



Boroondara Planning Scheme Amendment C333boro

Statement of evidence by Natica Schmeder

Report prepared for the City of Boroondara

22 November 2021

Copyright GML 2021



Contents

1	Introduction	1
1.1	Purpose	1
1.2	Instructions	1
1.3	Preparation of this report	2
1.4	Reports relied upon	2
1.5	Relevant expertise	2
1.6	Qualifications and experience	3
	Declaration	4
2	Strategic basis to Amendment C333boro.....	5
3	Methodology of the Study	5
3.1	Background: Municipal-Wide Heritage Gap Study	5
3.2	Stage 1: Preliminary identification of places and precincts.....	6
3.2.1	Field survey	6
3.2.2	Delineating proposed precinct boundaries.....	9
3.2.3	Preliminary research	10
3.2.4	Consultant workshops	10
3.2.5	Stage 1 recommendations	11
3.3	Stage 2: Assessments and recommendations	11
3.3.1	Site visits	12
3.3.2	Historical research	12
3.3.3	Documentation	12
3.3.4	Comparative analysis	13
3.3.5	Assessment of significance	13
3.3.6	Thresholds for identifying individually significant places and precincts	14
3.3.7	Thresholds for gradings within precincts	15
3.3.8	Statutory recommendations	16
3.3.9	Background report.....	17
3.4	Preliminary consultation	17
3.5	Exhibition consultation	18
3.6	Summary of recommended changes	20

3.7	Conclusion	20
4	Response to Submissions—Appearing.....	22
4.1	Condition	22
4.2	Mont Iris Estate and Environs Precinct (Submissions 144, 28, 95 and 92).....	25
4.2.1	Background	25
4.2.2	Statement of Significance	25
4.2.3	12 Dent Street, Glen Iris (Submission 144)	28
4.2.4	39 Allison Avenue, Glen Iris (Submission 28).....	32
4.2.5	19 Sherwood Street, Glen Iris (Submission 95).....	35
4.2.6	1 Sherwood Street, Glen Iris (Submission 92).....	39
4.3	Glen Iris Heights and Cherry's Hill Estates Precinct (Submissions 164 and 10).....	43
4.3.1	Background	43
4.3.2	Statement of Significance	43
4.3.3	1/162 Glen Iris Road, Glen Iris (Submission 164)	45
4.3.4	5 Kerferd Road, Glen Iris (Submission 10)	49
4.4	Summerhill Estate Precinct (Submissions 79, 78, 116, 81, 78, 8, 85, 16 and 9)	52
4.4.1	Background	52
4.4.2	Statement of Significance	52
4.4.3	Frequently raised issues	53
4.4.4	40 Audrey Crescent, Glen Iris (Submission 79).....	58
4.4.5	16 Celia Street, Glen Iris (Submission 78).....	63
4.4.6	41 Hortense Street, Glen Iris (Submission 116)	65
4.4.7	53 Summerhill Road, Glen Iris (Submission 81).....	69
4.4.8	23 Hortense Street, Glen Iris (Submission 78)	71
4.4.9	54 Brandon Street, Glen Iris (Submissions 8 and 85)	76
4.4.10	40 Hortense Street, Glen Iris (Submissions 16 and 132)	78
4.4.11	63 Florizel Street, Glen Iris (Submission 9)	79
4.4.12	41 Brandon Street, Glen Iris (Submission 17)	81
4.4.13	60 Celia Street, Glen Iris (Submission 166).....	87
4.5	Violet Farm Estate Precinct (Submissions 107 and 133)	93
4.5.1	Background	93
4.5.2	Statement of Significance	93
4.5.3	12 Harris Avenue, Glen Iris (Submission 107).....	96
4.5.4	31 Rix Street, Glen Iris (Submission 133).....	99

5	Response to Submission—Not appearing	102
5.1	39 Peate Avenue, Glen Iris (Submission 127).....	102
5.1.1	Background	102
5.1.2	Statement of Significance	102
5.1.3	Recommendations and Amendment C333boro.....	103
5.1.4	Response to Submission	103
5.1.5	Conclusion and Recommendations	106
5.2	55 & 57 Bath Road, Glen Iris (Submission 12).....	106
5.2.1	Background	107
5.2.2	Statement of Significance	107
5.2.3	Response to Submission	108
5.2.4	Conclusion and Recommendations	109
5.3	Glen Iris Heights and Cherry's Hill Estates Precinct.....	110
5.3.1	Background	110
5.3.2	26 Kerferd Road, Glen Iris (Submission 31)	110
5.4	Mont Iris Estate and Environs Precinct.....	112
5.4.1	Background	112
5.4.2	33 Fuller Avenue, Glen Iris (Submission 2)	112
5.4.3	12 Sherwood Street, Glen Iris (Submission 6).....	115
5.4.4	74 Dent Street, Glen Iris (Submissions 13 and 29)	118
5.4.5	56 Dent Street, Glen Iris (Submission 30)	120
5.4.6	54 Dent Street, Glen Iris (Submission 34)	122
5.4.7	Mont Iris Estate and Environs Precinct (Submission 49).....	125
5.4.8	142 High Street, Glen Iris (Submissions 50 and 71).....	126
5.4.9	19 Vale Street, Glen Iris (Submission 75).....	127
5.4.10	30 Seaton Street, Glen Iris (Submission 76).....	129
5.4.11	9 Bridges Street, Glen Iris (Submission 91).....	132
5.4.12	17 Vale Street, Glen Iris (Submission 111).....	134
5.4.13	7 Hilltop Avenue, Glen Iris (Submission 126)	138
5.4.14	Precinct boundary (Submission 145).....	140
5.5	Summerhill Estate Precinct.....	141
5.5.1	Background	141
5.5.2	56 Florizel Street, Glen Iris (Submission 4)	142
5.5.3	55 Celia Street, Glen Iris (Submission 23).....	148

5.5.4	16 Hortense Street, Glen Iris (Submission 25)	150
5.5.5	4 Prosper Parade, Glen Iris (Submission 42)	152
5.5.6	42 Florizel Street, Glen Iris (Submission 43)	154
5.5.7	71 Summerhill Road, Glen Iris (Submission 44).....	155
5.5.8	36 Montana Street, Glen Iris (Submission 48).....	157
5.5.9	9 Celia Street, Glen Iris (Submission 53).....	159
5.5.10	47 Summerhill Road, Glen Iris (Submission 56).....	160
5.5.11	39 Hortense Street, Glen Iris (Submission 57)	161
5.5.12	22 Adrian Street, Glen Iris (Submission 60).....	163
5.5.13	8 Brandon Street, Glen Iris (Submission 61)	164
5.5.14	69 Florizel Street, Glen Iris (Submission 73)	165
5.5.15	30 Audrey Crescent, Glen Iris (Submission 80).....	168
5.5.16	13 Brandon Street, Glen Iris (Submission 83)	170
5.5.17	65 Summerhill Road, Glen Iris (Submission 86).....	171
5.5.18	General submission (Submission 87)	172
5.5.19	18 Brandon Street, Glen Iris (Submission 90)	174
5.5.20	4 Adrian Street, Glen Iris (Submission 93).....	175
5.5.21	15 Montana Street, Glen Iris (Submission 96).....	180
5.5.22	10 Montana Street, Glen Iris (Submission 98).....	181
5.5.23	67 Summerhill Road, Glen Iris (Submissions 101 and 104).....	182
5.5.24	42 Audrey Crescent, Glen Iris (Submission 103).....	187
5.5.25	60 Hortense Street, Glen Iris (Submission 110)	189
5.5.26	23 Celia Street, Glen Iris (Submissions 113 and 115).....	198
5.5.27	23 Montana Street, Glen Iris (Submission 117).....	200
5.5.28	54 Hortense Street, Glen Iris (Submission 119)	202
5.5.29	51 Summerhill Road, Glen Iris (Submission 121).....	203
5.5.30	7 Brandon Street, Glen Iris (Submission 128)	205
5.5.31	79 Summerhill Road, Glen Iris (Submission 130).....	207
5.5.32	34 Brandon Street, Glen Iris (Submission 131)	209
5.5.33	58 Hortense Street, Glen Iris (Submission 134)	210
5.5.34	56 Hortense Street, Glen Iris (Submission 159)	213
5.5.35	43 Hortense Street, Glen Iris (Submission 160)	214
5.6	Violet Farm Estate Precinct	215
5.6.1	Background	215

5.6.2	21 Parkin Street, Glen Iris (no submission)	215
5.6.3	30 Parkin Street, Glen Iris (Submission 142).....	216
5.6.4	Parkin Street, Glen Iris (Submission 143).....	218
5.7	Other submission (Submission 49)	220

1 Introduction

1.1 Purpose

I, Natica Schmeder, have prepared this statement of evidence for Boroondara City Council in relation to Amendment C333boro to the Boroondara Planning Scheme (the Amendment).

The Amendment proposes to implement the recommendations of the 'City of Boroondara Municipal-Wide Heritage Gap Study, Volume 7. Glen Iris', prepared by Context in 2018-19, as revised on 15 October 2020 and 23 June 2021.

1.2 Instructions

This statement of evidence was prepared in accordance with the following instructions issued by Maddocks on 27 October 2021:

- To prepare a statement of evidence and appear as an expert witness for Council at the Planning hearing.
- Your written statement of evidence should:
 - Provide an overview of your involvement and previous role in respect of the Study, and particularly the following, which we understand you assessed as part of the Study:
 - HO891 39 Peate Avenue, Glen Iris;
 - HO895 Glen Iris Heights and Cherry's Hill Estates Precinct;
 - HO899 55 Bath Road, Glen Iris;
 - HO901 Mont Iris Estate and Environs Precinct;
 - HO905 Summerhill Estate Precinct; and
 - HO908 Violet Hill Estate Precinct.
 - Review and express your opinion in respect of the Amendment documentation, and particularly as it relates to the properties listed above.
 - Address the submissions that relate to the properties listed above.

I note that, as Trethowan Architecture & Design carried out the assessment of the interwar and post-war individual places, their Director Mark Stephenson has been asked to prepare a separate expert statement responding to submissions in regard to those properties.

1.3 Preparation of this report

I, Natica Schmeder, have prepared this statement. The views expressed in it are my own.

1.4 Reports relied upon

In preparing this report, I have relied upon the Glen Iris Heritage Gap Study report. As noted above, it was prepared by a team of heritage consultants at Context and Trethowan Architecture & Design ('Trethowan'). I was the project lead.

1.5 Relevant expertise

My area of expertise relevant to this Panel hearing is the assessment of the cultural heritage significance of buildings, structures and precincts in the Melbourne metropolitan area and country Victoria, with reference to current heritage assessment criteria and within the framework of local historical themes.

I have been retained by a number of councils to appear as an expert witness on heritage-related matters at Independent Panel Hearings, including: City of Boroondara (Amendments C116, C177, C178, C183, C236, C243, C263 Pt 2, C266, C274, C276, C284, C294, C305, C306, C308, C318 & C337), City of Brimbank (Amendments C125 & C200), Shire of Cardinia (Amendment C161), City of Maroondah (Amendment C116), City of Moonee Valley (Amendments C142, C143, C164 & C200), City of Moreland (Amendment C149), Shire of Mornington Peninsula (Amendment C214), City of Stonnington (Amendments C233, C238, C248 & 249) and City of Yarra (Amendments C149, C173, C177, C183 & C198), as well as by the National Trust (City of Yarra Amendment C163).

