conditions.</p> <p>Council's Heritage Advisor broadly supported the proposal.</p> <p>It is noted that the proposal will be significantly setback from the street, does not remove any significant heritage fabric and the proposed demolition is not visible from the streetscape. The proposed extension complies with Council's sightline diagrams and heritage policy. As such, the proposed extension will not dominate the existing dwelling.</p> <p>Council's Heritage Advisor sought changes to the advertised plans, which included a reduction in the overall height and ground floor linking element. These issues have been satisfactorily addressed in the S.57a amended plans.</p>
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	<p>Council's Heritage Advisor has also required structural engineering advice on how the chimney will be supported.</p> <p>These will be provided as a permit condition.</p>
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## GOVERNANCE ISSUES

The implications of this report have been assessed and are not considered likely to breach or infringe upon the human rights contained in the Victorian Charter of *Human Rights and Responsibilities Act 2006*.

The officers responsible for this report have no direct or indirect interests requiring disclosure.

## CONSIDERATIONS

In assessing this application, consideration has been given to the following:

- The objectives of planning in Victoria as detailed in Section 4 of the *Planning & Environment Act 1987*;
- Section 60 of the *Planning & Environment Act 1987*;
- The relevant provisions and decision guidelines of the Boroondara Planning Scheme including the decision guidelines of Clause 65; and
- The objections received.

This proposal does not raise any significant adverse social or economic impacts. General social and economic impacts are addressed by the planning policy assessment below.

## PLANNER'S ASSESSMENT

The following planning policies are relevant to the assessment of the current application:

- Clause 15 - Built Environment & Heritage
- Clause 15.03-1L - Heritage
  - Clause 15.03-1S - Heritage Conservation
  - Clause 15.03-1L - Heritage in Boroondara

### Heritage

#### Statement of Significance

The Prospect Hill Road Precinct is of local heritage significance due to its high quality, intact and homogenous precincts within the City of Boroondara. This area exhibits well-established and maintained heritage dwellings of generally late-Victorian and Edwardian era construction.

The consistency of scale, custom designed architectural features and detailing make the Prospect Hill Road Precinct a unique and noteworthy precinct.

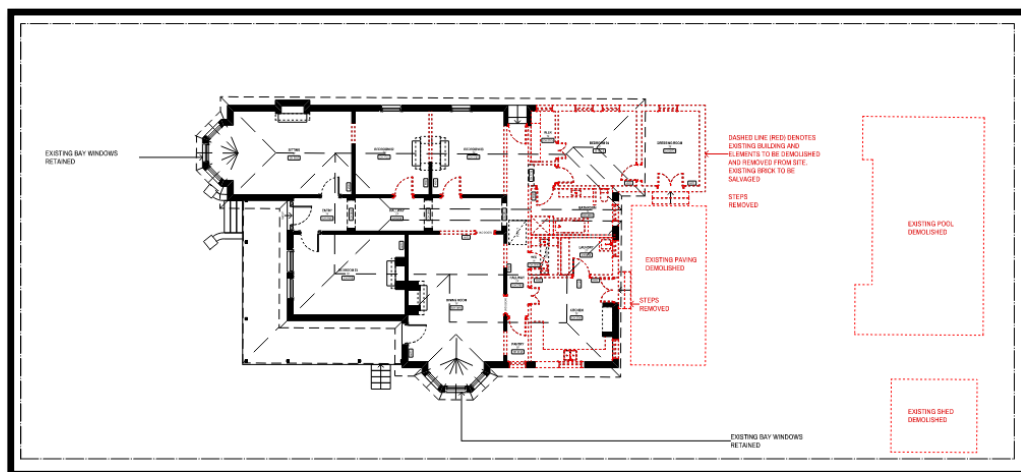
More specifically, within Kintore Street, a high concentration of intact contributory graded dwellings is evident. The mature street trees, high quality heritage architecture, consistent scale, setbacks and intact streetscape are evidence of a well-preserved heritage precinct.

<b>Demolition:</b>
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The subject site is graded as a significant heritage dwelling. Clause 15.03-1L seeks to preserve 'significant' heritage places, protecting all significant heritage fabric, including elements that may not be visible from the public realm. The policy supports partial demolition only where it will not adversely affect the cultural heritage significance of the place. Clause 15.03-1L also seeks to support the demolition of non-original and non-contributory elements.

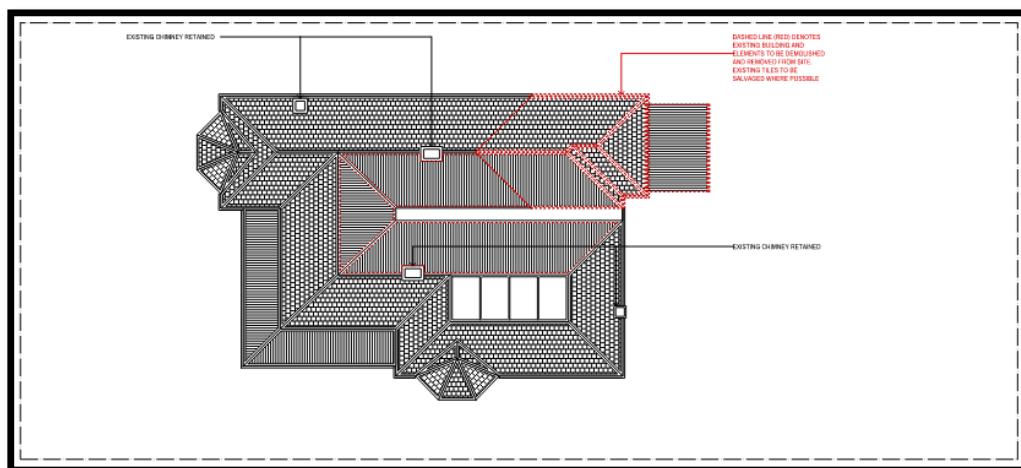
The statement of significance for this property notes that the distinctive triple-gabled, asymmetrical room bay and bullnose verandah as the elements most architectural significant elements on the site. The remainder of the dwelling makes a varied contribution to the streetscape.

The extent of demolition will be limited to the rear of the dwelling. The proposed demolition is significantly setback from the street frontage and retains the front three rooms of the existing dwelling. The demolition will not be visible from the street and is supported by Council's Heritage Advisor.



Above - Demolition Plan

The extent of demolition associated with the primary roof form relates to the internal roof valley sheeting and slate tiles. This is acceptable as this portion of the roof will not be visible from the street. The internal roof valley is to be replaced with Colorbond in 'dark grey', which is compatible with the colour of the existing slate roofing and will not be visible from the street.



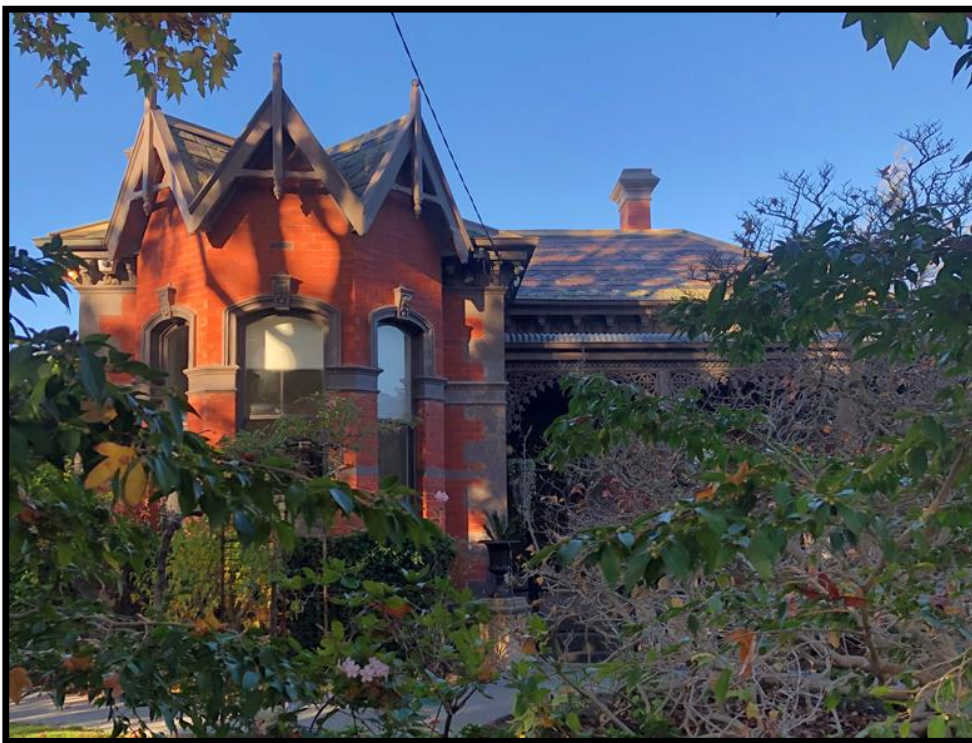
Above - Roof Demolition Plan

The extent of demolition also includes a variety of original windows and doors visible on the east and west elevation, where not related to the above rooms to be demolished. These elements are summarised as below:

- West Elevation - Two windows and one door
- South Elevation - Three windows and one door
- East Elevation - Four windows and one door

The Heritage Advisor notes that these elements are contributory fabric and not visible from the street and their removal can be supported.

Council's Heritage Advisor notes the most important feature contributing to the heritage significance of the dwelling is the triple-gabled, asymmetrical bay windows. These windows were likely constructed by architect John Beswicke and are an important heritage architectural feature to be retained. These windows are to be retained and this is supported by Council's Heritage Advisor



Above - 6 Kintore Street and projected triple gable bay-window

The remainder of the site is composed of contributory graded fabric and the extent of demolition is limited to contributory graded fabric and is not visible from the public realm and is supported by Council's heritage policy.

The extent of demolition would not affect the historical significance of the place, which specifically relates to the unique architectural features at the front of the site.

No internal controls apply to the site and therefore a planning permit is not required for the internal reconfiguration of the dwelling including the removal of the fireplaces internal to the building. The fireplace acts as a structural support for the chimney, which is to be retained and an important part of the heritage streetscape. To ensure its retention and long-term structural health, structural engineering advice will be required to ensure its retention. Should a permit be granted, this will be included as a permit condition.

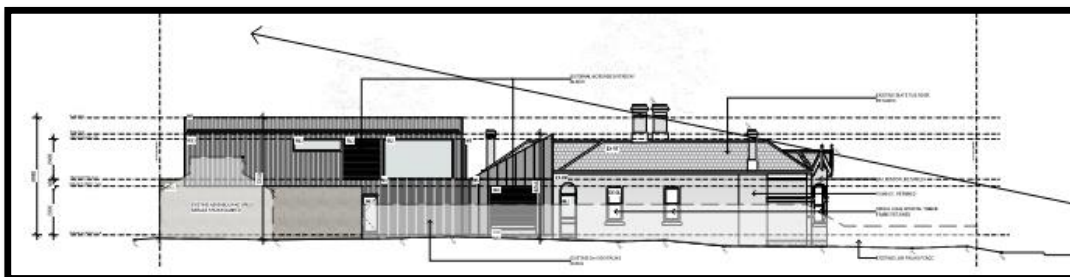
### **Suggested conditions:**

Provide structural engineering advice and methodology on how the chimney above the ensuite/ powder room will be supported within the roof space to allow the demolition of the fireplace.

### **Alterations and Additions:**

The proposed first-floor extension will be contemporary in nature and consists of a two-storey element with a maximum height of approx. 7.24m, and a ground floor linking element with a maximum height of 6.25m. The ground floor linking element will be setback 25m from the street and will read as a subservient, clearly distinguishable contemporary element to the original dwelling.

The first-floor extension will be modest in height and complies with Council's sight line test at Clause 15.03-1L. The first floor extension will be setback approx. 30.4m from the front of the street and will have limited, if any, visibility from the street.



Above - Eastern elevation depicting compliance with the sight line test and the skillion ground floor linking element

The rear extension is adequately detached from the heritage fabric and is successful in its siting to the rear of the site to not dominate the heritage fabric and is honest in its modernity, which is line with Council's Heritage Policy.

The contemporary design is consistent with Council's policy, which seeks to ensure additions honestly admit their modernity while relating to the heritage character of their surroundings. Council's Heritage Advisor notes the proposed roof form associated with the first floor is acceptable given it is significantly setback from the street.

The asymmetrical pitched roof on the first floor is a contemporary insertion. The flat roof form, which is concentrated to the rear of the existing pitched roof dwellings cuts down on unnecessary visual bulk to minimise its visibility from the street.

The ground floor linking element will include a skillion roof, which is a clearly contemporary insertion and reflective of the existing dwelling's pitched roof. The contemporary design and significant setback from the street and will have limited (if any) impact on the streetscape presentation.

Vehicle Accommodation:

A boundary wall is proposed on the southern, eastern and western boundaries.

The southern boundary wall will be generally centralised to the rear of the site and facilitates a double garage to the rear and a storeroom.

This location is supported by Council's Heritage Policy, which seeks to locate car parking structures to the rear of the site.

Materials:

The proposal includes a mix of materiality, which include brickwork, metal cladding, concrete and timber battens.

The range of colour range from mid-grey to dark grey, where visible from the primary frontage, mid-grey is used to soften any limited views of the extension from Kintore Street. The inclusion of stained black timber battens to obscure views of the glazing at the first floor is a positive insertion as glazing is a dominant element.

As discussed above, the extension is contemporary in form in that it's distinguishable from original fabric and materiality. This approach is acceptable and line with Council's Heritage Policy.

The set of plans submitted 27 September 2022 indicate that the brickwork will be *Krause Emperor 'Heritage Red'* and the rear boundary wall will be a cement render. The remaining materials remain consistent between the two sets of plans.

PROPOSED MATERIALS AND COLOUR SCHEME (ELEVATION)					
	'BR1' - NEW BRICKWORK TO MATCH EXISTING EX-BP (RED)		'CN2' - CONCRETE (OFF-FORM)		'MR' - METAL ROOF SHEETING (DARK GREY / BLACK)
	'BR2' - NEW BRICKWORK TO EXTENSION KRAUSE EMPEROR HERITAGE RED		'GL1' - GLAZING		'MR' - FOLDED METAL PAINTED (DARK GREY / BLACK)
	'CN1' - CONCRETE		'ML' - COLORBOND STANDING SEAM METAL CLADDING (DARK GREY)		'MR' - CORRUGATED ROOF SHEETING HERITAGE GRADE
	'CR1' - CEMENT RENDER		'ML' - COLORBOND STANDING SEAM METAL CLADDING (MEDIUM GREY)		'WT1' - WEATHERTEX (BLACK) WEATHERGROOVE CLADDING
			'PAV' - STONE PAVING TILE ECO OUTDOOR ANDORRA LIMESTONE		'TB1' - TIMBER BATTENS (STAINED BLACK)

Above - Material Schedule from plans submitted 27 September 2022

#### Siting:

The kitchen and living portion of the addition will be setback a minimum of 1.49m from the site's eastern boundary (associated with kitchen and living being setback). The garage and storeroom will be located on boundary, partially located adjacent to the outbuilding at 8 Kintore Street.

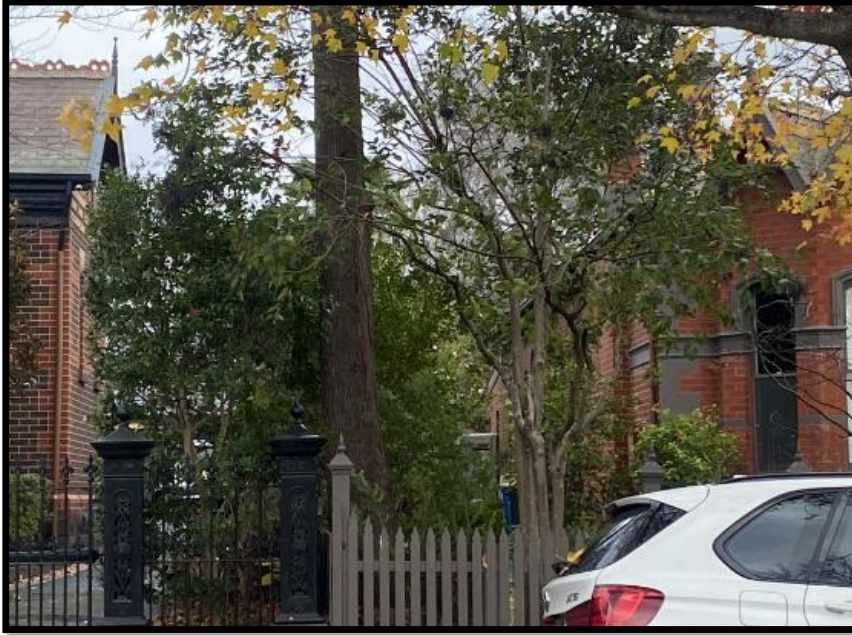
The siting of the proposal is consistent with Council's policy in that Clause 15.03-1L seeks to ensure setbacks do not detract from or dominate the heritage place. Further, the eastern setback allows the retention of the mature tree near the western boundary.

The siting is consistent with Council's Heritage Policy in that the oblique views demonstrate that limited, if any, views will be possible from Kintore Street. The oblique views remove all vegetation and clearly demonstrate that the ground floor insertion will recede into the site and not dominate the original dwelling.

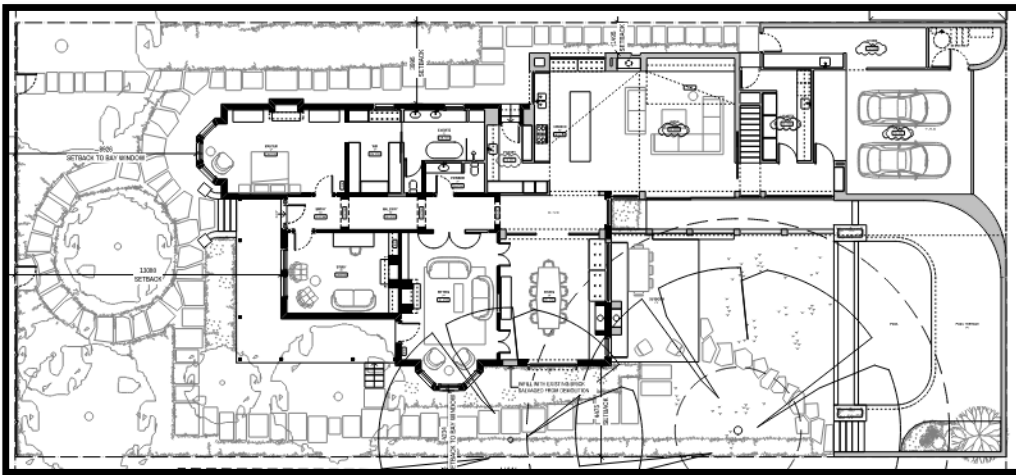


Above - Oblique views supplied by applicant





Above - Photograph from site visit



Above - Ground Floor Plan

It is noted the subject site is on a lot over 500sqm and therefore the only planning consideration is heritage.

Matters such as maximum height, minimum setbacks, overlooking and overshadowing will be assessed as a part of the siting provisions of the Building Regulations 2018 of Victoria and cannot be considered as a part of this planning application.



<b>Restoration and conservation works:</b>
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The applicant has indicated that restoration works will be undertaken associated with this application. The restoration works will be in line with the recommendations made by the Heritage Advisor, which include original tuckpointing, quoining, moulds and architraves to be reinstated on the façade of the dwelling, where required.

These restoration works are a positive outcome for the long-term conservation of the site which maintain the significance and integrity of the heritage place.

Details regarding these restoration works have been included in the plans submitted 27 September 2022. The planning permit will feature the following condition to ensure these works are undertaken:

- *Repoint northern (street facing) facade where necessary with mortar to match original in colour and composition.*
- *Tuckpoint finish the entire northern (street facing) facade with tuckpointing to match original in colour and composition.*
- *Gently remove paint/ altered surface from rendered/ painted sections of the northern (street facing) facade, ensuring render is not damaged in the process. Do not sand blast.*

<b>Clause 15.03-1L - Fences</b>
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The proposal does not seek to alter the front fence treatment.