I have an excellent understanding of the historic development and heritage of Boroondara through my involvement in the following projects for the City of Boroondara:

- Glenferrie Oval & Grace Park CMP, 2006.
- Hawthorn Heritage Precincts Review, 2008.
- Provision of in-house strategic heritage advice to the City of Boroondara's Strategic Planning Department, Aug. 2012 to the present. This includes, among other things, heritage assessment of individual places and precincts.
- Peer review of Surrey Hills South Residential Precincts Heritage Study, Lovell Chen, 2014. As part of the implementation of Amendment C177 I peer reviewed all precinct and place citations in this study and revised them where I thought necessary. I then acted as Boroondara Council's expert witness at the panel hearing.

- Peer review of Balwyn and Balwyn North Heritage Study, Built Heritage, 2015. I reviewed all citations in this study and responded to all submissions to the proposed Amendment C276 to implement recommendations from this study. I then acted as Boroondara Council's expert witness at the panel hearing.
- Municipal-Wide Heritage Gap Study, ongoing, commenced 2016. All suburb-wide gap studies have been completed, for Canterbury, Camberwell, Hawthorn, Kew, Kew East and Mont Albert, Hawthorn East, Glen Iris and Ashburton. I led this project as well as carrying out the initial suburb-wide surveys and assessing some of the places and precincts. I have acted as Council's expert witness at the Amendment C266 Panel hearing (Canterbury), the C274 Panel hearing (Camberwell), the C284 Panel hearing (Hawthorn), the C294 Panel hearing (Kew), the C306 Panel hearing (Kew East), the C308 Panel hearing (Hawthorn East), and the C337 Panel hearing (Ashburton).

1.6 Qualifications and experience

MSc (Building Conservation); Grad Dip (Architectural Conservation); BA (Architectural & Urban History)

I am an architectural historian and buildings conservator with over 20 years' experience in architectural research and assessment, materials conservation, heritage studies, conservation management plans and heritage advice, in Australia, the United States, England and Poland.

I worked at Context from 2005 until June 2018 and was an Associate of that company. Currently, my role there is as a contracted Heritage Specialist for specific projects. At Context I worked on numerous municipal heritage studies and reviews, many of which I led and/or acted as the architectural historian, including the Mornington Peninsula Heritage Review (Areas 1 & 2), Central Richmond Heritage Gaps Study, Yariambiack Shire Heritage Study, Moonee Valley Thematic Gaps Study, Moonee Valley Heritage Study 2015, City of Yarra Review of 17 Precincts, City of Yarra Central Richmond Gaps Study, Lygon Street Heritage Study, Cardinia Shire Heritage Studies Review, City of Manningham Heritage Study Review, Baw Baw Shire Heritage Study, Murrindindi Shire Heritage Study, Yarra Ranges Shire Heritage Study Review, Moreland North of Bell Street Heritage Study, Stonnington Victorian Houses Study, Stonnington Federation Houses Study, Stonnington Churches and Halls Study, Stonnington Residential Flats Study, Hawthorn Heritage Precincts Study and the Boroondara Municipal-Wide Heritage Gap Study.

I am a member of the Heritage Council of Victoria; a member of the Heritage Advocacy Committee and former Built Environment Committee member (Chair 2012-17) both of the National Trust of Australia (Victoria); and a full international member of Australia ICOMOS (International Council on Monuments and Sites) and served on their Executive Committee

in 2009-12. I have also tutored and lectured for architectural conservation subjects at the University of Melbourne (2010-16), and at the Longford Academy (Tasmania).

Declaration

I have made all the inquiries that I believe are desirable and appropriate and no matters of significance which I regard as relevant have to my knowledge been withheld from the Panel.

Signed,

A handwritten signature in dark ink, appearing to read 'Natica Schmeder', written on a light-colored, textured background.

Natica Schmeder

2 Strategic basis to Amendment C333boro

The 'City of Boroondara Municipal-Wide Heritage Gap Study, Volume 7. Glen Iris', as revised on 15 October 2020 and 23 June 2021, (the "Glen Iris Heritage Gap Study", the "Glen Iris Study", or "the Study") should be taken as the strategic basis for Amendment C333boro. It contains an explanation of the assessment methodology, summarises the findings and recommendations of the Study, and contains the heritage citations for places and precincts recommended for inclusion in the Heritage Overlay (HO) as revised after consultation for this planning scheme amendment and in response to conditions placed by DELWP for authorisation of the amendment.

3 Methodology of the Study

In this chapter of my expert evidence, I will set out the steps taken and decision-making process around the selection of individual places and precincts to be assessed for their heritage significance, and how these assessments were made. While providing a broad overview of the entire process and its participants, I will focus on my role in the project and how I made specific decisions.

All of this section is underpinned by Chapter 2: Approach and Methodology of the Glen Iris Heritage Gap Study report, which sets out the heritage practice guidance we followed in our assessments. These are predominantly *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Heritage Significance* (rev. 2013) and the Victoria Planning Provisions Planning Practice Note No. 1: Applying the Heritage Overlay (2018). I also applied guidance provided in the panel reports for projects in which I have previously been involved. The key guidance for current heritage best-practice, both quotes from the Planning Practice Note and discussions of how this was applied, is set out at length in the Study, so I will not repeat it here.

3.1 Background: Municipal-Wide Heritage Gap Study

The *Planning and Environment Act 1987* places an obligation on municipal councils 'to conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or other of specific cultural value'.

Consistent with this objective, the City of Boroondara has prepared numerous heritage studies that identify places of heritage significance.

In the past decade, Council has commissioned further area studies of two entire suburbs – Balwyn (incorporating Balwyn North and Deepdene) and Surrey Hills – as well as studies of smaller areas and individual places. The Surrey Hills Study was implemented by Amendment C177. Most of the recommendations of the Balwyn Study were implemented by Amendment C276 (Balwyn Peer Review Stage 1) and Amendment C318 (Stage 2).

Council adopted an updated Heritage Action Plan (HAP2016) on 2 May 2016. The HAP2016 set out as a very high priority action the preparation of a Municipal-Wide Heritage Gap Study (MWHGS) for the remaining suburbs of Boroondara. The MWHGS involved the investigation of all properties outside the existing Heritage Overlay in Boroondara in the suburbs of Canterbury, Camberwell, Hawthorn, Kew, Kew East, Mont Albert, Hawthorn East, Glen Iris and Ashburton. All of these suburb-based heritage studies have now been completed.

I have been the project leader for the entire MWHGS, leading a team of heritage consultants from Context and Trethowan Architecture & Design. This chapter of my evidence supplements the Glen Iris Study report in discussing my role and decision-making both in leading the study and in assessing some of the places and precincts myself along with other Context consultants.

3.2 Stage 1: Preliminary identification of places and precincts

3.2.1 Field survey

The first stage of the Glen Iris Heritage Gap Study was a survey of the entire suburb to its current boundaries, including the three small precincts already in the Heritage Overlay.

I carried out this survey over several days in February and March 2018, riding a bicycle along all streets in Glen Iris, and walking in areas where properties and streetscapes of interest were identified.

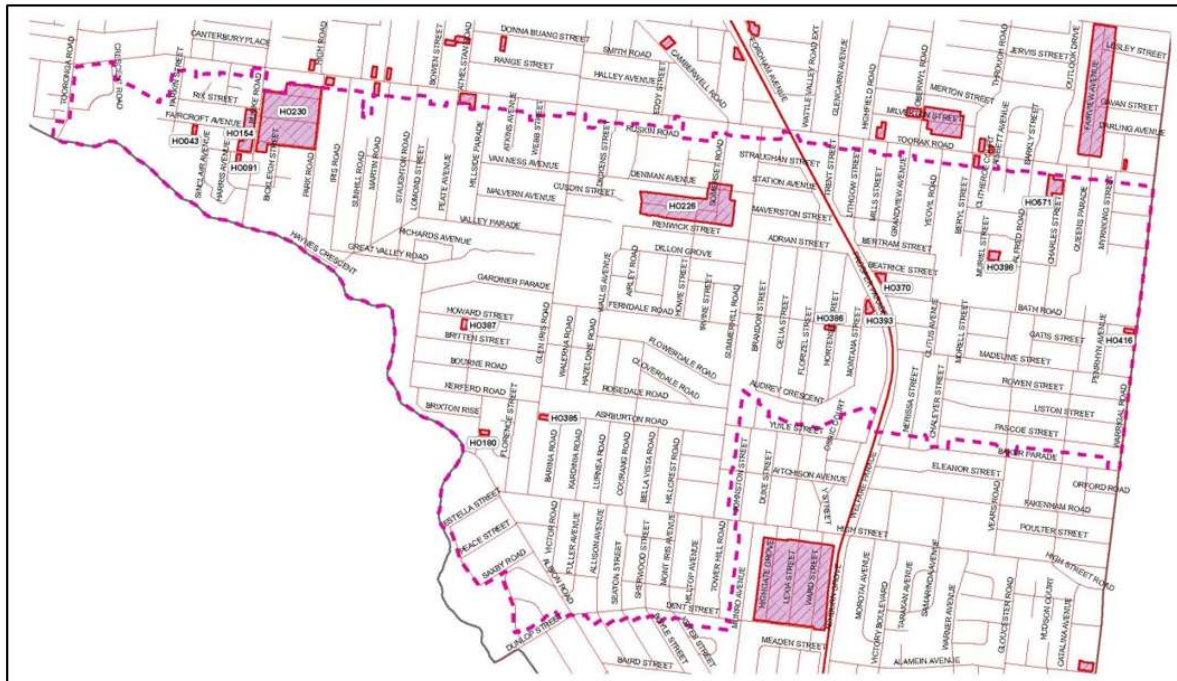


Figure 1. Map of Glen Iris showing its boundaries within the City of Boroondara and the current extent of the Heritage Overlay (shaded). (Source: City of Boroondara, 2018)

As indicated by the above map, there was minimal Heritage Overlay coverage in Glen Iris the time of the survey: with three interwar-era residential precincts and 11 individual properties in the Heritage Overlay.

The former boundary between the City of Hawthorn and the City of Camberwell ran north-south down Burke Road, hence the existence of two interwar residential precincts facing each other across that road. They are HO154 Lower Burke Road Precinct (former City of Hawthorn) and HO230 Toorak Estate and Environs (former City of Camberwell)

I worked from a base map that indicated any previous heritage recommendations or nominations. For the most part, these were:

- Precincts and individual places identified by the 'Camberwell Urban Conservation Study' (G Butler, 1991).
 - This study recommended five precincts and a number of individual places for heritage protection.
 - Only two of the five precincts were added to the Heritage Overlay at that time: HO226 Goodwin Street and Somerset Road Precinct, and HO230 Toorak Estate and Environs. Three others were not acted upon: Summerhill Estate, Glen Iris Heights Estate, and High Street Shopping Centre.