<b>Clause 15.03-1L - Vehicle accommodation, outbuildings, and services</b>
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The proposal includes a double garage located to the rear of the site, accessed via rear laneway. This approach is in line with the preferred approach in accordance with the above policy.

The proposal includes the insertion of pavers in the front setback and side setbacks. The pavers in the front setback seek to service the existing pedestrian gate and provide a path to the rear garden. The proposed stone paving will be Eco Outdoor 'Andorra' Limestone.

The mid-grey tone of the pavers will adequately blend into the existing landscaped character of the front setback and do not detract from the landscaped character of the place or precinct.

**OBJECTION RESPONSE**

Summary of Objection	Planner's Comments
<p>Inappropriate design of rear extension within the Heritage Overlay, including:</p> <ul style="list-style-type: none"> <li>• 'Black Box' design response</li> <li>• Height of extension</li> <li>• General siting and massing of extension being excessive</li> </ul>	<p>The proposal is contemporary in nature and honestly admits its modernity, which is an approach supported by Council's Heritage Policy.</p> <p>The massing, height and siting of the proposal are also supported. Double storey additions at the rear of heritage dwellings is common within the heritage precinct, including at both adjoining sites. It is noted both adjoining sites feature double storey extensions.</p> <p>In response to heritage advice, the amended plans modify the colour of the extension to include a 'dark-grey' colour in lieu of the previously proposed black. This amendment reduces the contrast of the proposed extension with the existing dwelling.</p> <p>The proposal has a maximum overall building height of 7.24m, which sits below the height of the existing chimneys on site.</p> <p>The proposal comfortably complies Council's Heritage Sight Line diagram and the maximum allowable height under the Neighbourhood Residential Zone - Schedule 3.</p>
<p>The application will set a precedence</p>	<p>All applications received by Council will be assessed against the relevant policies on individual merits of the application.</p>
<p>Loss of views.</p>	<p>Whilst it is recognised that views may form part of residential amenity, there is no specific controls within the Boroondara Planning Scheme that protects residents' rights to a view. It is not considered that the extent of views lost or the significance of the views would warrant refusal or modification of the application.</p>
<p>Removal of trees and no arborist</p>	<p>There is no requirement for applicants to</p>

report supplied in support of application.	<p>supply arborist reports in instances where the only planning permit trigger is the Heritage Overlay. As such, Council can not consider impacts to trees associated with this application.</p> <p>It is noted that the <i>Tree Protection Local Law</i> applies to all applicable trees within the City of Boroondara.</p> <p>The applicant has an existing Local Laws Permit to remove 4 of the trees from the site. This is a consideration handled outside of the planning process.</p>
Overlooking.	<p>As the subject site is on a lot over 500sqm, overlooking is not a relevant consideration to this application.</p> <p>Compliance against all off-site amenity impact standards will be addressed during the building permit phase.</p>
Inconvenience regarding use of lane to other residents	<p>The certificate of title demonstrates the subject site has a legal access to use this lane.</p> <p>As such, the use of the laneway for vehicle access is supported. Further, Council's Heritage Policy encourages vehicle access from rear laneways.</p>
Extent of demolition	<p>The extent of demolition is supported by both Council's Heritage Policy and Council's Heritage Advisor.</p> <p>The extent of demolition does include some of the rear dwelling, these elements are not considered to be significant fabric and their demolition can be supported.</p>
Visibility of rear extension from Kintore Street & Victoria Street.	<p>The proposed extension will be setback between 25m and 30m from the Kintore Street at ground floor and first floor, respectively. The extension, at its closest point, will be more than 52 metres from Victoria Road.</p>

	<p>Site visits undertaken by the Heritage Advisor and the planning officer indicate that the extension will have limited, if any, visibility from the public realm.</p> <p>Council's Heritage Advisor required a reduction in height to the first floor and ground floor addition, which were accepted by the applicant and included in the amended plans.</p> <p>The proposal complies with Council's 'Sight Line Test' for assessing whether an extension is acceptably visible from Kintore Street.</p> <p>There is no policy that requires non-original insertions to limit visibility from adjoining sites, only the principal street frontage.</p>
Heritage Advisor has not visited the site.	Council's Heritage Advisor has visited the site and surrounds to inform their referral comments.
Council does not give adequate information to owners/applicants of dwellings in the Heritage Overlay regarding policy.	<p>Council provides substantive information regarding heritage policy which is contained within the Boroondara Planning Scheme. Council has a wealth of information on a dedicated webpage for the community to learn and familiarise themselves with heritage.</p> <p>Council is required, where necessary, to assess all applications that concern heritage against the relevant heritage policies.</p>
Damage to an adjoining property due to buildings and works within close proximity to the boundary.	Potential damage to adjoining properties is not a relevant planning consideration. This is a matter addressed during the assessment of a Building Permit application.
Noise generated from pool.	<p>Council is unable to consider the potential noise generated from domestic services normal to a dwelling as a part of this planning application.</p> <p>With respect to potential future noise,</p>

	disturbance or amenity impact, this is controlled and regulated through the Environment Protection Regulations 2021.
Design detailing of wall on boundary to rear lane.	<p>The laneway currently features numerous large structures of varied materiality within the laneway.</p> <p>The extent of boundary wall along the laneway is acceptable from a heritage perspective.</p> <p>A condition will be imposed on the planning permit to ensure that this wall is cleaned and finished to an acceptable standard.</p>
Proposal does not include any ESD principles	The only permit trigger in this instance is the Heritage Overlay. As such, minimum ESD requirements will be required as part of the Building Permit.

### RECOMMENDATION

That Council having considered all of the matters required under Section 60 of the *Planning & Environment Act 1987* and the Boroondara Planning Scheme decides to grant a **Notice of Decision to Grant a Planning Permit subject to conditions.**

## APPENDIX A - REFERRALS

### Heritage Advisor - Comments based upon s57a Plans submitted 1 June 2022

## Heritage Referral

<b>Application Address:</b>	6 Kintore Street, Camberwell
<b>Application Number:</b>	PP21/1025
<b>HO precinct:</b>	HO159 - Prospect Hill Road Precinct, Camberwell
<b>Grading:</b>	Significant
<b>Description of Proposal:</b>	Partial demolition for construction of double storey addition to the rear.
<b>Section 57A amendment:</b>	Yes
<b>VicSmart:</b>	No
<b>Relevant documents:</b>	PP21/1025 - Amended Plans s57a - 6 Kintore Street Camberwell
<b>Pre-Application Meeting or advice:</b>	No.
<b>Relevant Planning History:</b>	No.
<b>Specific Planner's Instructions:</b>	N/A

<b>Era of Building:</b>	Edwardian
<b>Statement of Significance</b>	<p>The Prospect Hill Road Precinct, Camberwell, is of heritage significance for the following reasons:</p> <p>-The areas <b>north of the railway</b> line comprise a generally <b>intact collection of late Victorian and Federation houses</b>, all very well designed and with <b>a high level of integrity to their gardens and street appearance</b>. The precinct is <b>one of the most intact and homogenous estates of this type in Melbourne</b>, rivalling the Central Park- Stanhope Street region in Malvern and the other leading Boroondara concentrations of this period, the Grace Park Estate in Hawthorn (HO152) and the Barry Street Precinct in Kew (HO143). <b>It is the foremost precinct of combined late Victorian-Federation building stock in the former Camberwell municipality.</b></p>

	<p>- Many late Victorian and Federation houses in this area have been custom-designed, giving the precinct a distinct identity (this is particularly true for areas north of Prospect Hill Road). <b>The area as a whole is marked by a general cohesion in scale, address of the streets, property dimensions, materials and detailing and fence height.</b> Though there are variations, the streets have a general uniformity in their <b>mature street tree coverage, basalt kerbs and pitching, asphalt foot paving, and driveway width.</b> Within the general precinct heavy traffic volumes have been kept to four streets in three axes: Stanhope Grove-Trafalgar Road, Prospect Hill Road, and Broadway west. The Read Gardens, a small but mature park, is a central focal point.</p> <p>-The north-western section of the Prospect Hill Precinct, the former Tara Estate (bounded by the south side of Canterbury Road, the east side of Loch Street, the south side of the Broadway and the western edge of HO159), is Camberwell's most intact and distinguished concentration of Victorian and Edwardian building stock. It was developed from 1890 following the subdivision of the land around John O'Shannessy's residence, Tara (1859, now 2 Berwick Street). The area has a high level of visual cohesion and period expression, deriving from its consistency of scale, form, materials and siting. Many buildings within the Estate are of individual distinction, having been custom-designed in variations on the prevailing Italianate and Federation styles. This area also features some interwar development.</p> <p>-The general late-Victorian and Federation character of the Prospect Hill Precinct is modulated by the former Hollies Estate along Cookson Street, which comprises an excellent and intact series of interwar designs spanning that entire period (1919-1940), and including the Christian Science Church, winner of the Victorian Architecture Medal in 1938. The interwar character of the group is enhanced by the survival of original fences, mature gardens and street surfacing, and relates well to the existing railway cutting landscape to the south.</p> <p>-To the east of the Tara Estate, the Russell Estate (bounded by Russell Street, the south side of Canterbury Road, the Broadway and Sefton Place and the railway line) was subdivided between 1888 and 1903 and was largely developed by the 1920s. Its building stock is predominantly late Victorian and Federation but also features some interwar development. At the north-eastern</p>
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	<p>corner of the Prospect Hill Precinct, Broadway and Sefton Place are generally Federation in character, and feature a number of Queen Anne villas of individual distinction.</p> <p>-South of the railway line, development is predominantly late Victorian and Federation in character and includes, in Royal Crescent/Craig Avenue, a particularly fine collection of Queen Anne villas.</p> <p>-Also south of the railway line but north of Prospect Hill Road, the former Prospect Hill Estate extends from the west side of Lorne Grove eastward. Building stock in this area is generally consistent with the late Victorian and Federation theme of the place as a whole, although there is also some interwar development.</p> <p>-The southern areas of the Prospect Hill Precinct (from the south side of Prospect Hill Road to the southern edge of the precinct) were developed for the Riversdale, Kasouka and Gladstone Park Estates from the late nineteenth century. As for the balance of the precinct, these areas are predominantly late Victorian and Federation, with some streets of particularly high integrity and with individually significant buildings. The south-eastern corner of the precinct (Brinsley and Wandin Roads and part of Riversdale Road) comprises a mix of Federation and interwar Bungalow houses, and is generally less intact.</p>
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**Velore,  
6 Kintore Street**

**Study Grading:** B  
**Precinct:** 26.01 **Streetscape:** 2  
**Construction Date:** 1901  
**First Owner:** Brooke, William Henry

**History**

William Henry Brooke, a warehousemen, was the first owner- occupier of Velore; then described as brick and of nine rooms<sup>1</sup>. An accountant, Thomas Allen, leased the house from Brooke in 1903-4, whose address was then given as Sydney<sup>2</sup>. One J. Brooke J.P. of Rathmines Road, Hawthorn acted as his agent (A Brooke family pioneered Hawthorn, see Brooke Place). George Hastings was a later resident and Frederick G. Spence was a owner-occupier in the 1930's<sup>3</sup>. Hastings, George

	<p><b>Description</b></p> <p>Like numbers one, twenty-five and twenty-six Kintore Street, this red brick house possesses the distinctive triple-gabled, asymmetrical room bay associated with the work of architect John Beswicke (see 29 Harcourt Street, Hawthorn) and copyists such as the builder, Hutchinson. A more typical but heavy cast-iron verandah turns the corner to terminate on another multi gabled thrust room bay, expressing its Edwardian nature by the bullnose roof form.</p>
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### Comparative Examples

The following Camberwell sites may be compared with this site.

69, BROADWAY, 1900-1  
 20, BRYSON STREET, 1900  
 608, RIVERSDALE ROAD, 1900  
 1, SALISBURY STREET, 1900  
 5, VICTORIA ROAD, 1900  
 11, LUENA ROAD, 1900c  
 42, BRYSON STREET, 1901  
 58, CANTERBURY ROAD, 1901  
 23, ROYAL CRESCENT, 1901  
 35, BROADWAY, 1902  
 39, PROSPECT HILL ROAD, 1902  
 169, CANTERBURY ROAD, 1903-4  
 6, LOGAN STREET, 1903  
 142, MONT ALBERT ROAD, 1904  
 7, MANGARRA ROAD, 1905-6  
 24, CHAUCER CRESCENT, 1905  
 633, RIVERSDALE ROAD, 1906-8  
 27, BALWYN ROAD, 1906  
 58, BROADWAY, 1906  
 65, MONT ALBERT ROAD, 1906  
 73-75, BROADWAY, 1907  
 31, CHAUCER CRESCENT, 1907  
 17, THREADNEEDLE STREET, 1907  
 18, PEPPIN STREET, 1907c  
 138, CANTERBURY ROAD, 1908-9  
 41, INGLESBY ROAD, 1908-9  
 10, SEFTON PLACE, 1908  
 41, INGLESBY ROAD, 1909-10  
 71, BROADWAY, 1909  
 73, BROADWAY, 1909  
 31, CANTERBURY ROAD, 1909  
 206, CANTERBURY ROAD, 1909  
 22, VICTORIA ROAD, 1909  
 1293, TOORAK ROAD, 1910-  
 8, ST. GEORGES CRESCENT, 1910  
 2, CLAYTON ROAD, 1910c  
 199, WHITEHORSE ROAD, 1910c  
 24, ALBION STREET, 1911  
 17-19, BROADWAY, 1911  
 96-98, UNION ROAD, 1911  
 24, KENT ROAD, 1912-13  
 54, BROADWAY, 1912  
 35, MATLOCK STREET, 1912  
 648, BURKE ROAD, 1913-18  
 6, KITCHENER STREET, 1913  
 8, FITZGERALD STREET, 1915-20c  
 127, WINMALEE ROAD, 1915-20c  
 27A, ALMA ROAD, 1915  
 76, ATHELSTAN ROAD, 1915  
 347-349, WHITEHORSE ROAD, 1915c  
 353, WHITEHORSE ROAD, 1915c  
 150, WINMALEE ROAD, 1915c

### Assessment against Clause 15.03 Heritage

#### **15.03-1L Significant heritage places strategies**

*Retain significant built fabric and not normally allow demolition.*

*Permit partial demolition of significant built fabric for the purpose of additions and alterations only if the partial demolition, additions and alterations will not adversely affect the cultural heritage significance of the place and will assist the long term conservation of the building.*

*Support the demolition of non-original and non-contributory additions.*

*Ensure alterations, including restoration or reconstruction works, maintain the significance and integrity of the heritage place.*

*Encourage reconstruction of features or finishes formerly removed, only where historic evidence of original or earlier appearance can be found.*

*Ensure that materials and restoration techniques consistent with the historic period of the heritage place are used.*

*Discourage the painting of previously unpainted surfaces. This does not apply to non-original features.*

*Discourage the rendering of previously non-rendered surfaces.*

*Discourage painting in a manner that detracts from the understanding of the place, including painting in corporate colours, painting over and covering windows and the loss of contrast that provides for articulation of heritage features.*

*Discourage sandblasting of rendered, masonry or timber surfaces.*

*Discourage the introduction of architectural features, unless there is evidence that they were originally present.*

*Ensure development does not alter fabric that contributes to the cultural heritage significance of any part of a 'significant' heritage place including elements that cannot be seen from the public realm.*

*Ensure development does not obscure fabric that contributes to the cultural heritage significance of any part of a 'significant' heritage place that addresses the public realm.*

*Use materials and surface finishes that are complementary to the fabric of the heritage place.*

*Encourage the reuse of previously demolished building materials from the heritage place in the design and construction of new additions to buildings.*

*Incorporate design details that complement the design of the heritage place (including the type and form of windows, doors, architectural features and verandahs), that are:*

- Interpretive, that honestly admit their modernity while relating to the heritage character of their surroundings, or are a replication of historic forms and detailing.*
- Located and massed in a manner that does not detract from or*

*dominate significant fabric of the heritage place (through siting and massing). This should be achieved utilising a combination of setbacks, heights and physical separation as appropriate. This does not apply to commercial buildings.*

- *Located to the rear of the heritage place, where possible.*
- *Sympathetic with heritage fabric of the place rather than any 'non-contributory' elements of the place.*

#### **Discussion:**

##### Demolition:

The proposal seeks to demolish:

- A door in the eastern elevation
- A portion of the rear, south-eastern roof and walls below
- Windows and some wall fabric in the rear southern wall
- Windows and some wall fabric in the rear western wall
- An existing pool and shed in the rear garden.

The relevant considerations for demolition are:

- Retain significant built fabric and not normally allow demolition.
- Permit partial demolition of significant built fabric for the purpose of additions and alterations only if the partial demolition, additions and alterations will not adversely affect the cultural heritage significance of the place and will assist the long term conservation of the building.
- Support the demolition of non-original and non-contributory additions.

Significant fabric at the place pertains to the “*distinctive triple-gabled, asymmetrical room bay associated with the work of architect John Beswicke (See 29 Harcourt Street, Hawthorn) and copyists such as the builder, Hutchinson. A more typical but heavy cast-iron verandah turns the corner to terminate on another multi gabled thrust room bay, expressing its Edwardian nature by the bullnose roof form*”.



***Above: Subject site as seen from across the street.***



***Above: 29 Harcourt Street, Hawthorn. Source: Domain.com***

The proposed extent of demolition retains all of the above-mentioned significant fabric, and the majority of contributory fabric over the front of the property, including a full roof form for the extent of the majority of the original dwelling.

Removal of the door in the eastern elevation is supported on the basis that the door is contributory (not significant) fabric, which is located at the rear of the property beyond the principal front rooms and is not visible from the public realm. It is noted that the door enclave will be retained, and the door replaced with a contemporary door, therefore maintaining an interpretation of the original side entry and layout of



the place.

Demolition of the rear south-eastern hipped roof is in keeping with the heritage policy which allows some demolition of **significant** fabric if the significance of the place is not affected. It is also noted that the rear chimney is not represented on the roof plan however approximately 5metres of roof will be retained beyond the rear of the chimney, and a new hipped roof constructed in this area.



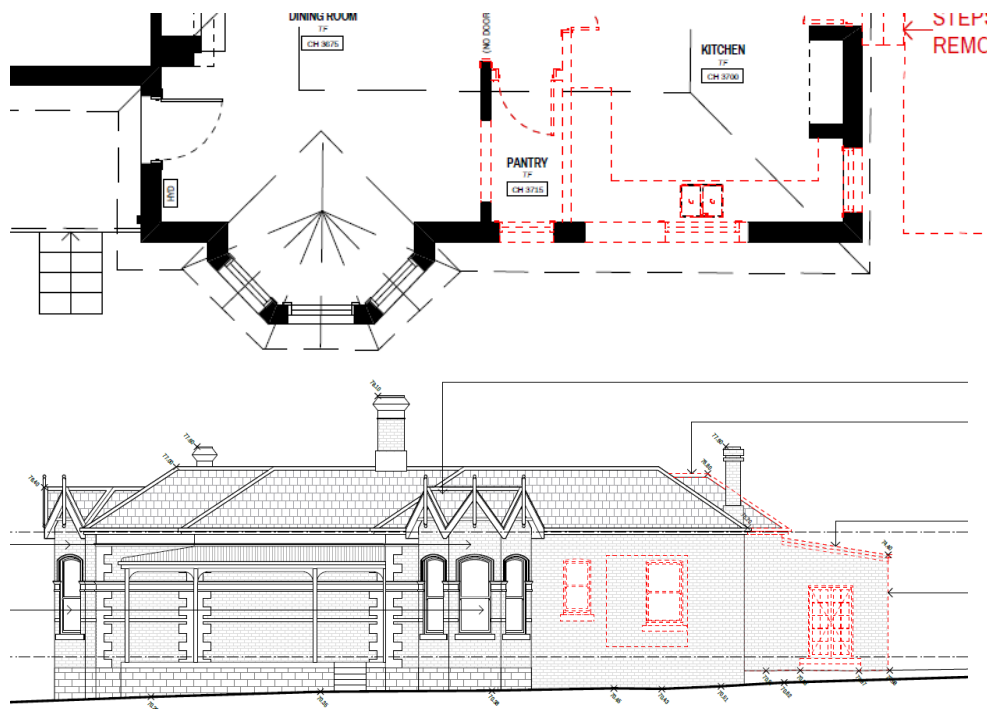
***Above: south-eastern rear roof as seen from north-eastern oblique view on Kintore Street.***

Removal of fabric on the southern elevation is supported on the basis that it is not **significant** fabric and is not visible from the public realm.