- Only one site-specific Heritage Overlay was enacted in the 1990s (HO180, 16 Muswell Hill). A further six were re-assessed as part of the 'Review of B-graded buildings in Kew, Camberwell and Hawthorn' (Lovell Chen, 2007 rev. 2009) and added to the Heritage Overlay. The remaining four were not implemented, and so were investigated as part of the Glen Iris Heritage Gap Study.
- Precincts and individual places identified by the 'Hawthorn Heritage Study' (M Gould, 1992).
 - This study recommended one tiny precinct and five individual places in the area that is now part of Glen Iris.
 - The HO154 Lower Burke Road Precinct was implemented as were two individual places: HO43 10 Faircroft Avenue and HO91 12 MacDonald Street.
- Places listed on other registers and inventories, including the National Trust Register, the Victorian War Heritage Inventory, places nominated to the Victorian Heritage Register but rejected, and DELWP's Heritage Identified inventory.
- Places used as examples for themes covered in the 'Boroondara Thematic Environmental History' (Built Heritage, 2012).
- Places noted for further investigation by former Boroondara Heritage Advisor, Graeme Butler.
- Places recommended for assessment by the 'Survey of Post-War Heritage in Victoria' (Heritage Alliance, 2008 & Built Heritage, 2010).

On this base map, I recorded the following:

- An indication whether a property or streetscape had any apparent heritage value, either as an individual place or as (part of) a precinct.
- For those places and streetscapes of potential heritage value:
 - The built-era(s): Victorian, Edwardian, interwar (early or late), post-war (early or later); and
 - A tentative grade for the best individual properties, reflecting their architectural quality and intactness.
- If there were several streetscapes of notable architectural quality and/or visual cohesion grouped together, I drew tentative precinct boundaries on the base map, to be revisited later with a colleague.

This survey revealed that there was a very small core of nineteenth-century development in the old Glen Iris Township (around Kerferd Road and to the south), a few scattered

Edwardian houses, and very predominant interwar residential and commercial development.

In reviewing the three interwar-era precincts recommended for protection by the 1991 'Camberwell Urban Conservation Study' I found that two of them – the Glen Iris Heights Estate* and the High Street Shopping Centre – had suffered extensive redevelopment in the intervening years and did not appear to meet the threshold of local significance anymore. In contrast, while there had also been some redevelopment in the Summerhill Estate Precinct since 1991, it still retained a strong interwar residential character and a fine building stock. On this basis, I recommended that it be assessed in Stage 2 of the Gap Study with slightly modified boundaries from the 1991 recommendations.

I identified a number of new individual places and two new potential precincts (including one corresponding with Lovell Chen's recommendation) during the survey, as well as a potential precinct extension. The individual places included a number of Victorian, Edwardian and Interwar houses, a few post-war houses, and community-use places from all of those eras.

Amongst the community places, there were five that are owned or managed by Boroondara City Council. In keeping with the project Brief, these places were not assessed in Stage 2 of the Gap Study, but were added to Council's database of places of potential heritage significance.

3.2.2 Delineating proposed precinct boundaries

As noted above, while carrying out the property-by-property survey, I noted streetscapes that stood out in the suburb in terms of their visual cohesiveness and design quality. This was both when visiting precincts that had previously been delineated, and in other parts of the suburb.

Both in the field, and once back in the office, I drew preliminary precinct boundaries to encompass standout streetscapes in proximity to one another, in an attempt to balance the following goals:

- Include as many properties of high heritage value (usually meaning high architectural quality and high intactness);

* Confusingly, there were two different 'Glen Iris Heights' subdivisions, one on the east side of Glen Iris Road and the other on the west side. While the Gap Study recommends a precinct called Glen Iris Heights and Cherry's Hill Estates Precinct, it is in a different location than the Glen Iris Heights precinct recommended in 1991.

- Include streetscapes of high integrity (low number of non-contributory properties and/or much altered buildings) and high visual cohesion.

In the case of previously delineated precincts, I considered the previous boundaries but recommended my own based on the cohesiveness of the streetscapes.

I returned to all of the areas earmarked as possible precincts with Context colleague Christina Dyson. We viewed them all by car on a single day, allowing us to compare amongst themselves and discuss which ones should be recommended for further assessment in Stage 2.

3.2.3 Preliminary research

At this point I made further investigations, as I saw fit, into places earmarked for individual assessment if the site visit had raised any questions.

For those properties shaded on the survey map (indicating a previous assessment or other mention), I returned to those sources and noted any pertinent information (historical information, why it was listed, etc.).

I sought previous citations for all individual places shortlisted, those in potential precincts, and the 1991 precinct citation for the Summerhill Estate Precinct. For the individual properties, I consulted historical sources such as the Melbourne and Metropolitan Board of Works (MMBW) and estate subdivision plans, and Boroondara Council's building permit records to better understand their level of intactness.

As a result of this investigation, several previously identified individual places were rejected due to recent alterations.

3.2.4 Consultant workshops

The decision to proceed with place and precinct assessments was a collaborative process which I coordinated and contributed to.

As a first step, I presented all of the identified individual places to my Context colleague, Director Louise Honman. For each place I showed her the photos and any information gathered, as well as explaining why I felt this place stood out in the context of Glen Iris or Boroondara more broadly. The exercise of comparing all of the photos together, grouped by built-era for houses and community-use places, made their relative merits clearer, as did our discussion during this process. By the end, we decided that a number of them were likely to fall short of the threshold of local significance, and removed them from deliberation.

I held a second “workshop” with Trethowan Architecture team members at their offices. I brought photos of all individual interwar and post-war individual places that I had identified during the field survey, including both those that Ms Honman and I had agreed were good candidates for further assessment, and those we had preliminarily rejected. I presented the photos, and information gathered, and explained the rationale behind each choice.

After this workshop, Trethowan Architecture made the enquires they considered necessary before presenting me with a final list of places they had found worthy of assessment, along with an outline of the reasons they were likely to be of individual significance.

As a final step, I made a site visit to the potential precincts Council officers to test the legibility of the proposed precinct boundaries.

3.2.5 Stage 1 recommendations

The final step in Stage 1 of the Glen Iris Heritage Gap Study was the compilation of Context’s and Trethowan’s final recommendations for the places and precincts to assess in the next stage, along with brief rationale for each recommendation. This comprised the reporting for Stage 1 of the study. It has been superseded by the Stage 2 report for the Study.

3.3 Stage 2: Assessments and recommendations

During the assessment stage, Trethowan Architecture carried out all of the steps set out below for the individual places they assessed, with two exceptions. These exceptions are that Context provided the initial locality history for *all* citations, which could be shortened or added to depending on the place assessed (in accordance with its development era) and that I reviewed all first draft citations and provided feedback to Trethowan Architecture. The revised drafts were then provided to Council officers.

Context assessed all of the individual Victorian and Edwardian dwellings, Victorian, Edwardian and interwar community places, and all precincts. Trethowan assessed all individual interwar and post-war dwellings, and post-war community places.

3.3.1 Site visits

At the end of Stage 1, the Context consultants and I decided on the division of the assessment work. Louise Honman and Vicki McLean assessed the Victorian and Edwardian dwellings and two community-use places. Chairim Byun and I assessed two schools, as part of which she carried out the site visits. I assessed the precinct extension.

As a merger had just been completed between Context Pty Ltd and GML Heritage Pty Ltd, I was assisted in assessing the precincts by two GML staff members, Associate Catherine Macarthur and Senior Heritage Consultant Melisa Moritz. They both carried out fieldwork to make final determination of the precinct boundaries, and Ms Moritz photographed all properties and elements of heritage value (such as early trees, fences and outbuildings).

I carried out my site visit to the potential precinct extension (348-342 Burke Road) in July 2018. At this time, I viewed all properties from the public domain (generally the footpath). I took photos showing each property and its setting, as well as details of note, recording such things as the style, distinguishing features, visible alterations and other elements on the site (plantings, trees, fences, and outbuildings).

3.3.2 Historical research

The histories for the places and precincts assessed by Context consultants were prepared by a number of people. Heritage Specialist Robyn Ballinger prepared a locality history and the precinct histories, historian Peter Mills prepare histories of the individual Victorian and Edwardian dwellings and two community-use places, while Chairim Byun prepared histories under my direction for the two schools.

Each history was reviewed by one of the assessors, providing feedback so a final draft could be prepared.

3.3.3 Documentation

Descriptions of the individual places were prepared by their assessors. In the case of the two schools that Ms Byun and I assessed together, we discussed her photos following the site visit before she prepared the descriptions.

In relation to the four precincts, GML Associate Catherine Macarthur prepared draft descriptions, which I then reviewed and revised.

3.3.4 Comparative analysis

Background

As part of the preparation for the comparative analysis of precincts and places in all suburbs investigated in the Municipal-Wide Heritage Gap Study, Context prepared a number of “reference” documents.

For the precincts, Ms Honman and I wrote a brief summary of the character and reasons for significance for each existing precinct in the Heritage Overlay within the City of Boroondara. These were a paragraph each, and were based mainly on the precinct statements of significance then found in Clause 22.05 Heritage Policy of the Boroondara Planning Scheme (they have since been moved to a separate reference document). We sorted these precincts by the principle built-era(s) in them, and their residential or other (commercial, civic) character. This document provided a starting point for the preparation of precinct comparative analyses.

For individual places, I assigned a built-era (Victorian, Edwardian, interwar, post-war) in the HERMES heritage database to each property of individual significance in the Heritage Overlay within the City of Boroondara. This included both places with individual Heritage Overlays and those in precincts. Doing so allowed me to generate lists of all individually significant Victorian and Edwardian residential properties in the Heritage Overlay. A photograph was obtained for each of these places. (Note that as Trethowan Architecture was assessing all individual interwar and post-war houses, we did not prepare documents for these two eras.)

Glen Iris Heritage Gap Study

I prepared the comparative analyses for the four precincts, drawing both on the previously prepared summary of existing precincts as well as my visits to these comparator precincts over the course of the Municipal Wide Heritage Gap Study and previous work I had done for the City of Boroondara.

Chairim Byun prepared the comparative analyses of the two schools under my direction, searching for comparable examples using the HERMES database, and also drawing on school assessments from previous volumes of the Gap Study.

3.3.5 Assessment of significance

All assessments of significance of places and precincts were carried out in relation to the HERCON criteria. This provided a structure to consider the ways that an individual place or precinct might stand out within Glen Iris or Boroondara more widely. I prepared the

assessments against the criteria and statements of significance for the two schools and the four precincts.

For the most part, I drew this information from the locality and place history in relation to the various types of historical significance (Criteria A, B or H) and from the comparative analysis and description in relation to architectural design (Criteria D, E or F).

For the most part, I did not include a discussion for the criteria I did not think the place/precinct met, but simply made the note “NA” (Not Applicable).

The summaries of the criteria against which I judged the place or precinct to meet the threshold of local significance were included in the final statement of significance. For each of these I used the standard three-part approach (What, How, Why), and in the first section attempted to provide enough brief information so that future users of the citation will understand what they are dealing with. For precincts, I provided a brief description of the types of contributory built form, as well as noting early or original fences, garages, garden settings and plantings.

In the case of the Summerhill Estate, I reviewed the statement of significance prepared as part of the 1991 ‘Camberwell Conservation Study’ and retained text from it that I found to still be accurate and applicable, while ensuring that the new statement of significance conformed with current guidance (in Planning Practice Note No. 1: Applying the Heritage Overlay, 2018).

Note, that as I did not recommend the potential precinct extension for the Heritage Overlay, this was documented in the background report (section 2.3.10) but I did not prepare a separate assessment of significance or citation for this area.

3.3.6 Thresholds for identifying individually significant places and precincts

As discussed in the sections above, each individual place and precinct recommended for the Heritage Overlay was assessed against two thresholds during the successive stages of the study.

In Stage 1, I looked at all properties in Glen Iris outside of the Heritage Overlay, and noted all those that stood out. Individual places stood out due to their notably high architectural quality (sometimes paired with substantial size), as places likely to be important in the community (either historically or also to the present day) such as churches and schools, or due to their relative rarity in Glen Iris. By its nature, this was a long-list as I was better able to judge the relative architectural quality or rarity of places

once I had reached the end of the survey than at the beginning. My decisions at this stage were also informed by the previous seven years during which I had been carrying out one-off place assessments and previous stages of the Municipal Wide Heritage Gap Study for the City of Boroondara. As these required site visits to every part of the municipality, as well as comparative analysis for each one, I already had a good awareness of the relative quality and nature of Boroondara's building stock even before the Municipal Wide Heritage Gap Study began in 2016.

For precincts, I compared the visual cohesion of streetscapes and level of overall integrity (proportion of non-contributory properties), the average intactness of individual buildings, and the architectural quality of those buildings against precincts with a similar make-up (built era, building use, social class of original owners).

The review of the "long-list" of places with my colleagues was also a mainly suburb-centric exercise, comparing them amongst themselves.

In Stage 2, as detailed above, when assessing the individual places and precincts I compared them to other examples of their type across Boroondara. Examples of comparative places and precincts were drawn from the current Heritage Overlay, and in some cases places and precincts recommended for the Heritage Overlay by previous volumes of the Heritage Gap Study.

3.3.7 Thresholds for gradings within precincts

When assessing properties within a proposed precinct to determine if they are non-contributory, contributory or significant in relation to that precinct, the first thing that needs to be defined is the period of time that is of heritage significance, and if these properties were developed (built) within that period. Note that this may be a single historical era, such as the interwar era, or multiple eras.

Once the "valued period" is defined, the question is whether the given property/building is able to contribute to an understanding of the development in this period and the reasons the precinct is significant (as expressed in the statement of significance). This comes down to intactness, both in relation to the extent of alterations and their legibility as later interventions.

When viewing an altered building of the "valued period" I consider whether it is still legible as, for example, an interwar bungalow or shop. Secondly, if it is possible to understand what its original form was – particularly major aspects such as roof form. In cases where an upper-storey extension is so dominant, and particularly where it subsumes the original roof form, then the answer may be "no". Another important question is the reversibility of alterations. If new building fabric has been added that

obscures the part of the original building or its features, but the building and its features remain intact behind the new fabric and could be re-revealed in the future, then the building may still be contributory. These cases include alterations such as the enclosure of porches and verandahs (hiding the front wall) and the installation of modern cladding over the original walls.

Whether a property is significant in a precinct often relies on its architectural quality – as compared to the suburb or municipal-wide context – though it may also be related to its historical credentials (e.g., the oldest house in the area).

3.3.8 Statutory recommendations

Apart from the decision whether or not to recommend an individual place or precinct for inclusion in the Heritage Overlay, in this step I determined the appropriate Heritage Overlay boundaries for individual places, and if any specific controls should be ticked in the draft Heritage Overlay Schedule.

Heritage Overlay extents

For the most part, the properties that Context and Trethowan assessed were on small to medium-sized suburban blocks. In these cases, the entire cadastral boundaries were recommended for inclusion in the Heritage Overlay, in accordance with accepted practice and the guidance of Planning Practice Note No. 1: Applying the Heritage Overlay (2018).

In the case of the two schools that Ms Byun and I assessed, there was only one building of heritage value on a large site. For this reason, I recommended smaller Heritage Overlay polygons covering the significant building with a curtilage around it to ensure that views to the historic school buildings and development immediately adjacent to them would be considered in the future.

Additional Heritage Overlay controls

During site visits all consultants looked out for original front fences, original outbuildings (usually garages), mature tree plantings and garden layouts that appeared to be early or original in relation to the house and worthy of protection.

A number of original or otherwise notable front fences were recorded in the draft Heritage Overlay Schedule for individual places.

In regard to the precincts, there were many original front fences (and gates) and garages surviving that were recorded by address in the precinct descriptions. In addition, original front fences and original garages, as a group, are noted as contributory elements in the precinct statements of significance. While they could have also been included in

the Heritage Overlay Schedule so that planning permit applications to alter or remove them would have to be publicly advertised, the City of Boroondara Strategic Planning team asked that we not trigger this additional control. The rationale behind this request was that the general Heritage Overlay control already protects fences identified as contributory, and Boroondara has Heritage Advisors that review all planning applications impacting places in the Heritage Overlay, so requiring all such applications to be advertised will not provide any substantive additional protection. As this seemed reasonable, I did not tick 'Outbuildings or fences which are not exempt' in the draft Heritage Overlay Schedule for any of the precincts.

3.3.9 Background report

Once all of the place and precinct citations were complete, I prepared a background report to serve as an introduction to and summary of the Glen Iris Heritage Gap Study. It includes the background to the study (previous heritage studies and the place this one sits in the current Municipal-Wide Gap Study), an overview of the current (pre-study) Heritage Overlay coverage in the suburb, and a discussion of the major findings of the Stage 1 field survey. The next section sets out the methodology of the study, with reference to the policy guidance adhered to (mainly Planning Practice Note No. 1: Applying the Heritage Overlay, 2018). The final section of the background report is a summary of the findings of the study – which places and precincts were found to be of local significance – and recommendations for the implementation of these findings.

Once the background report and all of the citations had been reviewed by Council officers, and revised in response to this feedback, Context assembled them into an overarching final draft study report. The version of the study dated 8 August 2019 was released for preliminary community consultation.

3.4 Preliminary consultation

Boroondara City Council carried out preliminary consultation following completion of the draft study. Council notified all property owners and occupiers in Glen Iris, both those who owned properties recommended for the Heritage Overlay and the rest of owners and residents in the suburb. All community members were invited to provide feedback on the draft study recommendations. Some also nominated additional properties to be considered for inclusion in the Heritage Overlay.

Council officers prepared an initial response to the general issues raised by objecting submissions, such as potential impacts on property value, zoning and other planning tools, etc. They then highlighted the heritage-related issues for my attention.

This included submitters who questioned the application of the HERCON criteria, whether thresholds were met, raised possible errors in the citations, or simply questioned whether their property was of heritage significance.

The heritage-related issues in regard to places assessed by Trethowan Architecture were addressed by them in a shared table setting out issues and responses to each submission. I prepared responses for the places assessed by Context.

As a result of further investigation in response to the submissions, as well as demolitions of contributory houses since their assessment, I recommended changes to precinct boundaries and some gradings in the Mont Iris Estate and Environs Precinct and Summerhill Estate Precinct. In cases where submitters raised external alterations to their houses, I investigated by obtaining building permit plans and making on-site visits by appointment, accompanied by a Council officer. In some cases, submitters also provided pre-alteration photos of their properties.

As raised by a submitter, the individual place at 50 Valley Parade had undergone significant external alterations since its assessment, removing key architectural features of the front façade. For this reason, I concluded that it no longer met the threshold of local significance and recommended that it be removed from the Study.

Once these revisions were made, I prepared the 20 January 2020 version of the Glen Iris Study.

In addition, one submitter nominated housing groups on Kardinia and Ventich streets. As these were interwar and post-war dwellings, they were investigated by Trethowan, but not recommended for further assessment.

3.5 Exhibition consultation

At its Urban Planning Special Committee (UPSC) meeting on 2 March 2020, Council resolved to adopt the Glen Iris Heritage Gap Study, as revised after preliminary consultation. Council offers then requested authorisation from the Minister for Planning to prepare an amendment to the Boroondara Planning Scheme which was granted in September 2020.

As part of the conditions of authorisation, Department of Environment, Land, Water and Planning (DELWP) officers requested a review of proposed precinct boundaries where a contributory building had been demolished since assessment, or where there was a valid demolition permit. While I did not support the removal of (newly) non-contributory properties from a precinct when they were not at the very edges, nor did I support downgraded contributory properties that had not yet been demolished (despite a valid

demolition permit), I did recommend the removal of one newly demolished non-contributory “edge” property in the Mont Iris Estate and Environs Precinct (29 Allison Avenue).

In addition, Council officers decided to remove 19 Bridges Street from the extent of the precinct (this contained a contributory house that I downgraded to non-contributory due to extensive alterations; the building has since been demolished and replaced).

These changes are shown in the 15 October 2020 version of the Glen Iris Heritage Gap Study. This is the exhibited version of the Study.

Once authorisation was received, the City of Boroondara began exhibition of Amendment C333boro. Notice of the amendment was sent to owners and occupiers of the affected and adjoining properties, prescribed Ministers, preliminary consultation submitters and other stakeholders such as heritage interest groups.

Subsequently, Context and Trethowan addressed any new heritage-related issues raised by submissions as part of the response prepared by Council officers. I prepared responses to all heritage-related issues for the places and precincts that the Context team assessed.

In response to the submissions, my resulting investigations and further recent demolitions, I recommended changes to three of the precincts. This included regrading four contributory properties (one to significant, three to non-contributory in the Mont Iris and Environs Precinct; removal of two properties and downgrading three properties to non-contributory in the Summerhill Estate Precinct as well as changes to the precinct statement of significance; and downgrading one property to non-contributory in the Violet Farm Estate Precinct. These statutory recommendations are listed in section 3.6, below.

I also recommended *future* investigation of 57 Bath Road, in response to a nomination. As this property was subdivided off from 55 Bath Road (HO899), it retains part of the fine brick front fence built along with the house. I added a mention of the full extent of the fence to the place citation, but adding it to the Heritage Overlay extent will have to wait for a future amendment.

Those submissions where there are unresolved heritage-related issues in regard to the submissions for places assessed by Context are addressed in this expert evidence. I understand that the places assessed by Trethowan Architecture that are the subject of unresolved submissions are to be addressed in Mark Stephenson’s expert evidence.

In the course of the two rounds of community consultation, I have had the opportunity to review all of the Context citations that were the subject of an objecting submission. Based on this review, as well as my original identification and involvement in the

assessment of two of these places and the four precincts, I am confident that they all meet the threshold of local significance in the form proposed in the Glen Iris Heritage Gap Study, dated 23 June 2021, as revised following consultation.

3.6 Summary of recommended changes

Based on my consideration of the submissions made to Amendment C333boro, I recommend that the following changes be made to the statutory recommendations. Note that all but one of these changes has already been made to the 23 June 2021 version of the Glen Iris Heritage Gap Study report.