Partial demolition of the rear south-western wall is supported on the basis that the fabric is contributory (not significant), setback beyond the significant bay window with gable ends and would have limited, if any visibility from the public realm.



**Above: Subject site as seen from the northwest with western gabled bay window circled. Windows on the western wall behind projected gable bay window would have limited, if any visibility.**



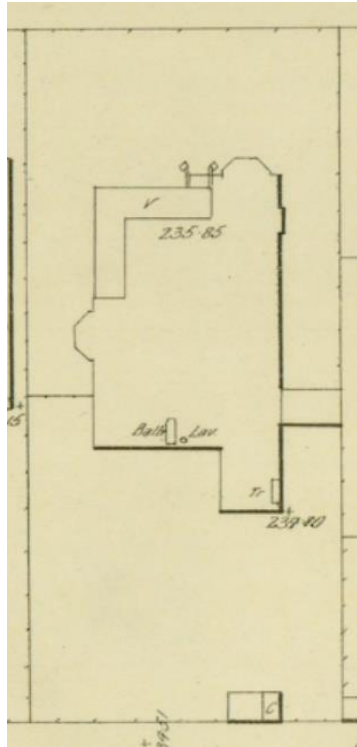
**Above: Extract from proposed demolition drawings showing windows and wall fabric to be removed beyond the projected bay window.**

Removal of the pool and shed are supported. The MMBW plan for the site shows



that if a historic privy was extant it would be located where the pool is.

There are no demolition works proposed to the front of the site.



**Above: Extract from MMBW plan 1863 from 1904 showing original layout of subject site. Note location of water closet. Source: State Library Victoria.**

The proposed extent of demolition would not affect the historical significance of the place, which pertains to the architectural quality of the front of the property, especially the triple gabled projected bay windows and wrap around verandah. Importantly, a full roof form will be preserved over the front of the property, including the rear south-western hipped roof. Part of the rear south-eastern hipped roof will be removed, though replaced in part with a new hipped roof.

The extent of demolition is supported on the condition that plans are updated to show the rear eastern chimney as retained, with approximately 5metres of roof beyond.

Reconstruction/ Restoration:

There are no restoration works proposed for the front of the property.

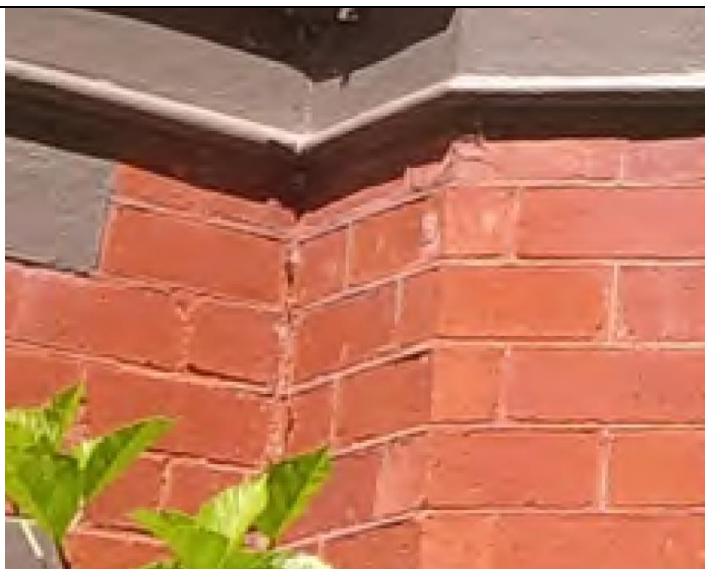
Clause 15.03L encourages “reconstruction of features or finishes formerly removed,

only where historic evidence of original or earlier appearance can be found.”

The front façade could be enhanced by reinstating a tuck-pointed finish, evidence of which is evident on the existing façade.

In conjunction with removing garden beds from the base of the historic brick walls and gently removing paint from the rendered quoining, string moulds, architraves and decorative moulds on the building façade - these restoration works could also help to avoid damp and salt attack issues.





***Above: detail of front façade showing some tuckpointing extant (colour to be confirmed) and unsympathetic paint over sections that would have originally been exposed stone or rendered.***

#### Alterations:

Proposed alterations include:

- Shortening the rear south-eastern hipped roof
- Replacing the rear eastern door with a contemporary door
- Blocking up one window in the rear western elevation and installing a larger, contemporary window.

These items were discussed under “demolition” as supportable.

#### Additions:

The proposal seeks to construct a double storey addition at the rear of the site.

The relevant considerations for additions are:

*Ensure development does not alter fabric that contributes to the cultural heritage significance of any part of a ‘significant’ heritage place including elements that cannot be seen from the public realm.*

*Ensure development does not obscure fabric that contributes to the cultural heritage significance of any part of a ‘significant’ heritage place that addresses the public realm.*

*Use materials and surface finishes that are complementary to the fabric of*

*the heritage place.*

*Encourage the reuse of previously demolished building materials from the heritage place in the design and construction of new additions to buildings. Incorporate design details that complement the design of the heritage place (including the type and form of windows, doors, architectural features and verandahs), that are:*

- Interpretive, that honestly admit their modernity while relating to the heritage character of their surroundings, or are a replication of historic forms and detailing.*
- Located and massed in a manner that does not detract from or dominate significant fabric of the heritage place (through siting and massing). This should be achieved utilising a combination of setbacks, heights and physical separation as appropriate. This does not apply to commercial buildings.*
- Located to the rear of the heritage place, where possible.*

*Sympathetic with heritage fabric of the place rather than any 'non-contributory' elements of the place.*

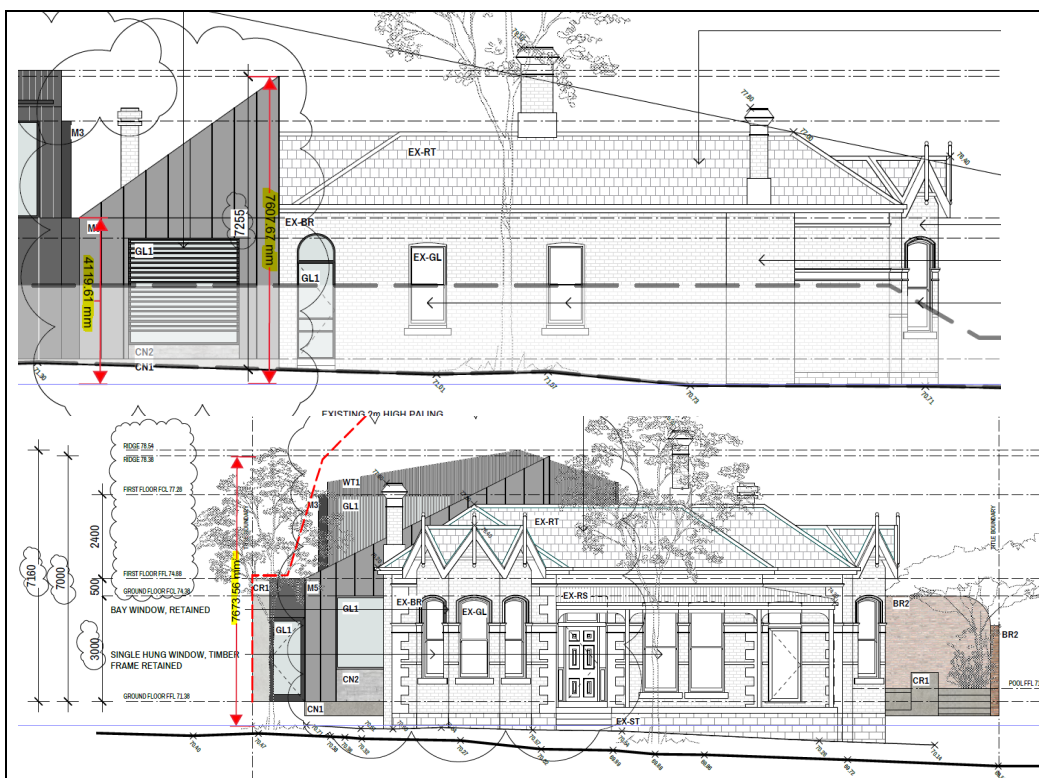
#### *Siting*

The ground level addition would have a front setback of 15.5metres from the significant triple gabled, projected façade; and 1.5 to zero metres setback from the eastern boundary. The ground level addition would have some visibility from the public realm. However, the location of the ground level addition is setback sufficiently enough to ensure that where visible from the public realm the addition would not visually dominate over significant fabric - so long as the form, height and materiality are also sympathetic (see below).

The upper-level addition is proposed to be located 20.9metres from the significant triple gabled, projected façade; 2.1metres from the eastern boundary; and 10.8metres from the western boundary. Normally preference is for upper-level additions to be located within the envelope of an existing dwelling, to ensure new works are mostly concealed by contributory fabric. However, on the basis that the upper-level addition would be located over 20metres away from the front gable (maintaining a full roof form over the front of the dwelling), and the width of the addition would be restricted to 8metres (compared to 14.8metres for the existing dwelling), the location of the upper level addition is supported on the condition that the form, materiality and height are also sympathetic.

#### *Building Height and Form*

The ground level addition is proposed to have a combined façade/roof height of between 4.1metres and 7.6metres above the GL of the existing dwelling (RL 70.71). Essentially the height of the roof over the GL addition will make it appear as a double storey addition.



**Above: Proposed eastern and northern elevations showing height of GL addition from GL of existing dwelling.**

Given the significance of the subject site, and the location of the GL addition outside the footprint of the existing dwelling (making it more visible from the public realm) it is strongly recommended that the overall height of the GL addition be reduced to match the ridge height of the existing dwelling (approximately 6.2metres, RL 77).

*Note: should the roof form be mirrored or turned around (to reduce height behind the hipped roof), then it would block northern light to Bed 1 - therefore this recommendation has been reserved.*

The overall façade and roof height of the proposed double storey addition is between 6.8metres and 7.7metres above the GL of the existing dwelling (RL70.71). Internal ceiling levels are 3metres at ground level, and between 2.4metres and 3.5metres at the upper level. 500mm has been allowed in the floor space between levels which could be reduced.



It is recommended that the overall height of the double storey addition be reduced to 7metres maximum above RL 70.71, whilst maintaining a pitched roof and therefore lower side walls. This can be achieved by removing 200mm from between GF and the remainder from the L1 ceiling height.

The proposal seeks to construct a steeply pitched roof over the GL addition, and an asymmetrical gable roof over the double storey addition. There is also a flat roof over the GL addition to the south of the site. The approach is contemporary, which is supported within reason by the heritage policy, however there is no substantial connection between the proposed roof forms and the existing significant roof forms.

- The roofs are sufficiently setback from the principal façade of the dwelling so as to avoid adverse bulk and dominance.
- More steeply pitched gabled roof forms that would interpret the significant features of the place would also be more visible. Preference is to retain the proposed roof forms for their ability to reduce the visibility of new works.

The proposal seeks to clad the GL addition in a 'medium grey' standing seam metal cladding, and the upper level in black weathergrove cladding.

The GL cladding is supported for being a contemporary material which is sufficiently setback from significant fabric and coloured to be sympathetic to the dark red bricks and grey slate roof of the existing dwelling.



The weathergrove cladding in black is supported for being a lightweight material in a colour that complements the predominately slate roofing that is seen at the upper-level of the subject site and surrounding contributory buildings. Weathergrove is also supported as a material that has some articulation in the façade (compared to a flat rendered material) which brings architectural quality to the design.

It is noted that the immediately adjoining properties both have double storey additions which are closer to the street front than the subject site. The addition at No.8 Kintore Street also projects beyond the envelope of the existing dwelling, as does the substantial addition at No.5 Kintore Street across the road. These additions have been designed as more traditional forms and use brick walls with slate or tiled roofing, all in grey or red colours. In some respects, the dark coloured additions blend into the contributory fabric so much that the contrast of the original dwelling is lost. Moreso at No.5 Kintore Street where the existing building has also been painted entirely grey. On this basis, it is preferred that the proposed additions at the subject site are contemporary, providing a stronger contrast between 'old' and 'new' and therefore allowing significant features to be clearly read. The setback of the proposed additions allows this contrast to occur without dominating the subject site.



***Above: 5 Kintore Street, Camberwell. Note that contributory features are lost by blending in with new works, including having the entire dwelling painted grey.***





***Above: 4 and 8 Kintore Street respectively. Note proximity of double storey addition to existing chimney at No.4, and traditional hipped roof form clad in tiles/slates which make it harder to distinguish contributory and non-contributory elements.***

#### **15.03-1L All places - landscape setting strategies**

*Retain or restore (where evidence can be found) original hard and soft landscape elements that contribute to the significance of the heritage place.*

*Design hard and soft landscaping to not detract from the heritage values of the*

*place.*

**Discussion:**

N/A. The front landscaping is not of particular significance and there are no works proposed to the front of the property.

**15.03-1L All places - vehicle accommodation, outbuildings and services strategies**

*Ensure vehicle accommodation and other services do not dominate heritage places.*

*Minimise new vehicle cross-overs for heritage places with narrow street frontage, where few or no crossovers exist or where rear laneway access is available.*

*Discourage the widening of vehicle crossovers, or the construction of large areas of paving or other hard surfaces in the front setback where this is not responsive to the heritage place, except in the interests of traffic safety.*

*Encourage the location of new carports, garages and outbuildings to the rear of the main building (excluding verandahs, porches, bay windows or similar projecting features) except where the character of the heritage place supports the location of carports, garages and outbuildings to the side of the heritage building behind the main front building line.*

*Encourage any new carports, garages and outbuildings that are visible from the street to use wall openings, roof forms and materials that complement the main building or the characteristics of the heritage precinct.*

*Discourage the location of swimming pools in the front setback.*

*Support rain water tanks, hot water systems, air-conditioning units and other equipment in areas visible from the street only where they will not detract from the heritage significance of the place.*

*Avoid visible roof fixtures, such as solar panels, on the principal visible roof form.*

*Ensure visible roof fixtures are aligned with the profile of the roof and not mounted on protruding frames.*

**Discussion:**

Proposal includes a garage at the rear of the site, accessed from a laneway. This is the preferred solution from a heritage perspective.

**General policy guidelines**

*Consider as relevant:*

- *Not including vegetation and fences as permanent screening when determining if a proposed addition is visible from the street for significant and contributory heritage places.*
- *Allowing the demolition of a heritage place where the place is structurally unsound and cannot reasonably be rectified. The poor condition of a heritage place should not in itself, be a reason for permitting demolition of a significant or contributory heritage place or part thereof.*

(See list of policy documents in Clause15.03-1L)

**Discussion:**

Vegetation and fencing has not been considered in determining the visibility of the proposed works.

**Final comments**

The proposed works are supported with conditions on the basis that:

- The heritage policy supports some change to significant sites.
- Significant fabric will be retained and conserved.
- The majority of contributory fabric will be retained and conserved, including a full roof form over the front of the property. Where contributory fabric will be removed or altered, it is located at the rear of the site and its removal would not affect the significance of the place which pertains to the architectural quality of the detailing at the front of the place - namely the triple gabled bay windows and return verandah.
- The proposed additions will be significantly setback on the site. Whilst they will be visible from the public realm, they will not dominate the existing dwelling (if proposed conditions are implemented).
- Where visible, the additions will be contemporary, clearly articulating what is new fabric from what is significant and contributory fabric of the Edwardian era. However, the additions will not dominate the subject site nor the broader streetscape. In fact, they will be less dominant than other additions within the immediate area.

**Recommendations**

On heritage grounds the works proposed in this application should be modified as follows prior to further consideration:

	<b>Suggested condition</b>	<b>Explanation</b>
1	<ul style="list-style-type: none"> <li>a) Update drawings to include the rear eastern chimney.</li> <li>b) Ensure approximately 5metres of roof is retained beyond the rear eastern chimney.</li> </ul>	Not shown on drawings.
2	Provide structural engineering advice on: <ul style="list-style-type: none"> <li>a) How the chimney will be supported within the roof space to allow demolition of fireplace below.</li> <li>b) How the chimney will be stabilised and supported PRIOR to demolition works starting, including repointing if necessary.</li> </ul>	Plans show removal of fireplace below. Evidence should be provided to demonstrate how the chimney will be supported, prior to demolition works occurring and the possible event that they chimney becomes unstable.
3	Reduce the overall height of the GL addition to match the ridge line of the existing dwelling.	The GL addition is outside the footprint of the existing dwelling, making it more visible. Reducing the height of the addition will reduce its prominence on the site.
4	Reduce the overall height of the double storey addition to 7metres maximum above RL 70.71 (the ground level of the existing dwelling to the east).	The double storey addition is outside the footprint of the existing dwelling, making it more visible. Reducing the height of the addition will reduce its prominence on the site.

**Suggested additional works to discuss with applicant:**

Propose reinstating a traditional tuckpointed finish to the façade, based on evidence of existing tuckpointing which is currently extent.

Propose removal of paint from rendered quoining, string moulds, architraves and decorative moulds on the building façade. Provide details on how the paint will be removed, which must be a non-abrasive method such as chemical peel and light water spray.

**Signed:**

Ruth Redden

**Dated: 16/6/22**

## APPENDIX B - PLANNING POLICIES

### Statement of Significance

The subject site is located within the Prospect Hill Road Precinct which is an area of local, historical, and architectural significance to the City of Boroondara.

The areas north of the railway line comprise a generally intact collection of late Victorian and Federation houses, all very well designed and with a high level of integrity to their gardens and street appearance. The precinct is one of the most intact and homogenous estates of this type in Melbourne, rivalling the Central Park Stanhope Street region in Malvern and the other leading Boroondara concentrations of this period, the Grace Park Estate in Hawthorn (HO152) and the Barry Street Precinct Statements of Significance Reference Document January 2018 12 in Kew (HO143).

It is the foremost precinct of combined late Victorian-Federation building stock in the former Camberwell municipality.

### Clause 15.03-1L - Heritage

#### Clause 15.03-1L 'Significant' heritage places

*To preserve 'significant' heritage places, protecting all significant heritage fabric including elements that cannot be seen from the public realm.*

*To facilitate sympathetic new buildings which extend the life of 'significant' heritage places.*

Consider the following policies (as appropriate):	Assessment
Demolition	✓ Complies
Conservation and alterations	✓ Complies
Additions and New Buildings	✓ Complies
Clause 22.03-3.5 Fences	N/A
Clause 22.03-3.6 Landscape setting	N/A
Clause 22.03-3.7 Vehicle accommodation, outbuildings and services	✓ Complies
Clause 22.03-3.8 Roads and laneways	✓ Complies

<b>Residential Zone</b>
-------------------------

The Garden Area provisions of the Boroondara Planning Scheme do not apply unless there is a permit trigger under the zone. In the case of this application, where a permit is required under the Heritage Overlay only, Garden Area will be assessed under the Building Regulations.