- **Mont Iris Estate and Environs Precinct:**
 - 33 Fuller Avenue: Regrade from contributory to significant. Address it specifically in the precinct statement of significance in relation to Criterion E.
 - 1 Sherwood Street: Downgrade from contributory to non-contributory.
 - 7 Hilltop Street: Downgrade from contributory to non-contributory.
 - 12 Dent Street: Downgrade from contributory to non-contributory.
- **Summerhill Estate Precinct:**
 - 2 & 4 Prosper Parade: Remove from the precinct.
 - 38 Brandon Street: Downgrade from contributory to non-contributory. (NB: Due to demolition of the 1938 house. No submission was made.)
 - 40 Brandon Street: Downgrade from contributory to non-contributory. (NB: Due to demolition of the 1940 house. No submission was made.) *This is a new change, which is not reflected in the 23 June 2021 version of the Study.*
 - 69 Florizel Street: Downgrade from contributory to non-contributory.
 - 23 Montana Street: Downgrade from contributory to non-contributory.
 - Revise the precinct Statement of Significance by deleting Criterion H and addressing Thomas Burke's involvement as part of Criterion A.
- **Violet Farm Estate Precinct:**
 - 21 Parkin Street: Downgrade from contributory to non-contributory.

3.7 Conclusion

It is my professional opinion that the Glen Iris Heritage Gap Study was undertaken by me and other heritage professionals at Context and Trethowan Architecture with rigour

and in accordance with current best-practice guidance. The study has been particularly thorough in its initial survey of the suburb to identify places and precincts for assessment. Its accuracy was also aided by reviews of the citations over two rounds of community consultation.

4 Response to Submissions— Appearing

This chapter contains information on places where an owner or their representative will be appearing at the Amendment C333boro Planning Panel hearing. For each place the heritage-related objections are quoted or summarised, and my response provided. They are dealt with in the order the submitter will be appearing at the hearing.

In my evidence, I generally respond only to issues related to the heritage significance of the precinct and grading of properties within it, such as intactness, history and comparison to other places. I do not respond to non-heritage issues, such as maintenance costs, property value or future development plans, as I understand that Council will respond to them and furthermore in my experience they are properly dealt with at the planning permit stage.

As some submitters raise the issue of poor condition, I have provided a general discussion of this matter and its appropriate role at the planning panel stage in the section below.

4.1 Condition

Poor repair is not generally a consideration in the assessment of heritage significance.¹ There is a large body of panel consideration and precedent about how the (poor) condition of a heritage place should affect deliberations at panel hearings on whether it should be given heritage protection.

In this regard, I refer to the following extract of the Independent Panel Report prepared for the Southern Grampians Planning Scheme Amendment C6 (page 20):

The Panel takes the view that that there is a two-stage planning process in relation to management of heritage places – the objective identification of heritage significance (the current stage); and, second, ongoing management of the place having regard to such matters such as the economics of building retention and repair, reasonable current day use requirements etc. (consideration of permits for development).

This framework for management of heritage places is not set out in the Act nor in the Planning Practice Note but has been adopted in practice by planning panels and by the Victorian Civil and Administrative Tribunal. The comments by the panel considering the

¹ Melton C100 (2015), page 19.

Ballarat Planning Scheme Amendment C58 are instructive in this regard. At page 53 of their report the Panel said:

Panels have consistently held that whenever there may be competing objectives relating to heritage and other matters, the time to resolve them is not when the Heritage Overlay is applied but when a decision must be made under the Heritage Overlay or some other planning scheme provision. The only issue of relevance in deciding whether to apply the Heritage Overlay is whether the place has heritage significance.

This approach is also endorsed in the August 2007 report by the Advisory Committee on the 'Review of Heritage Provisions in Planning Schemes'.

Accordingly, the Panel rejects as irrelevant, or substantially discounts, those submissions or parts of submissions which have focused on personal impacts (or perceived impacts), the economic effects of the inclusion of the property in the Heritage Overlay, or on the condition of the building.

This principle has been re-affirmed in subsequent Independent Panel reports including the Panel appointed for Amendment C99 to consider submissions to the Boroondara Planning Scheme (6 Feb. 2012, p. 14), and the Panel appointed for Amendment C186 to the Melbourne Planning Scheme (11 July 2012, pp. 30-36).

In relation to building condition the City of Melbourne Amendment C207 Panel also discussed the relevance of building condition in relation to proposed application of the Heritage Overlay to an individually significant building. In doing so it cited previous Panel decisions including Amendment C99 to the Boroondara Planning Scheme and Amendment C140 to the Whitehorse Planning Scheme and made the following comment (pp. 24-27):

In all we were not persuaded by the arguments presented on this issue that the nature of the decision-making framework, including the limitations applying to decisions on permits, is such that condition should normally be taken into account at the listing stage.

Having said this we do acknowledge that condition may sometimes be relevant in extreme cases of dilapidation where demolition is an inevitable outcome. In such circumstances, the case for demolition would have to be irrefutable and the communitywide costs and benefits of the demolition versus conservation outcomes would have to be clearly identified.

As Mr. O'Farrell submitted:

It is conceivable that there could be an amendment that presents sufficient negative environmental, social and economic effects that a Panel might find that the amendment results in a net detriment to the community.

He suggested that it might be found that it would be a waste of community resources to go to the permit stage to consider the [sic] whether demolition should be allowed. He nevertheless said that there would have to be a very high certainty threshold to be

passed to make the decision at the amendment stage. We agree that the case for demolition would have to be unassailable.

We also consider that it is possible that condition may become relevant in the circumstances where the necessary renovations of a building, which is being considered for listing/retention, are so extensive that the original fabric of the building is in large measure lost and the form and nature of the heritage place would no longer be able to be appreciated. In that way, the significance of the place would be degraded. Again, we would expect that the certainty threshold would be a very high one.

Guidance on how to determine whether 'demolition is an inevitable outcome' has been provided by the VCAT decision *CBA Building Designers v. Greater Bendigo CC* [2010] VCAT 2008, as follows:

... to support demolition of a building with heritage values and a reasonable level of significance, its physical condition should be beyond repair, both physically and economically. It should be in a ruinous condition. Whilst this is not defined, it would reasonably mean that parts of the building would likely (50% probability) to collapse in the short to medium term if no remedial works are undertaken. The applicant is required to demonstrate the building has reached this threshold of disrepair. The assessment should also be undertaken by heritage practitioners ...

This approach was accepted by the Shire of Mornington Peninsula Amendment C214 Panel (2018), which stated (page 15):

The Panel accepts Ms Schmeder's evidence that there must be evidence that the building is at a point where demolition is inevitable so that it can be considered during the Amendment stage.

To conclude, if poor condition for which 'demolition is an inevitable outcome' is not demonstrated, it is generally not appropriate to consider condition at the planning panel stage. If the Heritage Overlay is introduced on a permanent basis this can be considered among other issues during the planning permit application process.

Based on this conclusion, in the case of submissions that cite 'poor condition' as the reason their property should not be included as a contributory or Significance place in the Heritage Overlay but do not provide any documentation of this condition, I will not respond to the submission in this evidence, as it does not constitute an issue with bearing on heritage value.

4.2 Mont Iris Estate and Environs Precinct (Submissions 144, 28, 95 and 92)

4.2.1 Background

This precinct was assessed by me and the GML consultants as part of the Glen Iris Heritage Gap Study and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay. The reasons for its significance are set out in the statement of significance, below.

4.2.2 Statement of Significance

The statement of significance I prepared for this place (as revised, 23 June 2021), reads as follows:

What is significant?

The Mont Iris Estate and Environs Precinct is significant, encompassing 31-43 & 30-38 Allison Avenue; 7-17 & 10-12 Bridges Street; 6-74 Dent Street; 1-33 & 2-26 Fuller Avenue; 127-147 & 126-150 High Street; 1-37 & 2-32 Hilltop Avenue; 1-31 & 2-20 Mont Iris Avenue; 1-35 & 2-36 Munro Avenue; 15-21 & 30-36 Seaton Street; 1-19 & 2-20 Sherwood Street; 152 Summerhill Road; 1-35 & 2-36 Tower Hill Road; 1-31 Vale Street, Glen Iris and Ashburton.

The precinct comprises a number of interwar-era subdivisions stretching south from High Street and west from the Ashburton shopping strip. Some areas of bluestone kerb remain on Bridges Street, the remaining streets all have concrete kerbs as was typical of the interwar period. The houses are set back behind modest front gardens, many of which retain their original or early front fences. The houses are a mix of large and smaller single-storey dwellings with a few double storey houses. Many of the properties are enhanced by the retention of original front fences, mostly masonry, and a smaller number retain original detached or detached garages. These elements are contributory.

The precinct contains a number of individually significant houses, namely 7 Fuller Avenue of 1924-25, 33 Fuller Avenue of 1936, 133 High Street of 1937-38, 148 High Street of c1908, and 152 Summerhill Road of 1916.

The following properties are non-contributory: 30, 35 & 36 Allison Avenue; 10, 11, 12, 13 & 15 Bridges Street; 12, 64, 70 & 72 Dent Street; 1, 6, 8, 18, 20, 21, 26 & 29 Fuller Avenue; 145 & 150 High Street; 7, 9, 19, 21, 21A, 22, 24, 26 & 27 Hilltop Avenue; 1/1, 2/1, 8, 12, 19, 21, 27 & 29 Mont Iris Avenue; 1, 5, 7, 9A, 12, 26, 31 & 34 Munro Avenue; 19 Seaton Street; 1, 3, 4, 13A, 15 & 17 Sherwood Street; 5, 15, 26, 31, 32, 34 & 36 Tower Hill Road; and 1, 5, 2/9, 11, 13, 19, 29 & 31 Vale Street.

The remaining properties are contributory.

How is it significant?

The Mont Iris Estate and Environs Precinct is of local historical and architectural (representative) significance to the City of Boroondara. The individually significant houses are also of aesthetic significance.

Why is it significant?

The precinct is of historical significance as a tangible illustration of Glen Iris' principal period of development: the interwar era. While the suburb had been served by rail since the 1890s, only limited residential development took place until after World War I by which time it was well served by tram lines. Transitioning from an area of market gardens and villas on large estates such as Tower Hill, the precinct was subdivided for suburban development starting in 1912 on the north side of High Street, and to the south in 1915 and 1916 with the Mont Iris and Bonnie View Hill estates, and continued through the 1920s and 1930s with the Glen, Albion Park and Tower Hill estates. The spread of houses throughout the precinct further demonstrates the development patterns in Glen Iris, with the earliest houses (of the 1920s) found in the eastern and northern areas near the Ashburton railway station and High Street, while houses built between 1930 and the 1942 ban on non-essential construction dominate throughout the rest of the precinct, with some final infill development in the same interwar styles just after WWII. (Criterion A)

Tower House, at 148 High Street, is of historical, architectural and aesthetic significance. It is historically significant for its demonstration of the earliest stage of development in Ashburton and the eastern part of Glen Iris. In the late 1800s and early 1900s, after the coming of the railway, this area was home to a small number of detached houses on large blocks of land, supporting either market gardens or the estates of wealthy Melbournians. Tower Hill is one of the most substantial houses in the eastern part of Boroondara, and one of a small number of pre-interwar houses to survive in Ashburton. It is of architectural significance as a substantial and highly intact example of the conservative early 1900s houses that illustrate the transition between the standard Victorian Italianate style and the new Queen Anne. The Italianate elements include its massing with a low-line M-hipped roof, rendered and corniced chimneys, smooth rendered walls, and a separate roof form to the verandah. The Queen Anne aspects are the gables to the projecting bays filled with half-timbering (unusually created with smooth and roughcast render here), turned-timber verandah posts with decorative timber fretwork, and terracotta roof tiles. While this transitional house type was popular in the first years of the twentieth century, Tower House is unusual for its Italianate lookout tower, which gives the house a landmark quality. (Criteria A, D & E)

The precinct is of architectural significance for its representation of domestic styles popular during the interwar and early post-war eras, beginning with timber and brick California Bungalows in the 1920s and early 1930s, and a multitude of styles in the 1930s until 1942. The precinct is particularly rich in examples of the Old English style, the majority built of rendered or face brick but some of timber with a masonry porch adding a more prestigious touch. There are also many Moderne and Art Deco houses in the

precinct, both brick and timber plus a masonry porch, as well as examples of the Georgian Revival. Some late interwar houses were simple hipped or gabled bungalows with decorative elements limited to curved porch hoods, corner windows, and slab or stepped chimneys. Cream brick began to appear among the more common clinker brick. Early post-war houses continue the same architectural forms and decorative elements of Old English, Moderne and Georgian Revival houses, as well as the simple bungalows. A large number of houses are enhanced by the retention of an original front fence, most of them of brick, with a smaller number retaining detached or attached garages built to match the house. The fences and regular front and side setbacks demonstrate common characteristics of interwar suburban development. Views within the precinct are enhanced by the views created by the sloping north-south streets. (Criterion D)

Four individually significant houses in the precinct are of aesthetic significance for their accomplished designs. These include the earliest house in the precinct, Ellesmere at 152 Summerhill Road of 1915-16. It is substantial cross-gabled attic-storey bungalow which retains a high level of decoration, both in its render and face brick cladding, and in its varied window forms and leadlighting. The triple-fronted brick California Bungalow of 1924-25 at 7 Fuller Avenue is also a substantial house on a larger than average block, which is notable for its intact range of cladding materials and textures, and unusual details such as the semi-circular bay window which intersects with and covers a front gable with a shingled cap. The 1936 design by architects Forsyth and Dyson at 33 Fuller Avenue is a fine and intact example of a 'modernised Georgian style' two-storey house which bears strong similarities to Old English houses of that time. It is a substantial house which retains fine details including mild-steel elements and a rubble-stone front fence. The influence of the Streamlined Moderne is elegantly embodied in the 1937-38 two-storey house at 133 High Street, constructed by builder Hector M Keast of Weavell & Keast as his own home, which combines the standard hipped roof form with stylish details such as steel corner windows and a double-curved balcony over the entrance. The mature English Oak and Pin Oak Street trees forming a tunnel-like avenue along Fuller Avenue are a distinctive trait of this Street, and enhances its aesthetic significance. (Criterion E)

4.2.3 12 Dent Street, Glen Iris (Submission 144)

Recommendations and Amendment C333boro



Figure 1. 12 Dent Street, Glen Iris, prior to its demolition. (Source: Context, 2019)

The house at 12 Dent Street (built in 1938) was proposed as a contributory property in the precinct by the Glen Iris Heritage Gap Study, revised 15 October 2020. Due to its demolition in 2020, however, it is recommended that the grade be changed to non-contributory, as set out in the Study version dated 23 June 2021.

Response to Submission

The submitter objects to the recommendation for the inclusion of the western part of the precinct in the Heritage Overlay, including Dent Street. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Changes to the streetscape

Dent Street and the western end of the proposed overlay, including Allison Avenue, Bridges Street, and Fuller Avenue should be removed since the original subdivisions and construction, Dent Street, Allison Avenue, Bridges Street and Fuller Avenue have undergone substantial rejuvenation.

The west end of Dent Street, comprising Nos. 6-28, is a highly intact streetscape of 1930s residential development, with 12 Dent Street the only non-contributory property in this row. Even following the demolition of the 1930s house at 12 Dent Street, I still consider this a very strong part of the precinct.

I agree that there has been recent redevelopment on Bridges Street between Fuller and Allison avenues. In response to this submission, I revisited this part of the precinct in mid-2021. Having made this visit, I concluded that there is still a high number and proportion of contributory (and significant) properties on the north-south streets – Fuller and Allison avenues – which are closely linked by this short stretch of Bridges Street. It is only five properties long on its north side (and two on its south), and is short enough that there is still a visual connection between Fuller and Allison avenues. In addition, one contributory property remains at the centre, 17 Bridges Street. On this basis, I still consider its inclusion in the precinct justified.

Loss of cohesive streetscape

As a result of the extensive demolition, modification and construction, the Albion Park and Bonnie View estates no longer reach the thresholds of being an intact, recognisable, representative or identifiable tangible illustration of development during the interwar period. Even prior to rejuvenation, the southern and western ends of the precinct were never a good representation of the predominant styles of the time as they mixed numerous styles and influences. The properties have few and sparse attributes that were included in the highly stylised and identifiable eras they attempt to replicate. Many of the remaining properties have had significant changes over the decades to cited features, including garages, front fencing, extensions visible from the public realm, etc. Some sections of streets have mixed types of gutters, which is not representative their original construction, while vehicle crossovers are a mixture of modern and historical styles.

The Albion Park Estate comprised land between Vale/Bridges streets and Dent Street, running west to Albion Road and east to Hilltop Avenue. The majority of this estate is within the proposed precinct boundaries: 10-12 Bridges Street; 6-28 & 40-48 Dent Street; 27-33 Fuller Avenue; 35-43 & 30-38 Allison Avenue; 15-21 & 30-36 Seaton Street; 15-19 & 16-20 Sherwood Street; 27-31 & 16-20 Mont Iris Avenue; and 33-37 & 28-32 Hilltop Avenue.

I disagree that that part of the Albion Park Estate included in the precinct is no longer sufficiently intact to contribute to its significance. For instance, it includes one of the finest and most cohesive streetscapes in the precinct: the 1930s houses that line the north side of Dent Street. That of the estate that has been redeveloped to the point that it does not provide a good representation of the original development has been left out of the proposed precinct.

The Bonnie View Estate comprised the area to the north of this, running as far as High Street, and bounded by Allison Avenue to the east and Albion Road to the west. About a third of this estate is in the proposed precinct, including: 31-33 Allison Avenue; 7-17 Bridges Street; and 1-23 & 2-26 Fuller Avenue.

Again, that part of the Bonnie View Estate that has been developed to a great extent has been excluded from the proposed precinct. The Street that has been included as a whole – Fuller Avenue – contains a high proportion of contributory interwar houses (and one significant house at 7 Fuller Avenue) and is particularly distinguished by its avenue of mature Street trees that form a tunnel along this Street. This Street makes a strong contribution to the precinct.

As discussed above, I concede that Bridges Street (between Fuller and Allison avenues) has low intactness, but I consider it appropriate to keep it in the precinct as a short linking element.

Finally, while the origins of the various early 20th-century subdivisional estates that form the precinct are provided in the precinct history, there is no requirement for each of these estates to be wholly intact or to meet the threshold of local significance on their own. Instead, the question is whether those parts of the various estates included in this precinct contribute to an understanding of Glen Iris's transition to suburban development starting in the early interwar era and ending shortly after World War II (Criterion A), and whether the contributory and significant-graded houses illustrate popular domestic architectural styles of the interwar period, some of which continued to be built after the war (Criterion D). In my professional opinion, those parts of the Albion Park and Bonnie View estates included within the proposed precinct contribute to these aspects of significance, so they should be retained in the precinct.

Comparative analysis

Comparisons were made to features in a number of very disparate Heritage Overlays in an attempt to justify the introduction of this overlay. The comparisons made were the highest quality examples possible and not representative of the precinct. The threshold of being "significant" or "integral" in demonstrating cultural heritage as required by the Act and Planning Scheme is not met when compared to other parts of Glen Iris, that were developed in the same era. Apart from a lack of data or information regarding comparative section of Glen Iris, the report is biased because there is no balance, nor competing arguments against applying a heritage overlay, despite the report and amendment being circulated to decision makers for evaluation and approval. Dent Street, Bridges Street and Allison Avenue satisfy neither Criterion A, nor Criterion D.

As set out in the background section of the Glen Iris Heritage Gap Study, and reiterated in Chapter 3 of this evidence, there were multiple points of comparative analysis in the assessment of this and other precincts and places in Glen Iris. The first step was the Street-by-Street survey of the entire suburb on bicycle and foot, allowing a slow enough pace to properly view each property. It was from this survey that I understood the principal periods of development in the suburb, and I could delineate the four discrete areas (potential precincts) containing the most cohesive early development for further investigation. I was also aided in the delineation of potential precincts by my previous Street-by-Street surveys of seven other Boroondara suburbs, and assessment of new precincts within them, as part of the Municipal-Wide Heritage Gap Study. From this I was well acquainted with the quality of the housing stock and intactness of streetscapes in the newly assessed precincts, and also with previously existing Heritage Overlay precincts (which I visited for comparative analysis purposes).

On the basis of this two-stage comparative analysis – with the entire suburb of Glen Iris and then with similar Heritage Overlay precincts in other parts of Boroondara – I am confident that the Mont Iris Estate and Environs Precinct meets the threshold of local significance.

Meaning of heritage

Residents have told council that heritage is important, however the public perception of what should be heritage protected is vastly different to results of various gap studies and analysis. Heritage is being misapplied due to a difference in understanding of what heritage means to "experts" compared to residents.

In my professional opinion, there needs to be a balance in heritage assessment and protection between what the public appreciates and what heritage experts identify. Certainly, places important to the community should be protected. In addition to this, the best examples of development of later periods – some not yet appreciated by much of the general public – should also be protected so that they still exist once the evolution of public opinion catches up with them. For example, most people currently appreciate Edwardian and 1920s bungalows, but 30 years ago many people did not, allowing for the decimation of many of Boroondara's interwar neighbourhoods.

Conclusion and Recommendations

It is my opinion that:

- Those parts of the Albion Park and Bonnie View estates included in the proposed precinct are sufficiently intact and contain housing stock that contributes to the

historical, representative and aesthetic significance of the Mont Iris Estate and Environs Precinct.

- Two-stage comparative analysis of the precinct – within Glen Iris and within Boroondara as a whole – has demonstrated that the precinct is of local heritage significance.
- It is appropriate to protect precincts and places that illustrate key developmental periods and themes even if they are not yet appreciated as “heritage” by the wider community.
- As the 1938 house at this property at 12 Dent Street has been demolished, it should be downgraded from contributory to non-contributory in the proposed precinct.
- No other changes should be made to Amendment C333boro in response to this submission.

4.2.4 39 Allison Avenue, Glen Iris (Submission 28)



Figure 2. 39 Allison Avenue, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

39 Allison Avenue, Glen Iris (built in 1934), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter objects to the recommendation for inclusion of 39 Allison Avenue and the proposed Home Farm Estate and Environs Precinct in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Habitability of the house

The submitter has provided information about storm and water damage to this 1934 house and an attic addition (of 1969) at the rear, and in particular mould contamination to soft furnishings and timber elements, and their difficulties getting appropriate assistance from their home insurer. In support of their submission, they provided a Mould Assessment report and a Quantity Surveyor's report costing various approaches to repair or demolition and redevelopment.