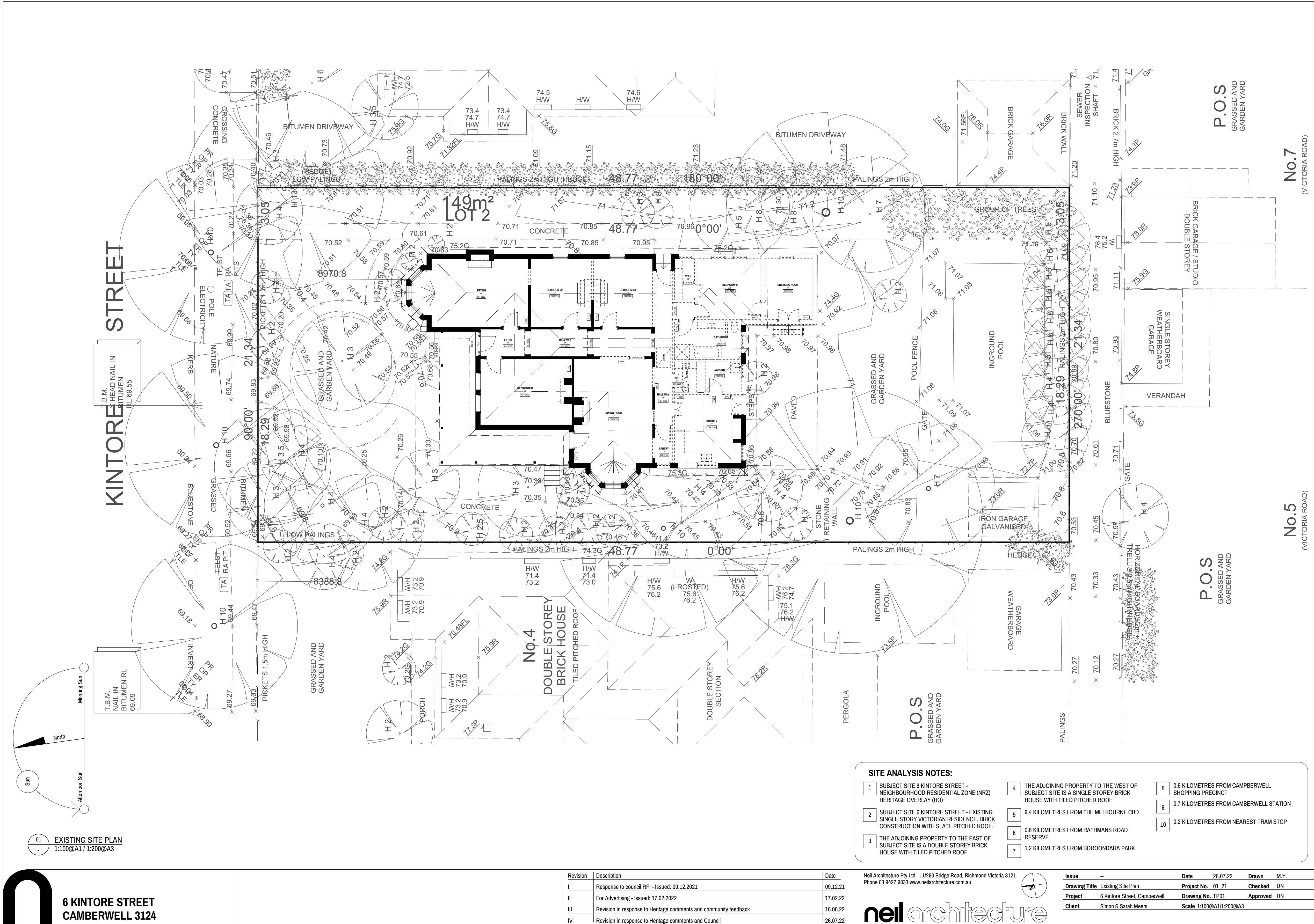
<b>Clause 32.09-9 Maximum Building Height</b>
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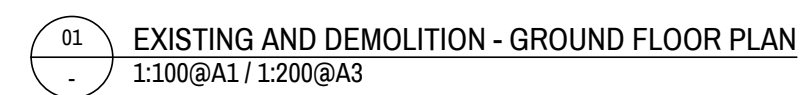
A building must not be constructed for use as a dwelling or a residential building that:

- Exceeds the maximum building height specified in a schedule to this zone; or
- Contains more than the maximum number of storeys specified in a schedule to this zone.

<b>Mandatory Maximum Building Height (NRZ1, NRZ3)</b>			
	<b>Requirement</b>	<b>Proposed</b>	<b>Assessment</b>
Building height requirement	9m	7.24m	✓ Complies
Maximum number of storeys	2	2	✓ Complies

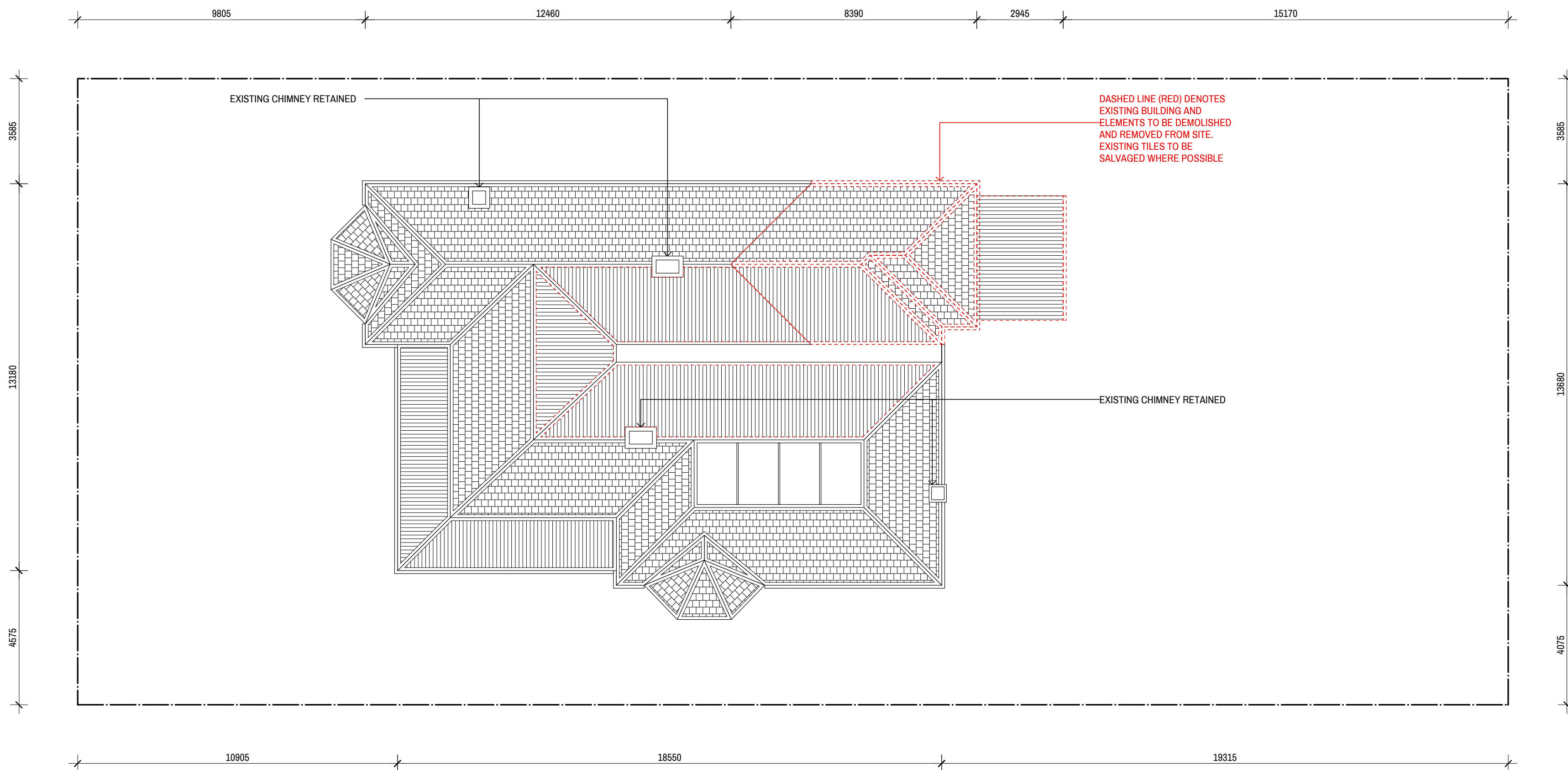






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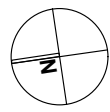
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**6 KINTORE STREET  
CAMBERWELL 3124**

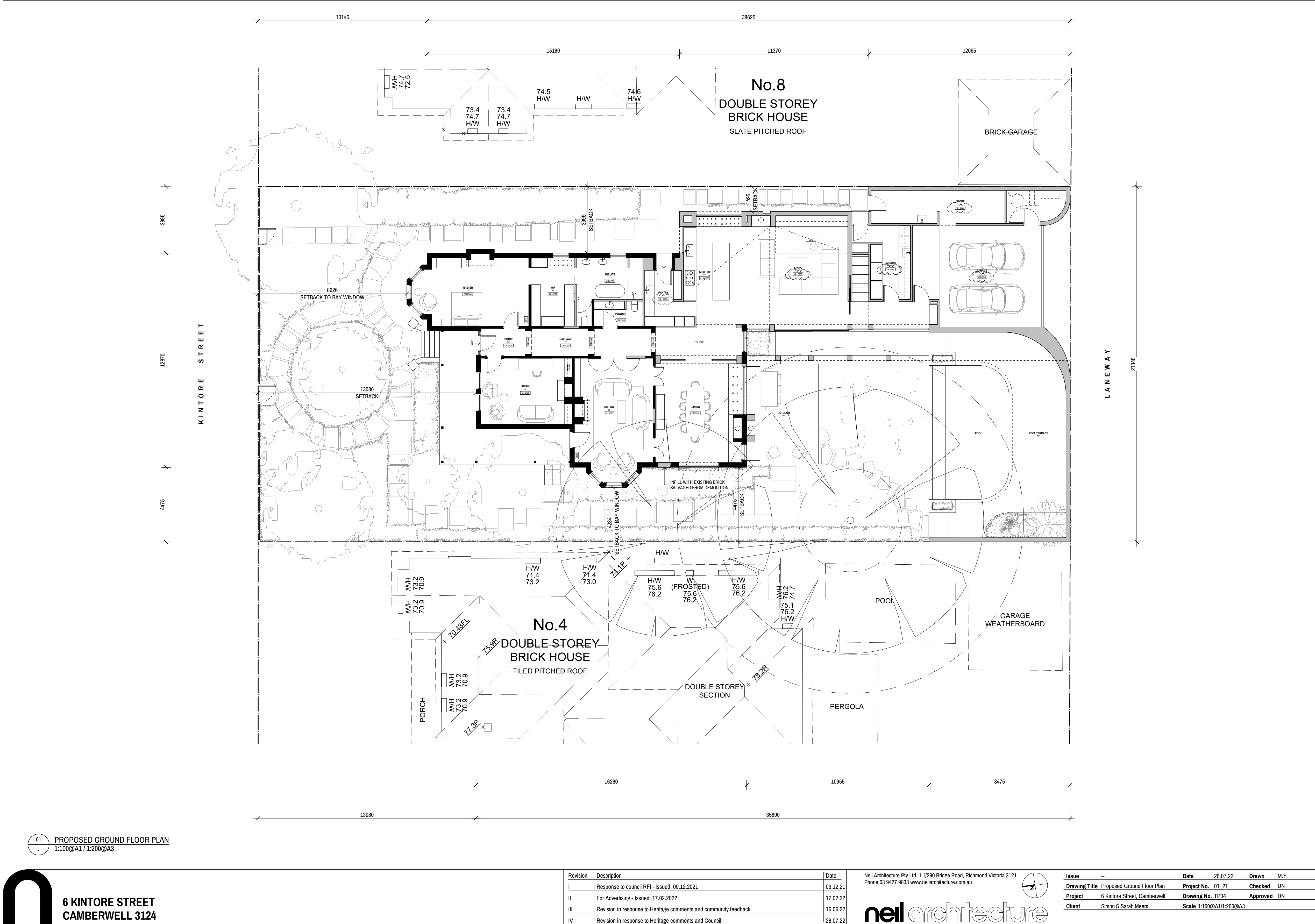
Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
II	For Advertising - Issued: 17.02.2022	17.02.22
III	Revision in response to Heritage comments and community feedback	16.06.22
IV	Revision in response to Heritage comments and Council	26.07.22

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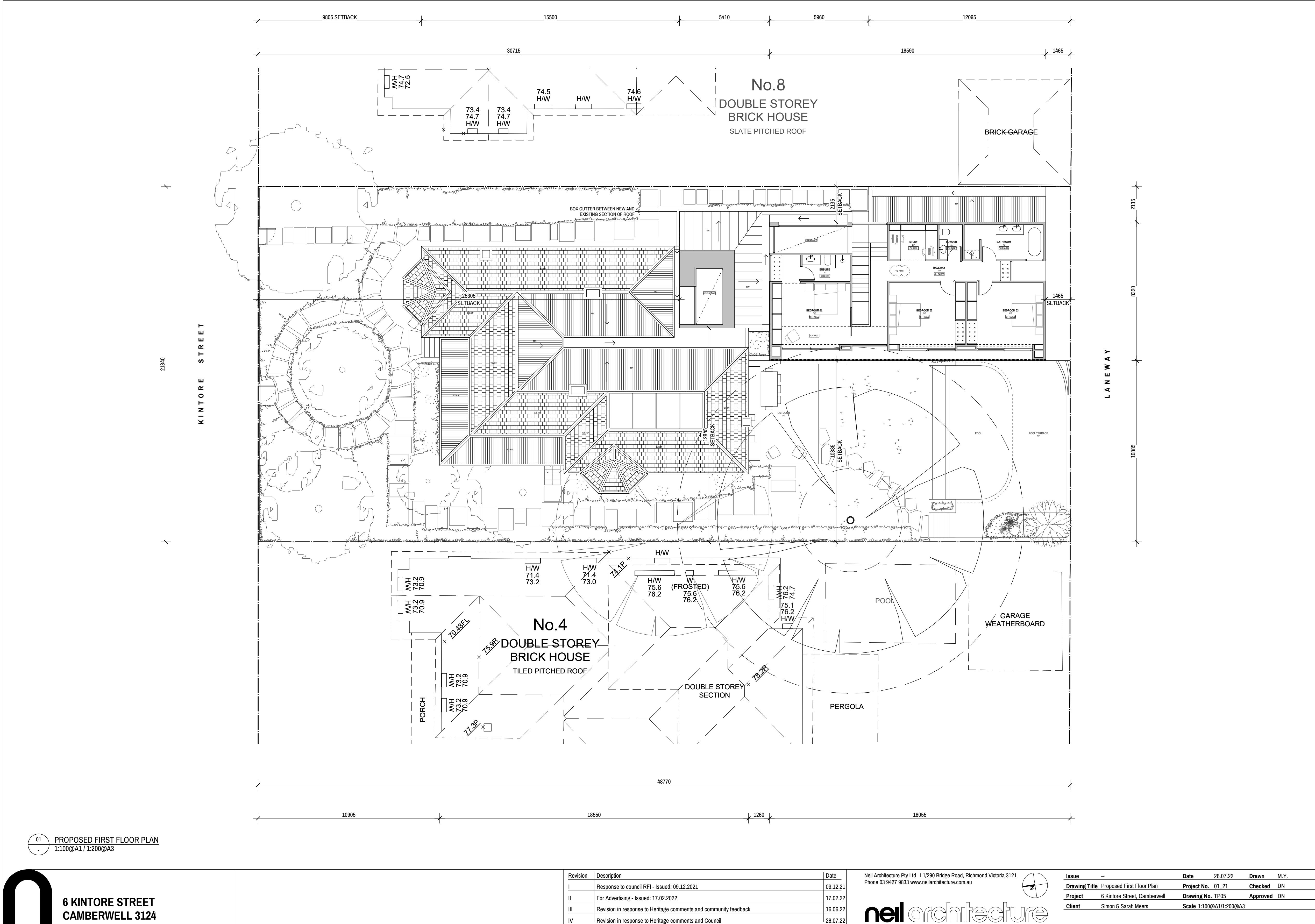
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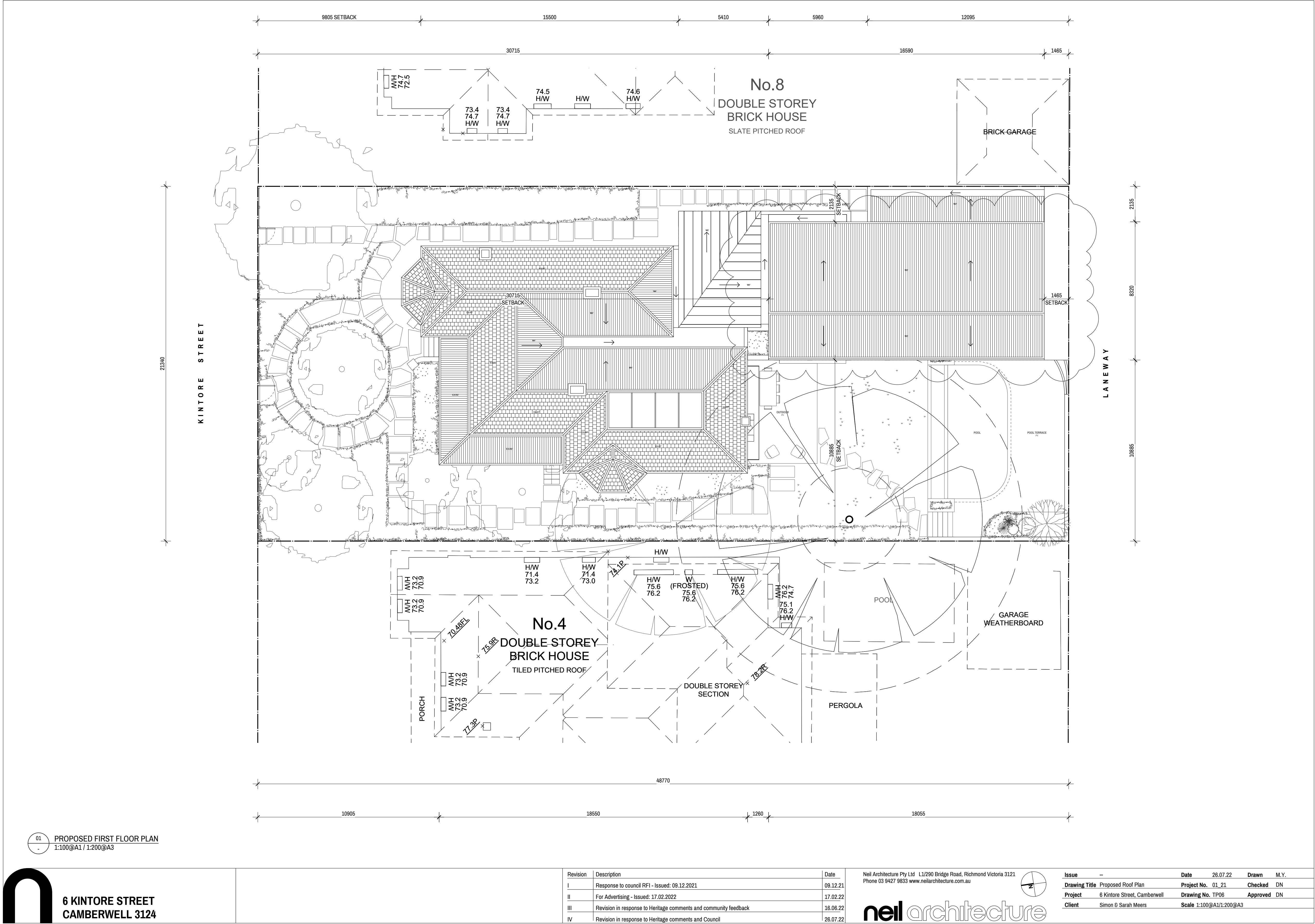


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<b>Drawing Title</b>	Existing & Demolition - Roof	<b>Project No.</b>	01_21	<b>Checked</b>	DN
<b>Project</b>	6 Kintore Street, Camberwell	<b>Drawing No.</b>	TP03	<b>Approved</b>	DN
<b>Client</b>	Simon & Sarah Meers	<b>Scale</b>	1:100@A1/1:200@A3		