The house at 39 Alison Avenue is an Old English house, constructed in 1934. It was recorded at the time as a six-room brick and tile (roof) dwelling. A sleepout porch was built later that same year. In 1969, three attic bedrooms (and a bathroom) were added to the house, in a skillion addition to the rear side of the roof. This addition is not visible from the Street, so it does not detract from the contributory value of the house, but the 1969 addition is not of heritage value itself.

The Biological Health Services Mould Assessment report of 14 Oct. 2020 recommends remediation works that require the removal primarily of internal building fabric, including: contaminated plasterboard, cabinetry, ceilings. These elements are to be cleaned and treated, and only discarded if they do not respond to treatment. None of this proposed work would have an impact on the heritage contribution of the house to the Heritage Overlay precinct.

The majority of specific material recommended for removal from the house are wet carpets and wet roof insulation.

The 'key areas of concern' to be treated and/or removed include carpet and flooring in a 1969 attic bedroom (i.e. a non-contributory part of the house), carpets and a mattress in downstairs rooms, and 'downstairs master bedroom window frame – glass and frame'. The window is the only element that may be part of the significant fabric of the house, as it may be a front window.

In conclusion, the only works recommended to eradicate the mould that would impact original external fabric of the house at 39 Allison Street is the replacement of the timber window in the master bedroom. The house would still make a strong contribution to the precinct should this window be replaced in-kind. Note that stripping out the interior of the house and even removal of the attic rooms would have no impact on its contributory grade.

The Quantity Surveyor's report, dated 11 December 2020, provided by the submitter confirms that the first floor (attic) rooms are a later addition, constructed of timber, while the original part of the house has face brick walls.

The QS then provides costs (all GST inclusive) for:

- repair water-damage to the house - \$119,900, and
- rectify the mould infestation - \$496,650, or
- demolish and rebuilt a new house "like for like" - \$607,475

The cost of retaining and rehabilitating the whole house (including the 1969 attic storey) would thus be just slightly higher than rebuilding (a total of \$616,550, which is 1.5% more than the rebuild cost).

The QS then provides an opinion on which route to follow, and recommends the total rebuild as it would be slightly less expensive and have greater certainty.

The QS, however, does not address the heritage value of the house. According to his calculations, this contributory house can be remediated and returned to safe use for virtually the same cost as its replacement.

As made clear by the expert reports provided by the submitter, this contributory house can be saved, with the only change to original external building fabric the replacement of the master bedroom window.

Conclusion and Recommendations

It is my opinion that:

- The documents provided with this submission set out a pathway to remediate the mould infestation in this house which would have very little impact on its external intactness and contribution to the precinct. Moreover, remediation, repair and retention of the house would cost about the same (1.5% more) than redevelopment.
- As it has not been demonstrated that the house is in such poor condition that 'demolition is an inevitable outcome', its condition should not be taken into account at this stage.

- As an Old English-style interwar house that is highly intact as viewed from the Street, 39 Alison Avenue is correctly graded as a contributory place in the proposed precinct.
- No changes recommended to Amendment C333boro in response to this submission.

4.2.5 19 Sherwood Street, Glen Iris (Submission 95)



Figure 3. 19 Sherwood Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

19 Sherwood Street, Glen Iris (built in 1937), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 19 Sherwood Street as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Changes to the property

19 Sherwood Street has not been preserved and contemporary modifications from its original form have been made. In particular, the addition of a contemporary carport that

abuts the property adversely detracts from and adds confusion to the property's architectural significance.

I agree that an attached garage was built in 2009 on the north side of the 1937 house. This garage has a separate roof form; this and the very large size of the garage door make it readily apparent that the garage is a later addition to the house. The house is otherwise intact as viewed from the Street, retaining original roof form, chimney, windows and arched masonry porch.

While I do not think that an interested passer-by is likely to think the garage is original, I do agree that it should be considered an alteration to this house, though a reversible one (as it is a separate structure, not requiring demolition to the house).



Figure 4. View of the newly built garage with its roller door open. The side wall and chimney of the house remain intact behind it. (Google Maps, Nov. 2009)

While this garage has some visual impact on the precinct, it makes little change to the external intactness of the house. Furthermore, it is common for contributory buildings in Heritage Overlay precincts to have minor external alterations. If their original built form is still clearly recognisable, they can still contribute to the precinct's significance.

Non-contributory places in the Street

The property is surrounded by properties that are either non-contributory or outside of the precinct. Properties at 13A, 15 and 17 Sherwood Street are non-contributory while

those at 30-38 Dent Street are outside of the precinct. Removing 19 Sherwood Street is therefore unlikely to have a negative impact on this stretch of the precinct streetscape.

I agree that there are no contributory properties immediately to the north or south of 19 Sherwood Street. There is, however, a row of contributory houses on the opposite side of the Street (16-20 Sherwood St) which give it a heritage context. For this reason, I consider it appropriate to keep 19 Sherwood Street and its neighbours in this precinct. In my professional opinion, this section of Sherwood Street, between Vale and Dent streets, contributes to the precinct as retains a sufficient number of contributory buildings – three on the west side and one on the east side. The interwar house at 19 Sherwood Street reinforces the row of houses across the Street from it, on the west side.

Non-contributory places in the wider area

The majority of the wider area (bounded between Sherwood Street, Vale Street and Mont Iris Avenue) has been graded non-contributory. Most of the properties on this stretch no longer bear any semblance to the surrounding precinct with properties at 15 Sherwood Street and 19 Vale Street being newly developed and are overwhelmingly non-contributory.

Overall, the stretch between Sherwood Street, Vale Street and Mont Iris Avenue adds little to the overall significance of the Mont Iris Estate and Environs Precinct. The exclusion of our property at 19 Sherwood Street would not significantly contribute to the overall preservation of the surrounding precinct.

Properties 11-19 Vale Street and 15-19 Sherwood Street and 16-20 Mont Iris Avenue should be removed from the precinct because of the significant number of non-contributory properties on the block, and their position at the edge of the precinct.

Removal of these properties from the precinct would still maintain the overall structure and integrity of the precinct, whilst removing properties that are no longer representative of the preserved heritage nature of the Mont Iris Estate and Environs Precinct.

I agree that there is a large proportion of non-contributory houses in this part of the precinct, including 11, 13 & 19 Vale Street and 15 & 17 Sherwood Street, making five out of 11 properties (45%) in the area the submitter seeks to remove from the precinct.

If this entire precinct had such a low level of intactness, I would not consider it to meet the threshold of local significance. In this case, however, we see a small concentration of non-contributory properties at the centre of a large precinct with a higher overall level of intactness.

In response to this submission, I revisited and reconsidered this part of the precinct in June 2021. First off, I cannot see any rationale to remove the three contributory properties at 16-20 Mont Iris Avenue.

While the block of Vale Street between Sherwood Street and Mont Iris Avenue contains two contributory and three non-contributory properties, this block sits between the more intact streetscapes around it and provides a link between them.

In regard to Sherwood Street, as I have stated above, I consider the four contributory houses on opposite sides of the Street to visually reinforce each other.

For these reasons, I concluded that the current precinct boundaries in this area are justified.

Conclusion and Recommendations

It is my opinion that:

- 19 Sherwood Street is largely intact and correctly graded as a contributory place in the proposed precinct.
- The proposed inclusion of these parts of Sherwood Street, Vale Street and Mont Iris Avenue in the Mont Iris Estate and Environs Precinct is adequately justified.
- No changes should be made to Amendment C333boro in response to this submission.

4.2.6 1 Sherwood Street, Glen Iris (Submission 92)



Figure 5. 1 Sherwood Street, Glen Iris. (Source: Context, 2021)

Recommendations and Amendment C333boro

1 Sherwood Street, Glen Iris (built in 1939, later altered), was proposed as a contributory property in the precinct by the Glen Iris Heritage Gap Study, revised 15 October 2020. After consultation, however, it is recommended that the grade be changed to non-contributory, as set out in the Study version dated 23 June 2021.

Response to Submission

The submitter opposes the inclusion of 1 Sherwood Street as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Alterations to the property

The property has been extensively renovated, with almost none of the original features retained. Alterations are as follows:

- a. The facade of the house was changed from Art Deco to a reproduction Californian Bungalow.*
- b. A large extension has been added.*

The submitter has provided building permit plans from 1999 that show the original footprint of the house at 1 Sherwood Street. This shows a typical plan for a 1938 house, with a hipped roof, projecting hipped-roof room to the façade and a curved porch beside it. They have also provided a photo of the house prior to these works. This corresponds with a 1945 aerial photo of the site.



Figure 6. Front façade of 1 Sherwood Street in 2001 in its original form with a curved Moderne front porch (Source: Submission 92)



Figure 7. Aerial photo of 1 Sherwood Street in 1945, with a simple hipped roof. (Source: Landata)

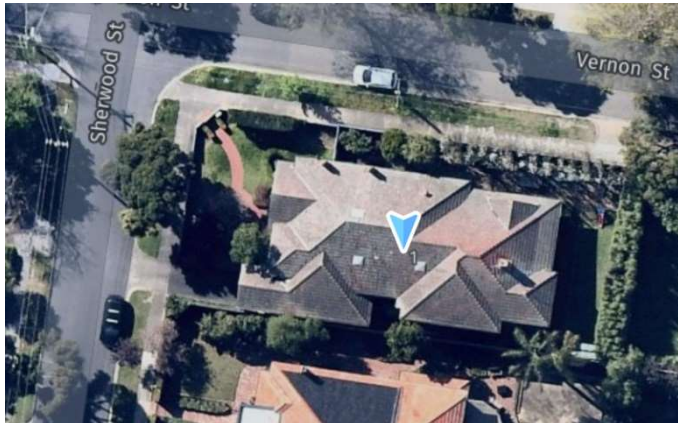


Figure 8. Current aerial view of 1 Sherwood Street. Note the addition of a gable to the front (at left), as well as a new hipped and gabled garage (lower left) and rear addition (right). (Source, Nearthmap, 2021)

The 1999 alteration works included the addition of a gabled front porch resting on three piers, typical of the California Bungalow style. An attached carport was added to the south side, sitting forward of the façade, which also took a California Bungalow (porch) form.

While the front façade of the Art Deco house, and its windows, were retained, I agree that the 1999 alterations were very far reaching and the original appearance of the house is no longer legible. For this reason, I agree that 1 Sherwood Street no longer contributes to the precinct.

The large rear extension is also apparent in the aerial photos, but it is single-storey and typical of what is frequently approved for construction for contributory houses in heritage precincts. The presence of this extension does not have any impact on the grade of this house.

Precinct boundary

The property is sited at the corner of Sherwood and Vernon streets, with non-contributory properties to the south boundary, and diagonally across Sherwood Street. Directly across, 2 Sherwood Street is a split block, cream brick with no period features and is very inconsistent for the area. The precinct boundary should be redrawn along Sherwood Street, commencing at 5 Sherwood Street.

I revisited Sherwood Street in June 2021 in response to this submission and reconsidered its north end.