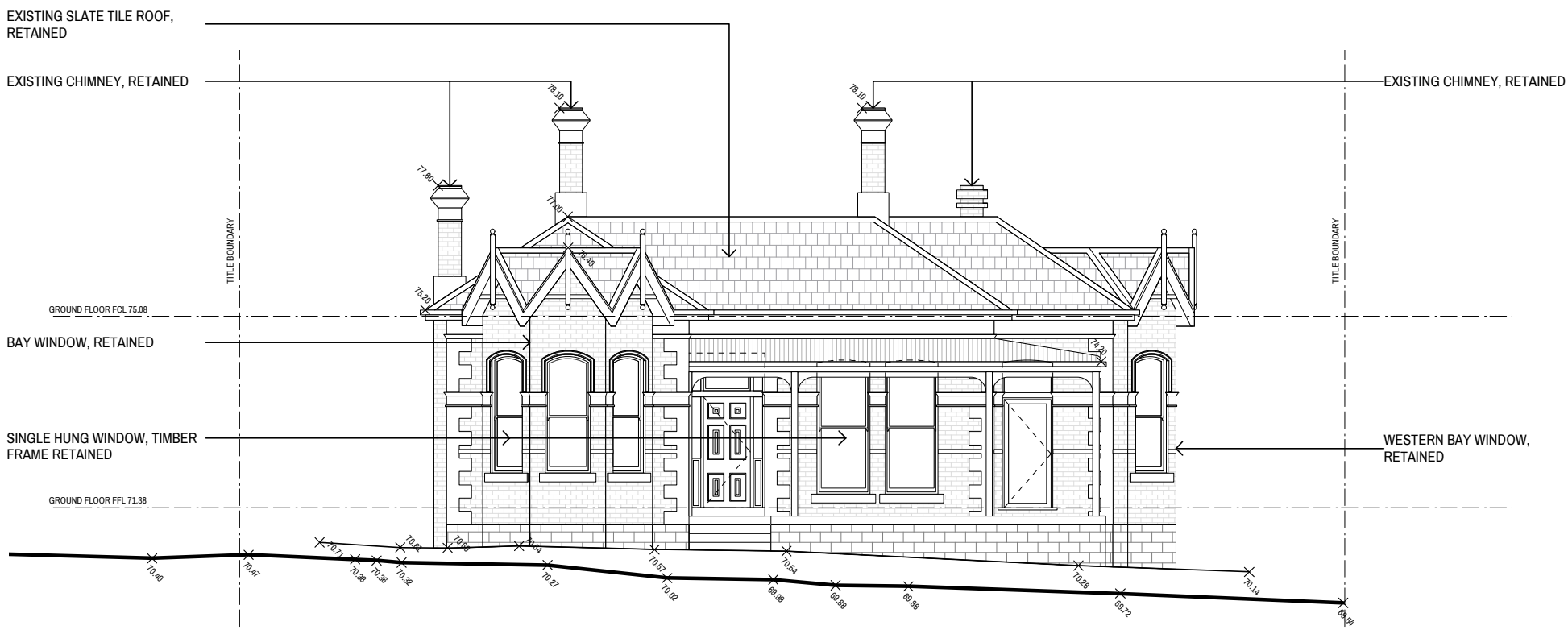




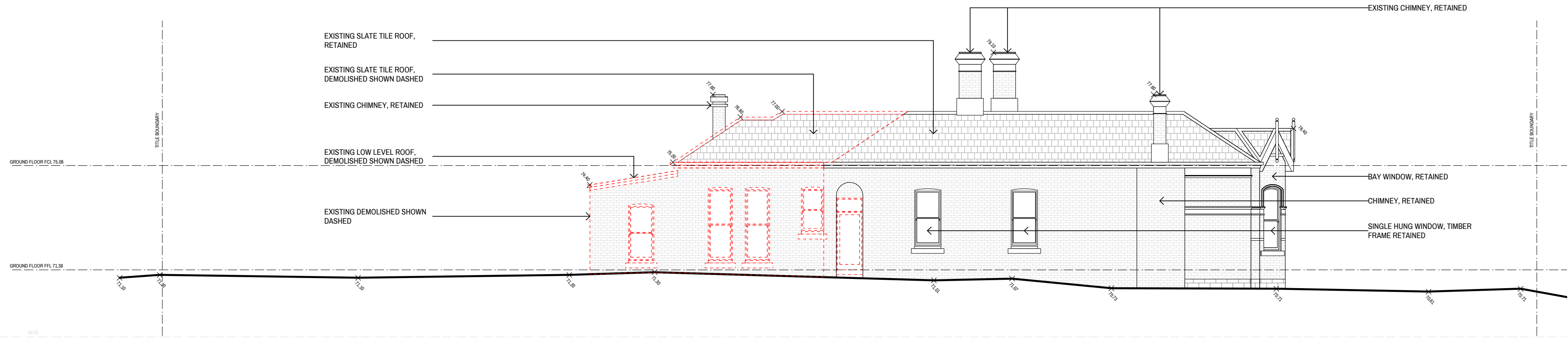




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EXISTING NORTH ELEVATION  
1:100@A1 / 1:200@A3



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EXISTING EAST ELEVATION  
1:100@A1 / 1:200@A3



**6 KINTORE STREET  
CAMBERWELL 3124**

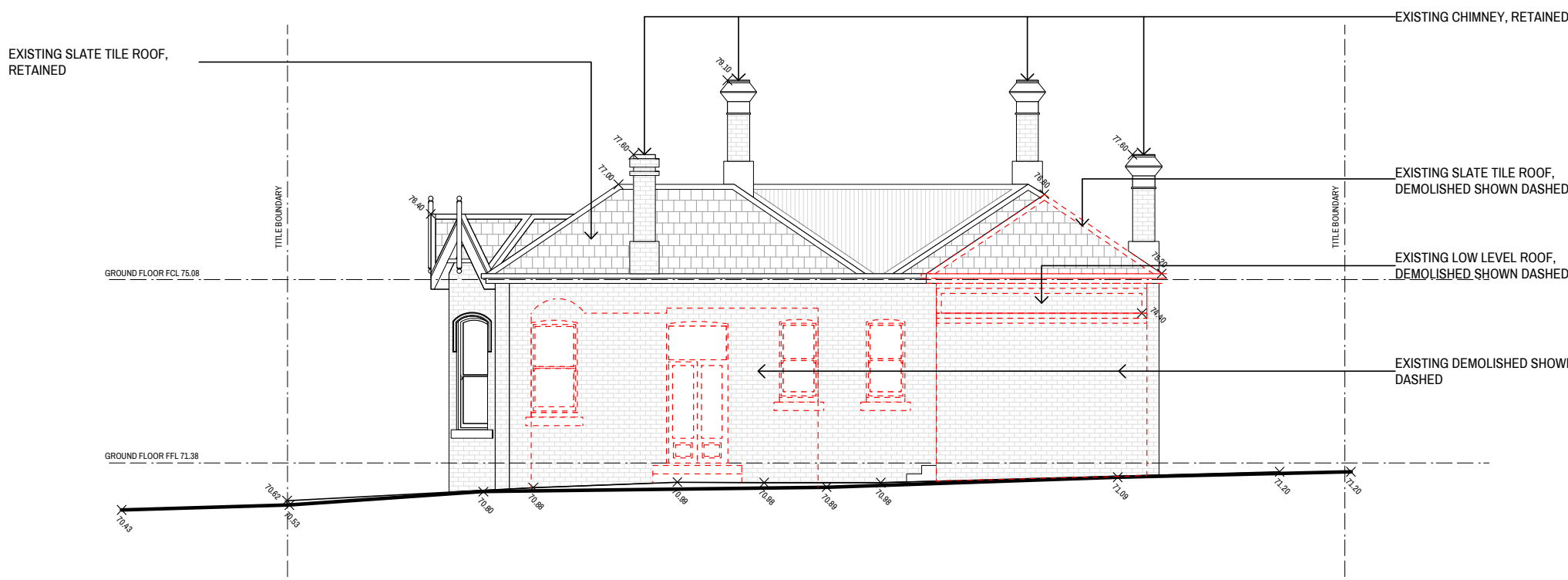
Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
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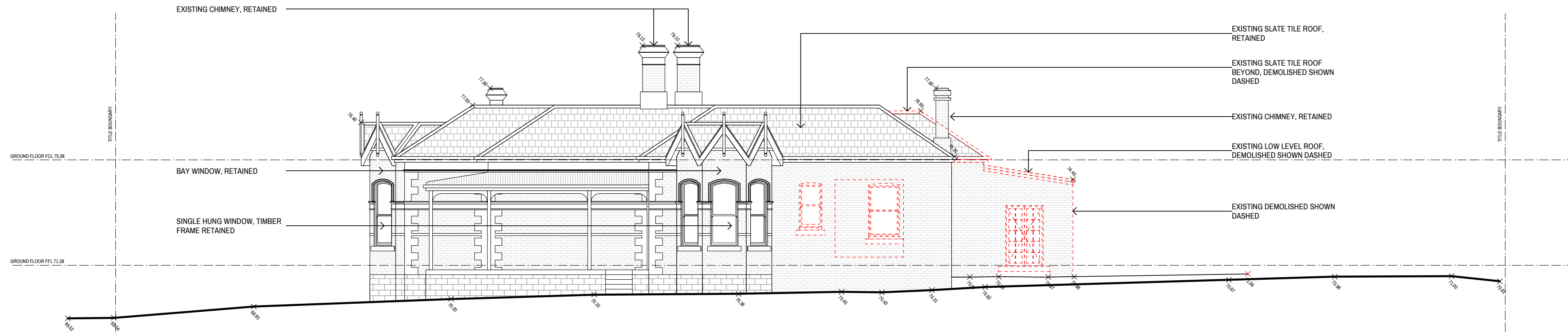
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Issue	-	Date	26.07.22	Drawn	M.Y.
Drawing Title	Existing Elevations	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP07	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		





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EXISTING WEST ELEVATION  
1:100@A1 / 1:200@A3

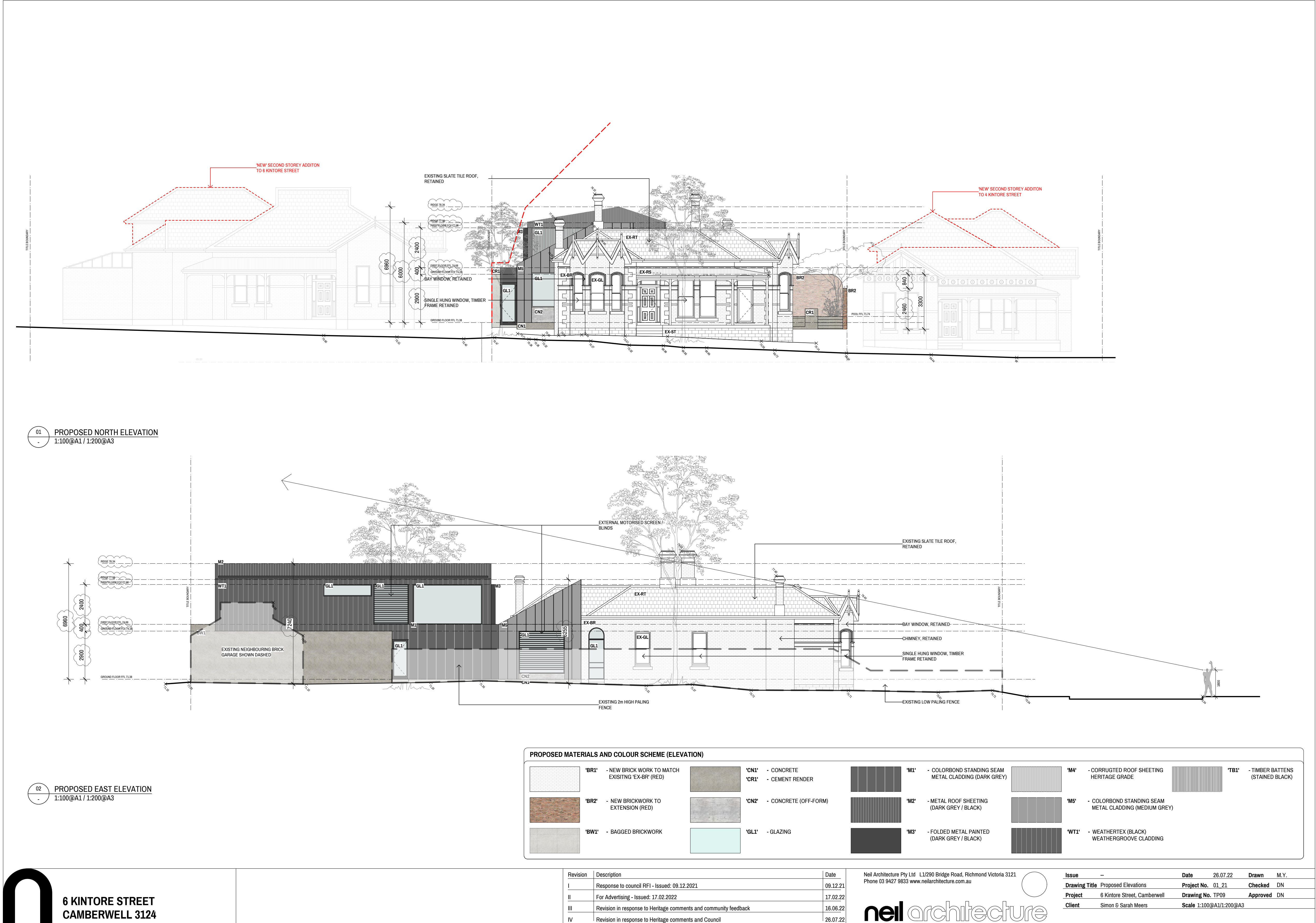
**6 KINTORE STREET  
CAMBERWELL 3124**

Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
II	For Advertising - Issued: 17.02.2022	17.02.22
III	Revision in response to Heritage comments and community feedback	16.06.22
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Issue	-	Date	26.07.22	Drawn	M.Y.
Drawing Title	Existing Elevations	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP08	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		











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NTS



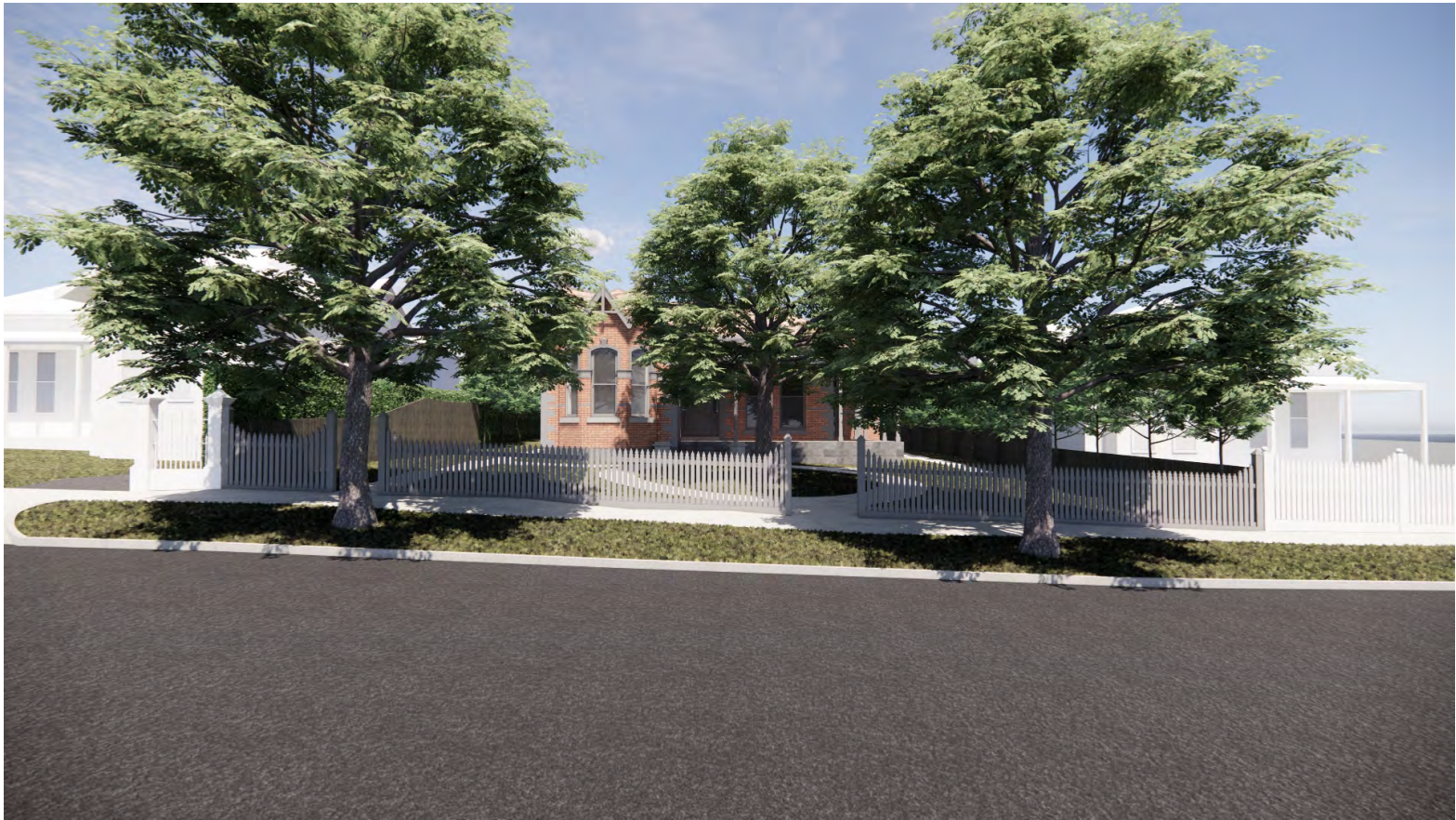
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PROPOSED STREET VIEW - OBLIQUE (NORTH)  
NTS



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PROPOSED STREET VIEW - OBLIQUE (NORTH-WEST)  
NTS



02  
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PROPOSED STREET VIEW - OBLIQUE (NORTH-EAST) WITH STREET TREES  
NTS



04  
-  
PROPOSED STREET VIEW - OBLIQUE (NORTH) WITH STREET TREES  
NTS



06  
-  
PROPOSED STREET VIEW - OBLIQUE (NORTH-WEST) WITH STREET TREES  
NTS

**6 KINTORE STREET  
CAMBERWELL 3124**

Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
II	For Advertising - Issued: 17.02.2022	17.02.22
III	Revision in response to Heritage comments and community feedback	16.06.22
IV	Revision in response to Heritage comments and Council	26.07.22

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Issue	—	Date	26.07.22	Drawn	M.Y.
Drawing Title	Proposed Street View	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP11	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		





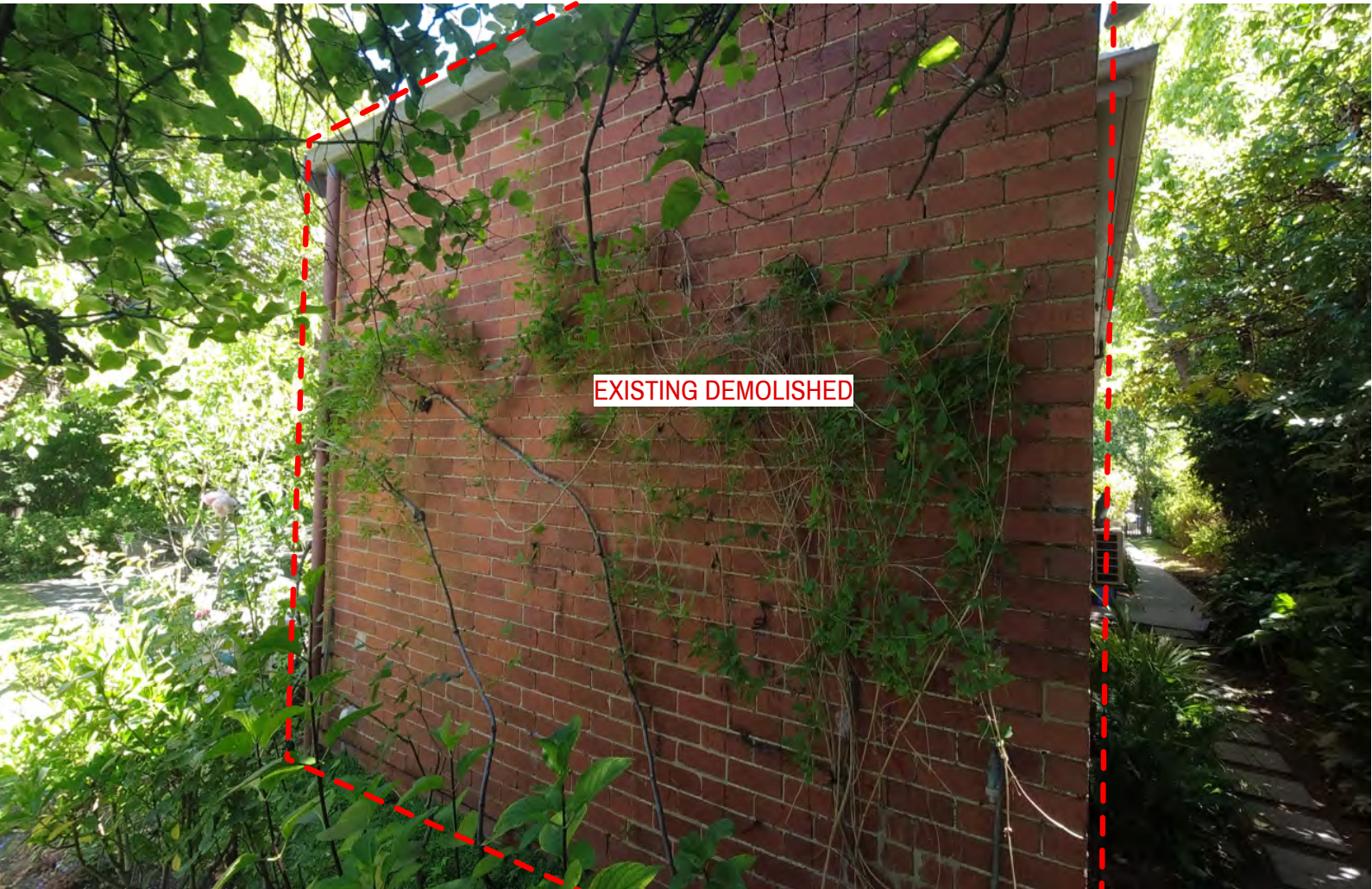
01 SITE IMAGES  
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**6 KINTORE STREET  
CAMBERWELL 3124**

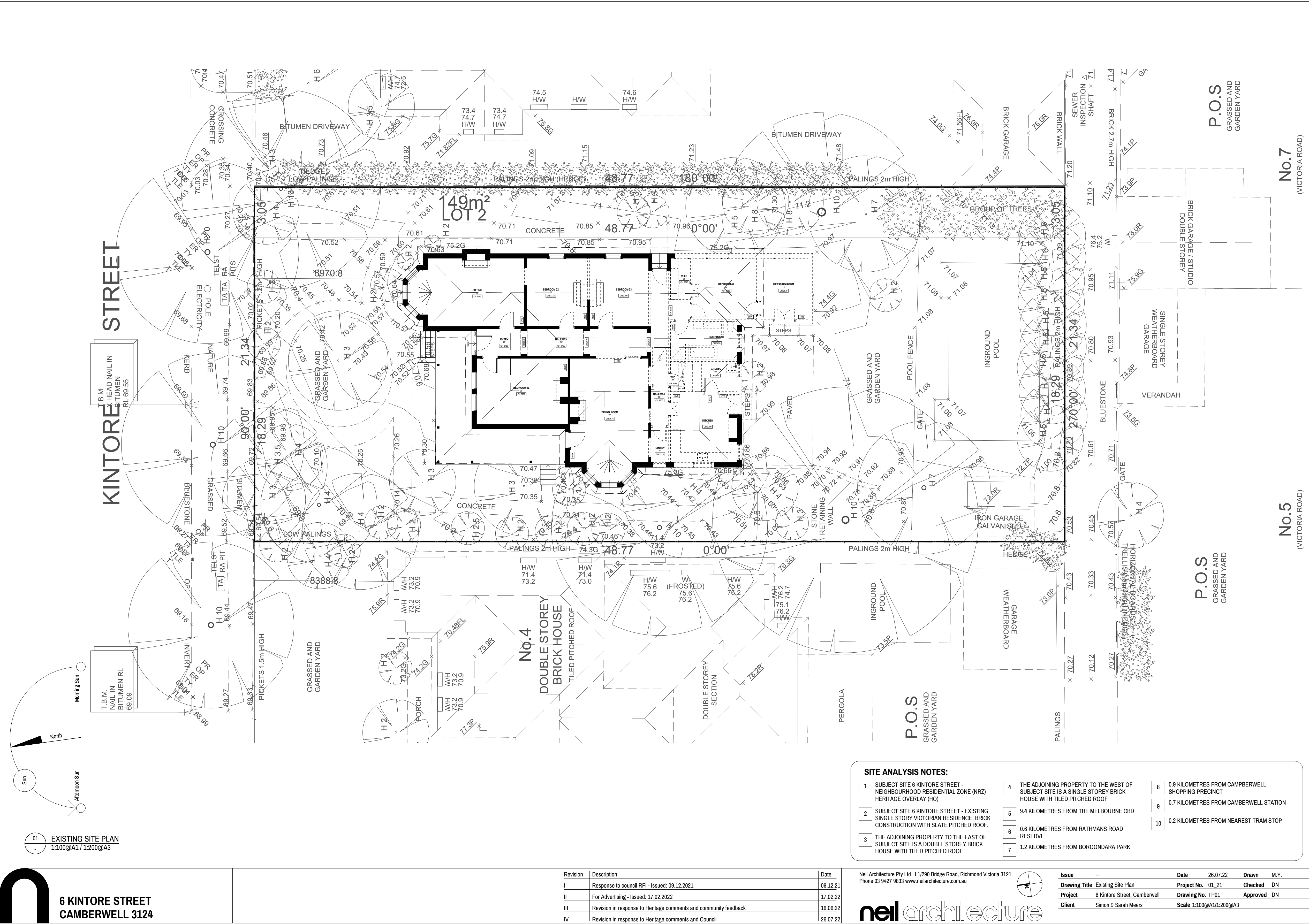
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I	Response to council RFI - Issued: 09.12.2021	09.12.21
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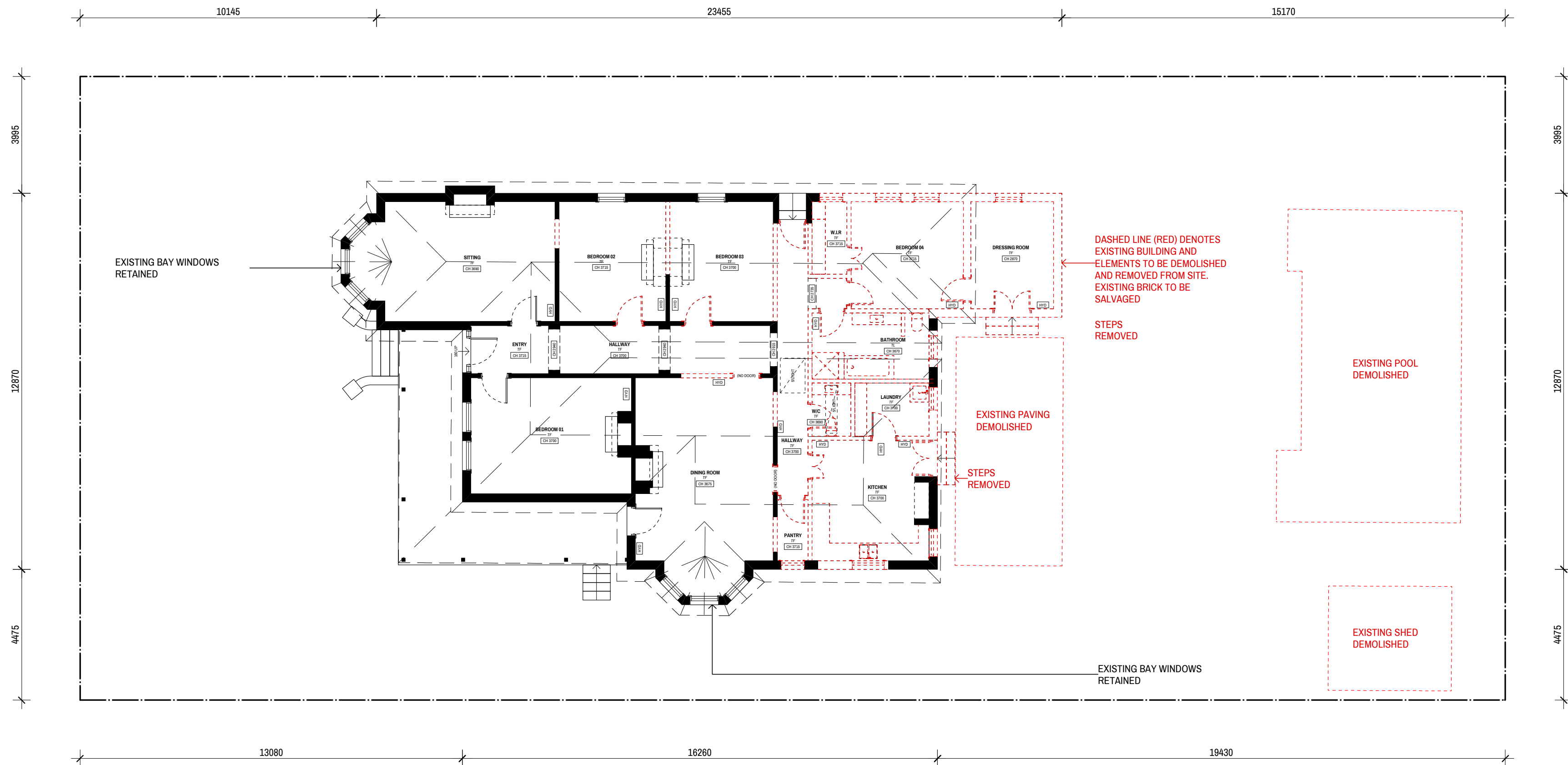
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Issue	—	Date	26.07.22	Drawn	M.Y.
Drawing Title	Site Photos	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP12	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		

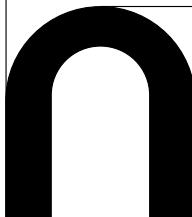








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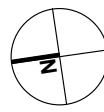


6 KINTORE STREET  
CAMBERWELL 3124

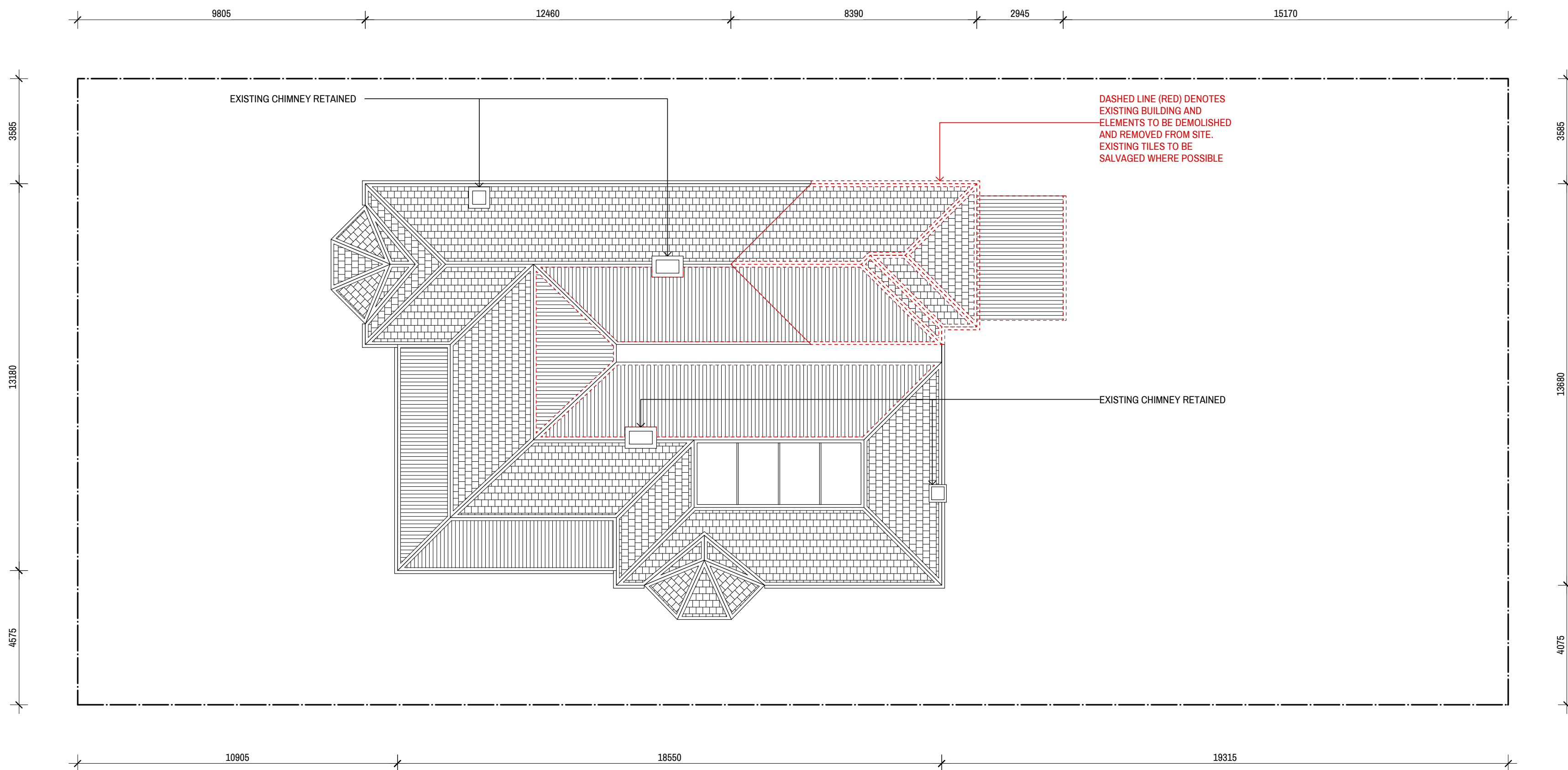
Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
II	For Advertising - Issued: 17.02.2022	17.02.22
III	Revision in response to Heritage comments and community feedback	16.06.22
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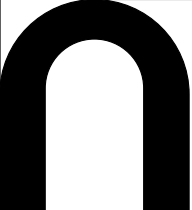
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Issue	-	Date	26.07.22	Drawn	M.Y.
Drawing Title	Existing & Demolition - Ground Floor	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP02	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		



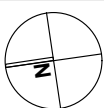
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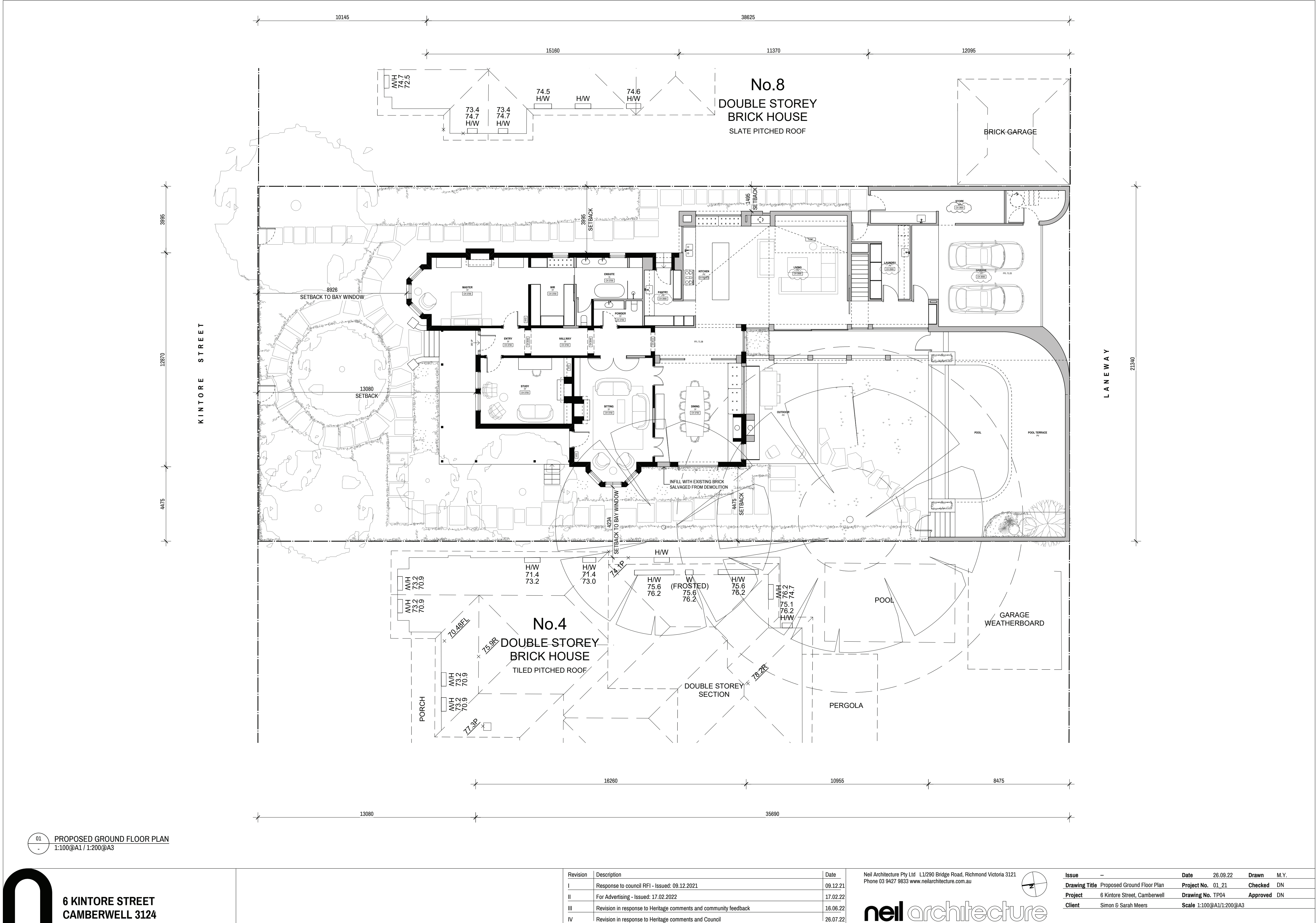
6 KINTORE STREET  
CAMBERWELL 3124

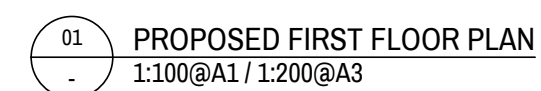
Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
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Issue	—	Date	26.07.22	Drawn	M.Y.
Drawing Title	Existing & Demolition - Roof	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP03	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		



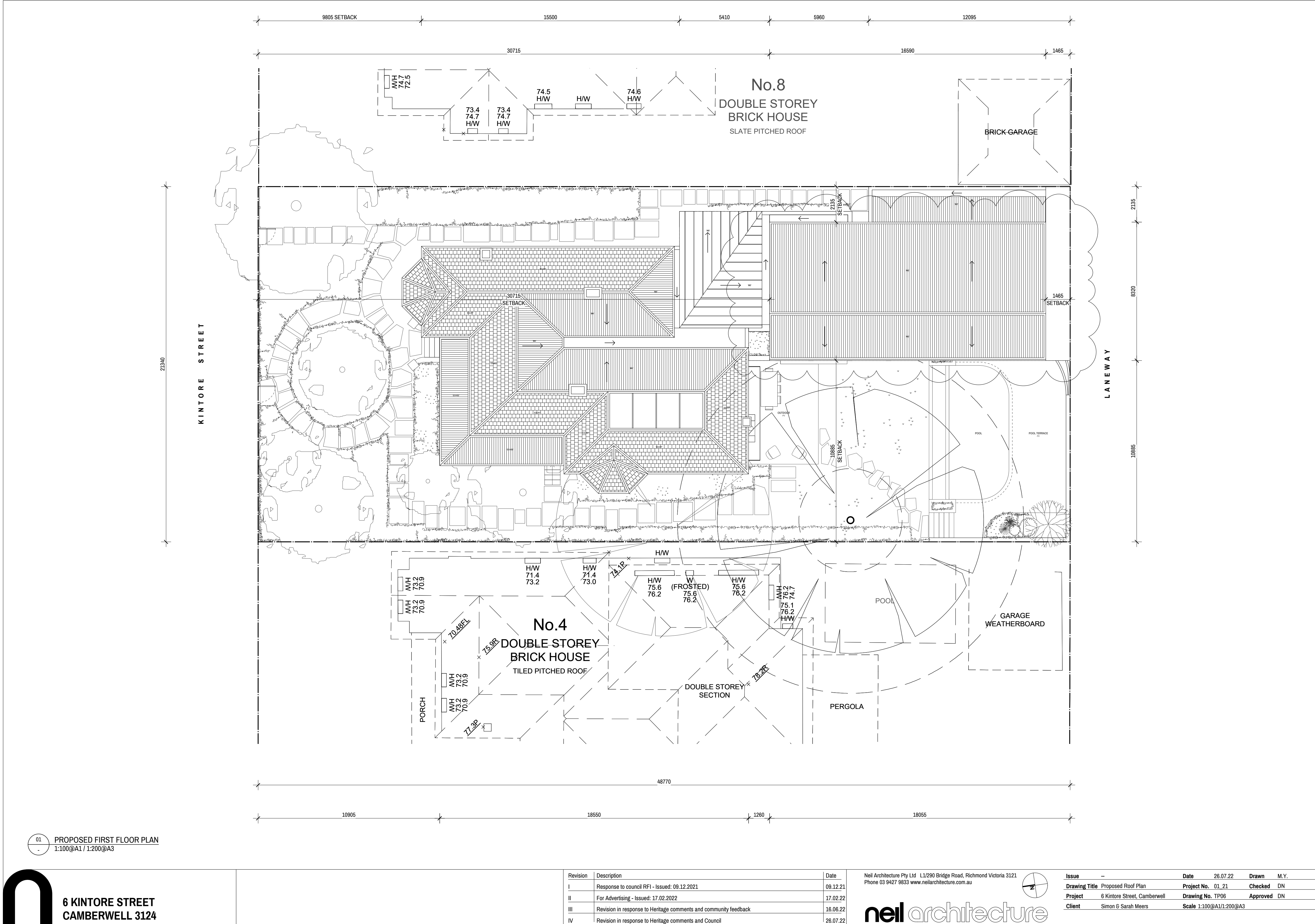


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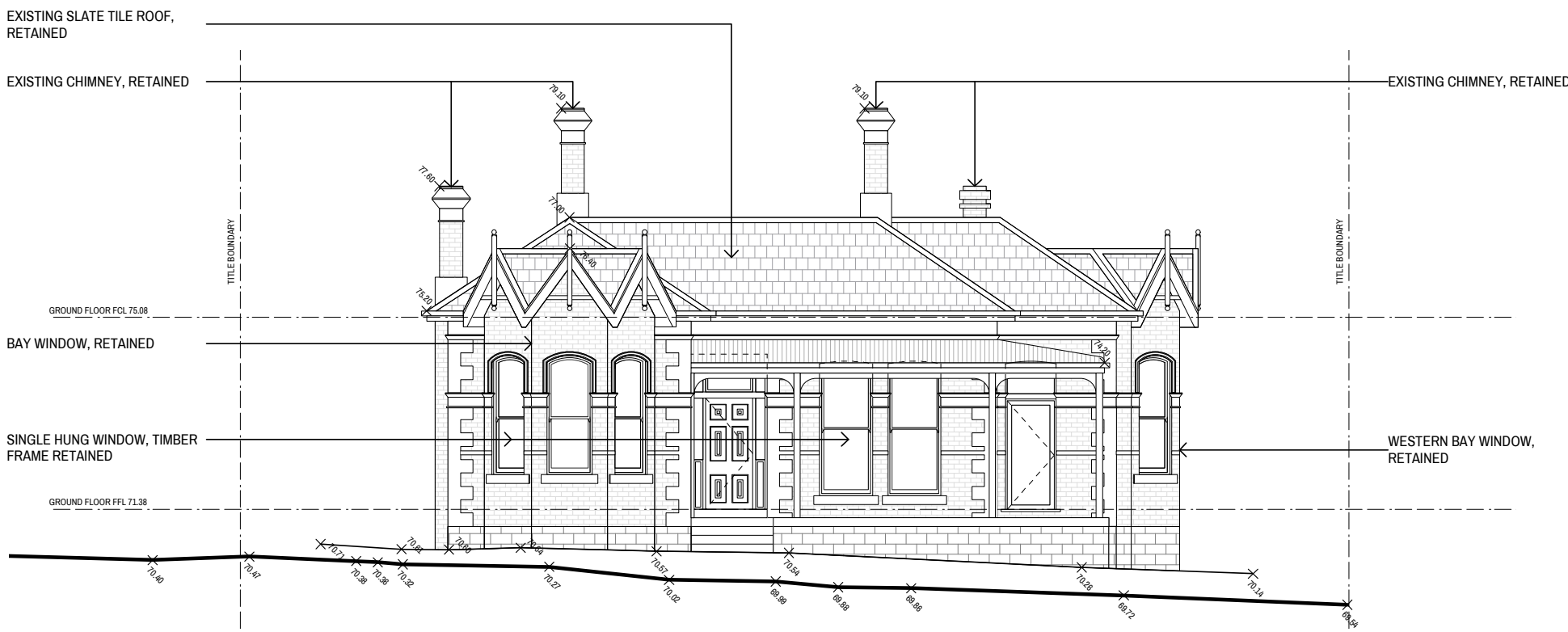


Issue	—	Date	26.07.22	Drawn	M.Y.
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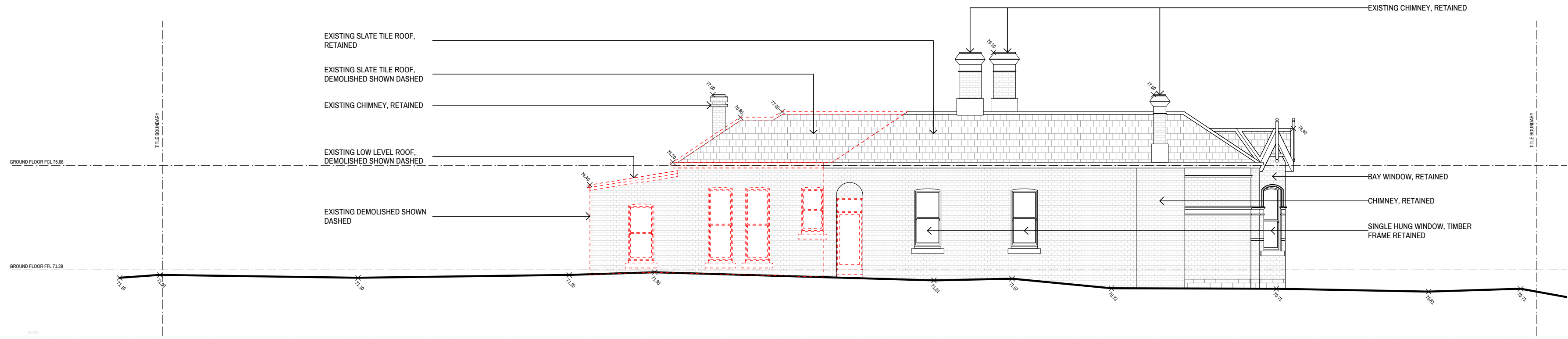




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EXISTING NORTH ELEVATION  
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EXISTING EAST ELEVATION  
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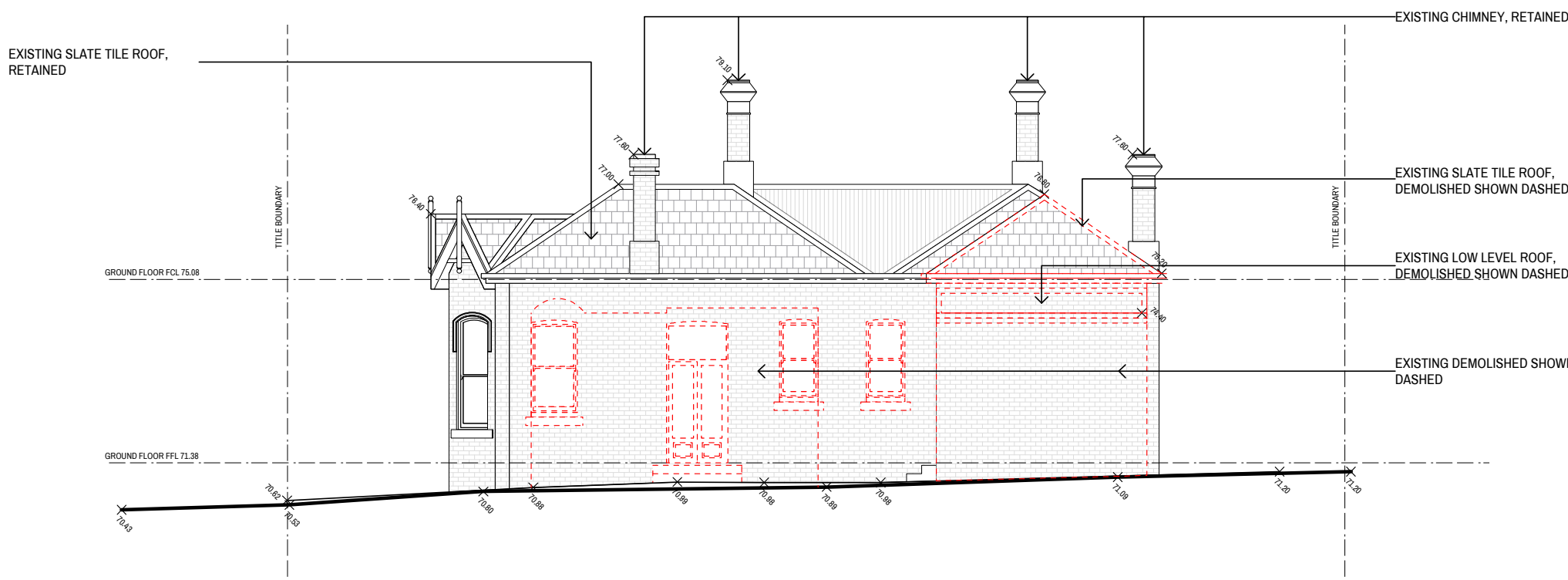
**6 KINTORE STREET  
CAMBERWELL 3124**

Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
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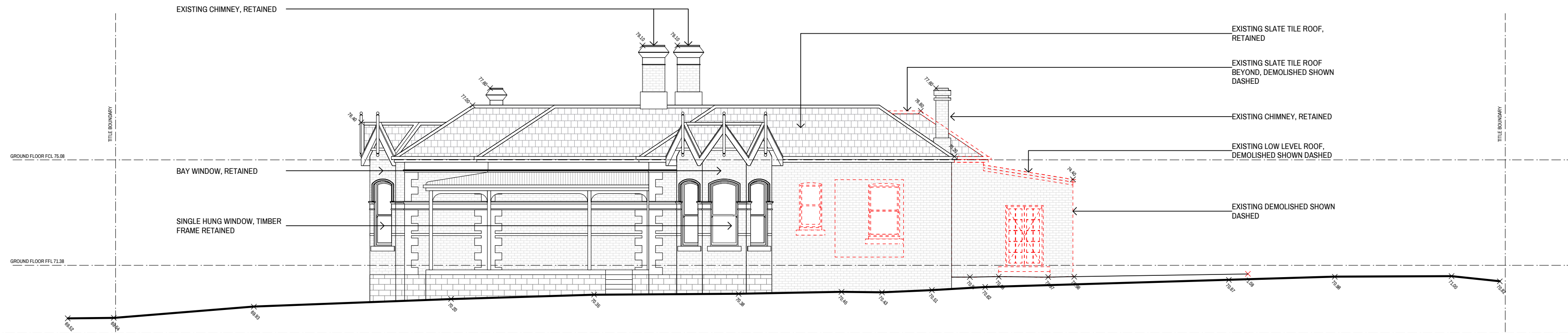
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Issue	-	Date	26.07.22	Drawn	M.Y.
Drawing Title	Existing Elevations	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP07	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		



01  
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EXISTING SOUTH ELEVATION  
1:100@A1 / 1:200@A3



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EXISTING WEST ELEVATION  
1:100@A1 / 1:200@A3

**6 KINTORE STREET  
CAMBERWELL 3124**

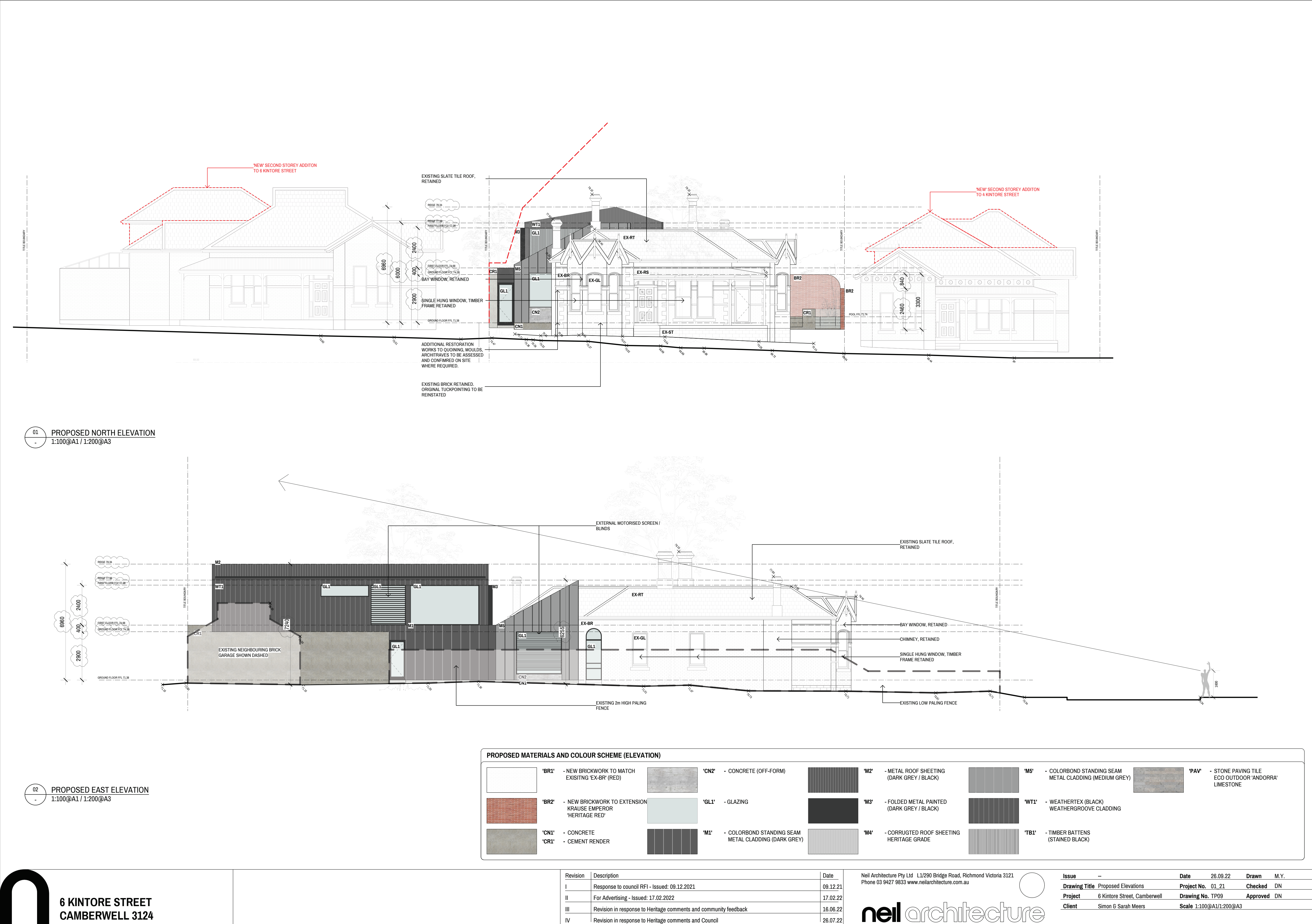
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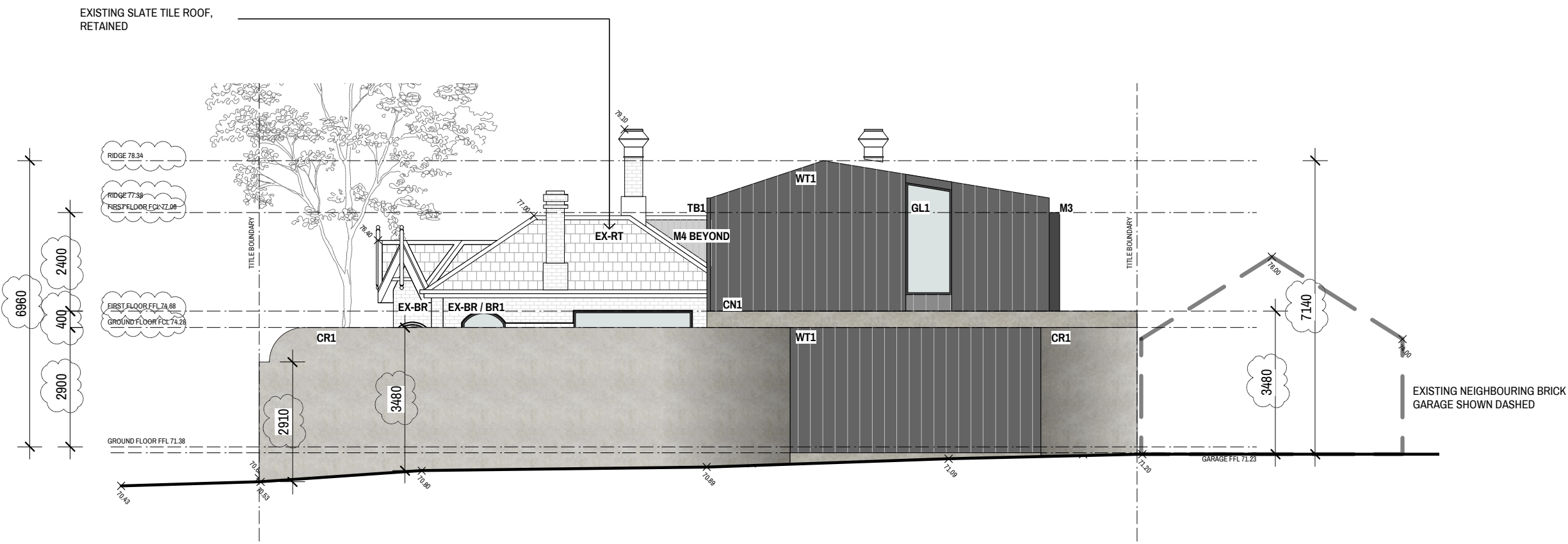
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Issue	-	Date	26.07.22	Drawn	M.Y.
Drawing Title	Existing Elevations	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP08	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		

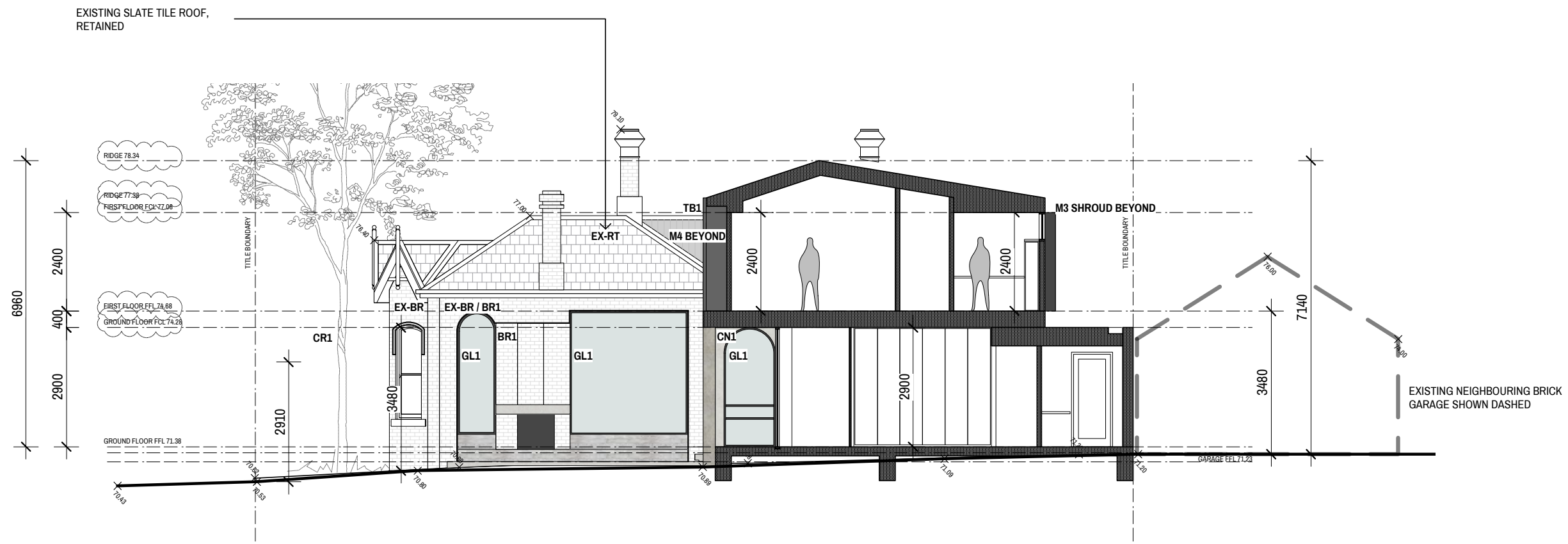




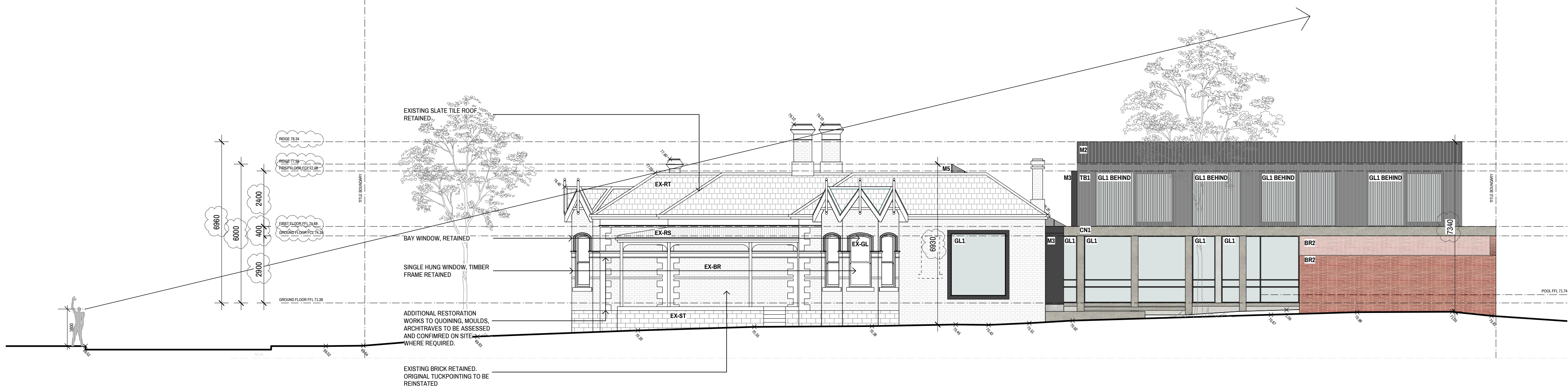




01 PROPOSED SOUTH ELEVATION  
1:100@A1 / 1:200@A3



02 PROPOSED SECTION / SOUTH ELEVATION  
1:100@A1 / 1:200@A3



03 PROPOSED WEST ELEVATION  
1:100@A1 / 1:200@A3

PROPOSED MATERIALS AND COLOUR SCHEME (ELEVATION)

	'BR1' - NEW BRICKWORK TO MATCH EXISTING 'EX-BR' (RED)		'CN2' - CONCRETE (OFF-FORM)		'M2' - METAL ROOF SHEETING (DARK GREY / BLACK)		'M5' - COLORBOND STANDING SEAM METAL CLADDING (MEDIUM GREY)		'PAV' - STONE PAVING TILE ECO OUTDOOR 'ANDORRA' LIMESTONE
	'BR2' - NEW BRICKWORK TO EXTENSION KRAUSE EMPEROR 'HERITAGE RED'		'GL1' - GLAZING		'M3' - FOLDED METAL PAINTED (DARK GREY / BLACK)		'WT1' - WEATHERTEX (BLACK) WEATHERGROOVE CLADDING		
	'CN1' - CONCRETE		'M1' - COLORBOND STANDING SEAM METAL CLADDING (DARK GREY)		'M4' - CORRUGATED ROOF SHEETING HERITAGE GRADE		'TB1' - TIMBER BATTENS (STAINED BLACK)		
	'CR1' - CEMENT RENDER								

**6 KINTORE STREET  
CAMBERWELL 3124**

Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
II	For Advertising - Issued: 17.02.2022	17.02.22
III	Revision in response to Heritage comments and community feedback	16.06.22
IV	Revision in response to Heritage comments and Council	26.07.22

Neil Architecture Pty Ltd L1/290 Bridge Road, Richmond Victoria 3121  
Phone 03 9427 8833 www.neilarchitecture.com.au

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Issue	—	Date	26.07.22	Drawn	M.Y.
Drawing Title	Proposed Elevations	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP10	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		





01  
-  
PROPOSED STREET VIEW - OBLIQUE (NORTH-EAST)  
NTS



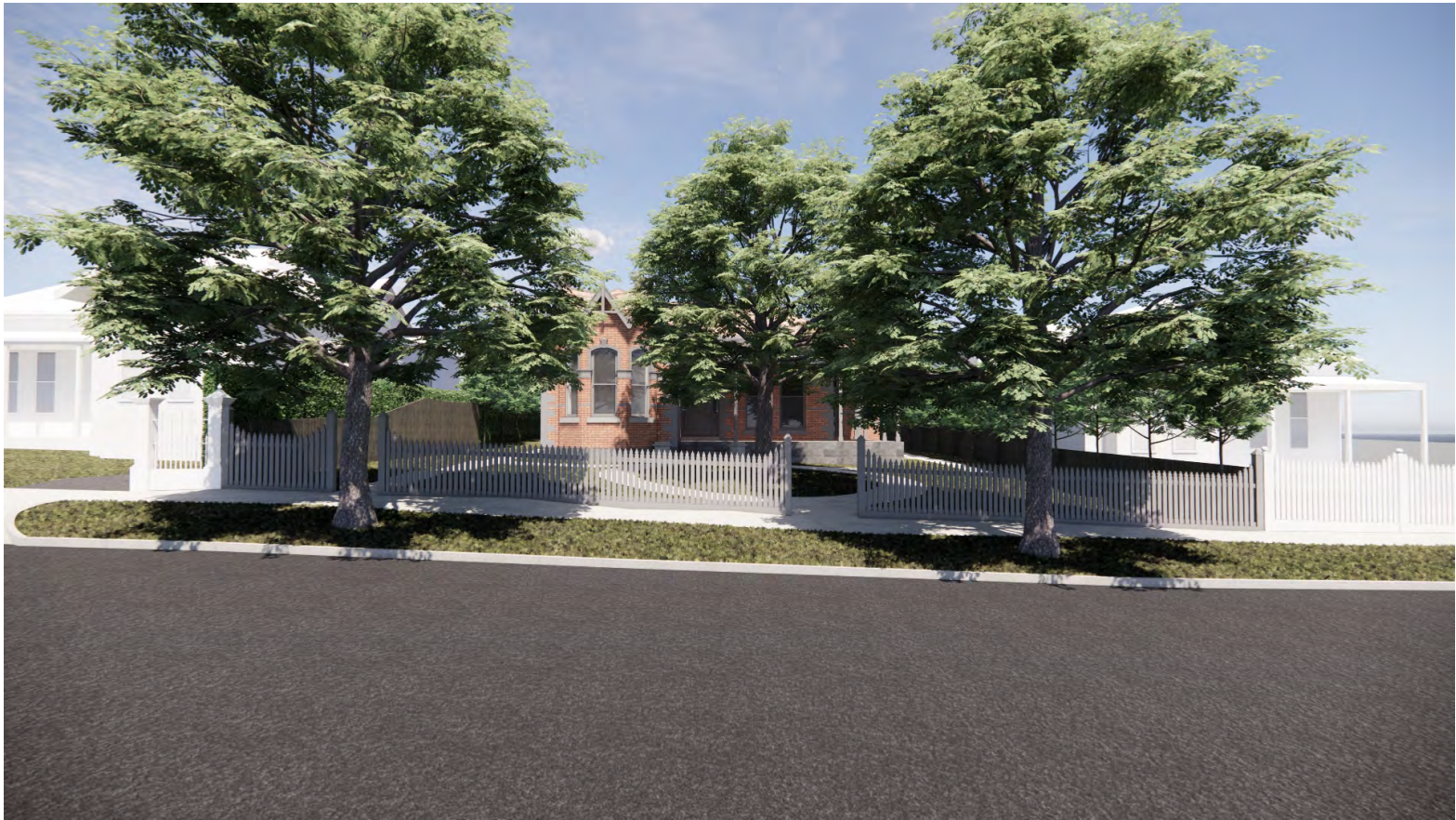
03  
-  
PROPOSED STREET VIEW - OBLIQUE (NORTH)  
NTS



05  
-  
PROPOSED STREET VIEW - OBLIQUE (NORTH-WEST)  
NTS



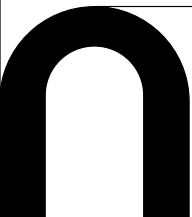
02  
-  
PROPOSED STREET VIEW - OBLIQUE (NORTH-EAST) WITH STREET TREES  
NTS



04  
-  
PROPOSED STREET VIEW - OBLIQUE (NORTH) WITH STREET TREES  
NTS



06  
-  
PROPOSED STREET VIEW - OBLIQUE (NORTH-WEST) WITH STREET TREES  
NTS



6 KINTORE STREET  
CAMBERWELL 3124

Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
II	For Advertising - Issued: 17.02.2022	17.02.22
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Issue	—	Date	26.07.22	Drawn	M.Y.
Drawing Title	Proposed Street View	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP11	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		





01 SITE IMAGES  
NTS



02 SITE IMAGES  
NTS



03 SITE IMAGES  
NTS



04 SITE IMAGES  
NTS



05 SITE IMAGES  
NTS

**6 KINTORE STREET  
CAMBERWELL 3124**

Revision	Description	Date
I	Response to council RFI - Issued: 09.12.2021	09.12.21
II	For Advertising - Issued: 17.02.2022	17.02.22
III	Revision in response to Heritage comments and community feedback	16.06.22
IV	Revision in response to Heritage comments and Council	26.07.22

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Issue	—	Date	26.07.22	Drawn	M.Y.
Drawing Title	Site Photos	Project No.	01_21	Checked	DN
Project	6 Kintore Street, Camberwell	Drawing No.	TP12	Approved	DN
Client	Simon & Sarah Meers	Scale	1:100@A1/1:200@A3		



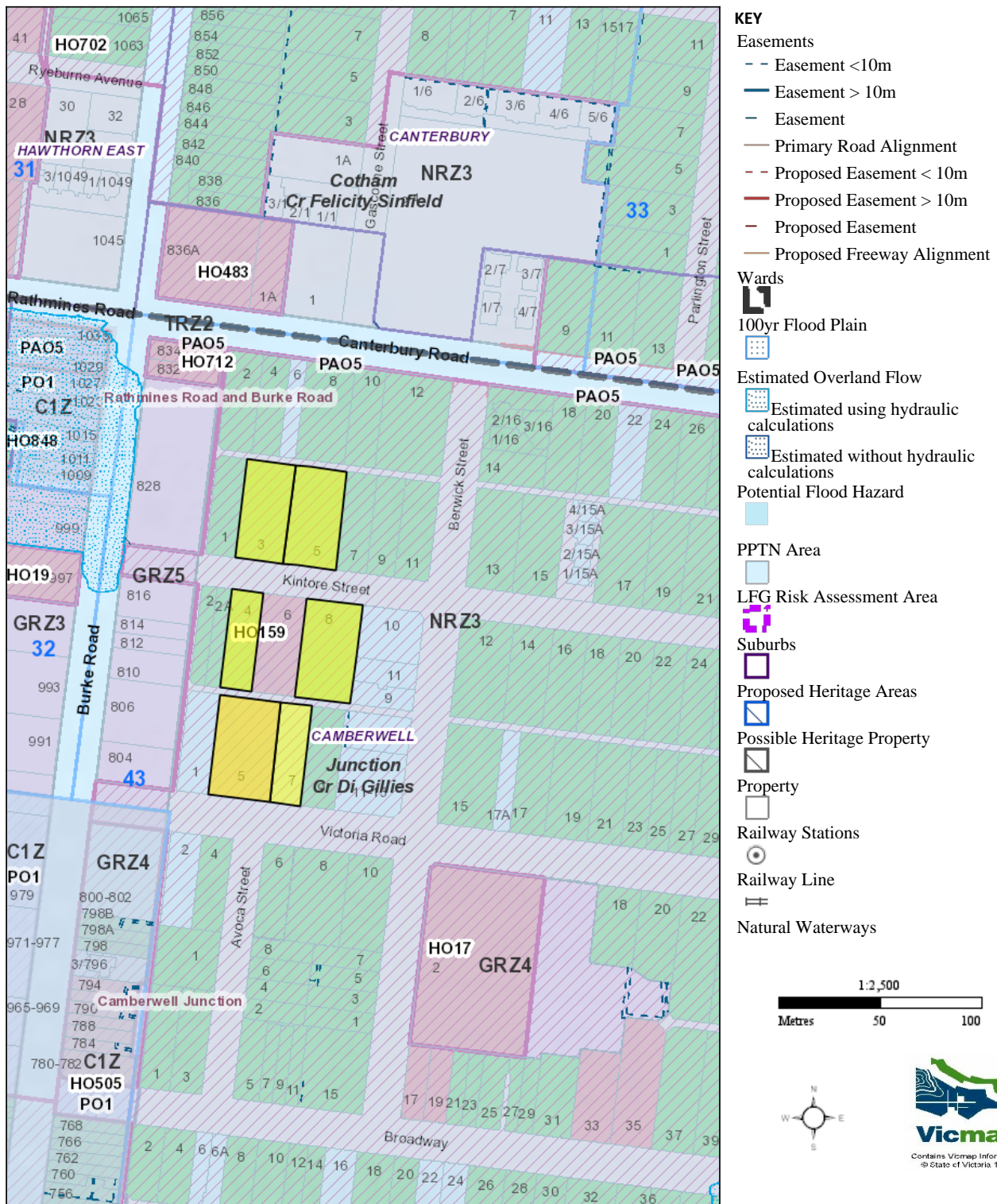
## Zoning Map



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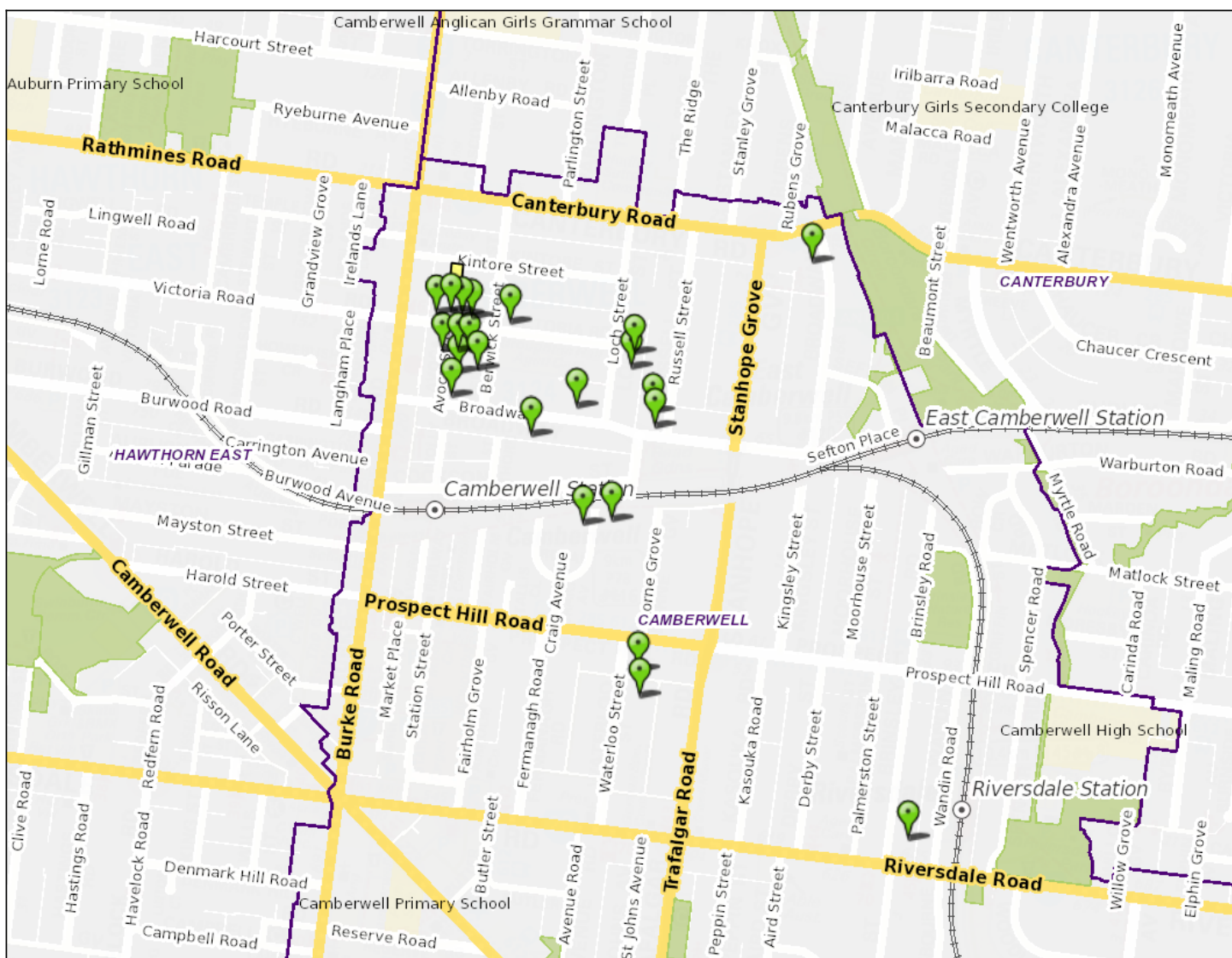
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## Properties Notified



## Location of Objectors (1 not shown on map)

3 Objectors did not provide address.



Map Produced: 16 September, 2022 15:07:58



### KEY

Suburbs



Railway Stations



Railway Line



Natural Waterways

Other Waterways

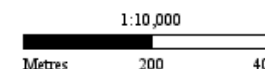
Yarra River

Melb Water Channel

Other Waterways

Yarra River

Recreation Areas



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