While there are several non-contributory properties at the north end of the Street (Nos. 3 and 4, and now No. 1 as well), all three are altered early dwellings in keeping with the precinct in their massing, setbacks and materials so they are not visually intrusive.

Furthermore, there is a contributory early postwar Georgian Revival house of 1951 at 2 Sherwood Street which should remain in the precinct. While the submitter considers this house out of keeping with the area, it is not the only Georgian Revival house in the precinct (see 33 Fuller Avenue and 146 High Street), nor is it the only cream-brick contributory house in the precinct (see 62 Dent Street and 20 Munro Avenue).

On this basis, in my professional opinion, the north end of Sherwood Street should remain within the precinct, including 1 Sherwood Street.

Conclusion and Recommendations

It is my opinion that:

- I agree that 1 Sherwood Street no longer warrants contributory grading given the recent demolition.
- Therefore, it is recommended 1 Sherwood Street be downgraded as a non-contributory place in the proposed precinct.
- The north end of Sherwood Street retains sufficient heritage value to remain in the precinct.
- No other changes should be made to Amendment C333boro in response to this submission.

4.3 Glen Iris Heights and Cherry's Hill Estates Precinct (Submissions 164 and 10)

4.3.1 Background

This precinct was assessed by me and the GML consultants as part of the Glen Iris Heritage Gap Study and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay. The reasons for its significance are set out in the statement of significance, below.

4.3.2 Statement of Significance

The statement of significance I prepared for this place (dated 15 Oct. 2021), reads as follows:

What is significant?

The Glen Iris Heights and Cherry's Hill Estates Precinct is significant, comprising 1-31 & 2-32 Kerferd Road; 1-7 & 2-10 Muswell Hill; and 145-209 & 148-162 Glen Iris Road, Glen Iris.

The precinct comprises parts of a number of subdivisions grouped around the Township of Glen Iris. The earliest of them is the original Glen Iris Heights Estate, created in 1888, with Cherry's Hill Estate of 1920 to the south and the Glen Iris Park Estate (1919) and the second Glen Iris Heights Estate (1912 & 1916) along the east side of Glen Iris Road. A small number of Victorian houses survive on Kerferd Road, surrounded by interwar suburban development of the 1920s up to the imposition of bans on non-essential construction in 1942, with a few early post-war examples in the same interwar styles.

The bluestone kerbs to Kerferd Road and Glen Iris Road (on the west side, to the north of Kerferd Road) are contributory. Original fences and garages to the interwar houses are also contributory.

The following place is already included in the heritage overlay and is individually significant: 177 Glen Iris Road (HO385). No change is proposed to this place.

The Victorian house at 13-15 Kerferd Road is individually significant, while later buildings and structures on the same site are considered non-contributory.

The following properties are non-contributory: 2/152, 158, 2/162, 2/165, 2/169, 175 & 189 Glen Iris Road; 12, 14, 16, 23, 25 & 28 Kerferd Road; and 1 & 4 Muswell Hill. The remaining properties are contributory.

How is it significant?

The Glen Iris Heights and Cherry's Hill Estates precinct is of local historical and architectural significance to the City of Boroondara, and 177 Glen Iris Road is also of aesthetic significance.

Why is it significant?

The Glen Iris Heights and Cherry's Hill Estates precinct is of historical significance as a tangible illustration of the two periods in which suburban residential development in Glen Iris began and when it truly flourished: the Victorian and interwar eras. The Glen Iris Township was surveyed in 1879 (Cherry's Hill Estate was subdivided from part of it in 1920). Until the 1880s, there was little residential development beyond the occasional villa. During the land boom of the 1880s a number of residential estates were subdivided, encouraged in part by the opening of the Burnley to Oakleigh rail line. While house construction began at this time, the economic downturn of the 1890s meant that only a limited number of houses, most of them modest, were built. The three Victorian houses at 13-15, 19 and 27 Kerferd Road and the bluestone kerbs along this Street and the adjoining part of Glen Iris Road illustrate this period. The subsequent infill development in the interwar era illustrates the rapid transformation of Glen Iris at this time into a densely populated suburb. (Criterion A)

The Glen Iris Heights and Cherry's Hill Estates precinct is of architectural significance for its representation of domestic styles popular during the interwar era, beginning with timber and brick California Bungalows in the 1920s, and masonry Old English and Moderne/Art Deco houses of the 1930s and 1940s. These two later styles continued to be built just after the war in nearly identical forms and materials. Some houses are enhanced by the retention of an original front fence, most of them of brick, with a smaller number retaining detached or attached garages built to match the house. The low fences and regular front and side setbacks demonstrate the importance of the suburban garden setting for interwar development. (Criterion D)

The Victorian Queen Anne residence at 13-15 Kerferd Road is historically significant as one of three houses built to market the original Glen Iris Heights Estate. Owned by the Australian Alliance Investment Company, the estate offered blocks for sale from 1888 in the land between Glen Iris Road, Gardiner Parade, Howard Street and Kerferd Road. It is one of three 'show' houses, along with 22 Bourne Road and 30 Howard Street, used in an attempt to attract others to buy and build on the estate. It is architecturally significant as one of three houses in Glen Iris representing the work of Walter Richmond Butler (1864-1949) and Beverley Ussher (1868-1908) during their practice together from 1889-1893. All three houses share characteristics of tall two-storey proportions, the use of polychrome face brick, asymmetrical form with projecting bay or box windows, hipped and gabled roofs of slate and timber verandah fretwork. The size and grandeur of the houses is uncommon for the suburb, having been designed to showcase the potential of Glen Iris area. The early use of the Queen Anne style indicates how up to date they were stylistically. (Criteria A & D)

The Roy Newton House, 177 Glen Iris Road, is of historical and aesthetically significance at a municipal level as a two-storey prototype for what is now known as the 'Postwar Vernacular' housing that dominated Australian suburbs after World War II. It is one of the earliest and key examples within Boroondara which demonstrate the adoption of this new direction in suburban housing style. Its design is skilled in balancing the inherent weight of tile and brick cavity wall construction with a series of robust details and solid scaling. The design shows a sense for the richness of its contemporary materials and exploits this in a vivid manner. (Criterion E)

4.3.3 1/162 Glen Iris Road, Glen Iris (Submission 164)



Figure 9. 1/162 Glen Iris Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

1/162 Glen Iris Road, Glen Iris (built in 1925), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter objects to the recommendation for inclusion of 1/162 Glen Iris Road as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Alterations to the property

There are 12 bay windowpanes out of 15 that have been replaced, leaving only 3 in their original condition. This negates much of the appeal of the bay windows.

A plethora of the original terracotta tiles have been replaced due to deterioration, creating a mismatch in the overall appearance of the roof.

The front entrance porch covering has been replaced, further reducing the heritage appeal of the home.

The front fence was built in the 1970s and is not part of the property's original construction.

The changes to the exterior of the house cited by the submitter, they are very minor for a substantial and well-detailed house such as this. Cyclical renewal of roof coverings is required for the long-term survival of a building, so eventual replacement in-kind of the terracotta roof tiles would be supported on heritage preservation grounds.

As the entrance porch roof is nearly flat, the change to its covering has little impact on its appearance.

The replacement of windowpanes the submitter refers to is the replacement of diamond leadlight glazing with standard sheets of glass in the casement windows. The surviving diamond light glazing is to the bay window beneath the east (Glen Iris Road-facing) porch (see Figure 10, below). There are two other bay windows – another on the east elevation and one on the south elevation – that do not have any diamond lights.

While the loss of original windowpanes from the bay windows has some impact on intactness, this is small in the context of the entire house, and the surviving panes can be used as a model for an accurate reinstatement of the missing ones.

I agree that the current orange and brown-brick fence is not original to the house, though it is similar to the low brick fences popular in the 1920s, so is reasonably sympathetic in appearance. Note that there is no requirement for a house to retain its original front fence in order to be contributory in a heritage precinct.

In summary, this is a very fine house which still makes a strong contribution to the precinct despite these minor alterations.



Figure 10. View of the eastern bay window (from the south) with one diamond-glazed casement visible, as well as original entrance door. (NB: There are two more such lights on the far side of this window.) (Source: Context, 2021)

Subdivision of the lot

The subdivision of the lot and subsequent construction of a 2-story unit at the rear of the property in the mid-1990s has impacted the heritage value of the property.

A car port was added to the side of the property in 1997 after the subdivision.

I agree that most of the backyard of the 1920s house has been subdivided to create a separate property at the rear, which faces Kerferd Road. As the original block of land was so large, this has been done in a manner that retains enough visual separation between the 1920s house (Unit 1/162 Glen Iris Road) and the Kerferd Road-facing rear unit (2/162 Glen Iris Road), as shown in the photo below.

While I agree that the original property is diminished and no longer has a big backyard appropriate to a substantial interwar dwelling, there are still clear views to it from Glen Iris and Kerferd roads, allowing it to contribute to the architectural/representative significance of the precinct (Criterion D).



Figure 11. View of the Kerferd Road frontage of the new 2/162 Glen Iris Road (left) and the side of 1/162 Glen Iris Road (right). (Source: Context, 2021)

The rear of a house is the most appropriate place for new additions – rooms or parking structures – and they are frequently supported for contributory buildings in Heritage Overlay precincts. In my professional opinion, the rear carport has had little or no impact on the heritage value of 1/162 Glen Iris Road.

Common architectural style

As the property is a California Bungalow, it is a relatively common and inexpensive style of architecture that contains uncomplicated but sub-standard features. Many heritage homes – particularly those following a Victorian or Edwardian style of architecture – contain sturdier elements and a higher elevation, which emphasise their potential and longevity as heritage homes. My property, being a California Bungalow, was built low to the ground and lacks the durability commonly found in many heritage properties.

The submitter is correct in noting that the California Bungalow style is commonly seen, as it was the most popular domestic style in the 1920s and thus characterises areas predominantly developed during this period. It is the purpose of Heritage Overlay precincts to protect the “typical” examples of important development periods in cohesive groups.

The popularity of the California Bungalow does not, however, translate into poor quality. The house at 1/162 Glen Iris Road is substantial in its size and its masonry (brick) construction, it has been designed with two principal facades to address its corner site, and it was designed with a high level of decorative detail (e.g. leadlight windows with sloped brick sills, contrasting cladding materials – timber shingles, roughcast render, tuckpointed red and clinker bricks, curved solid balustrade to front porch). In my

professional opinion, it is one of the best California Bungalows in the precinct, and close to individual significant in its quality. (In fact, I long-listed it as a potential individual place during the Stage 1 fieldwork.)

Conclusion and Recommendations

It is my opinion that:

- The house at 1/162 Glen Iris Road is a substantial and well-detailed example of a California Bungalow, with a high level of external intactness.
- While its rear yard has been developed with Unit 2, facing Kerferd Road, this new dwelling is sufficiently separated to have a low visual impact on the California Bungalow (Unit 1).
- 1/162 Glen Iris Road is correctly graded contributory in the proposed precinct.
- No changes should be made to Amendment C333boro in response to this submission.

4.3.4 5 Kerferd Road, Glen Iris (Submission 10)



Figure 12. 5 Kerferd Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

5 Kerferd Road, Glen Iris (built in 1920), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter objects to the recommendation for inclusion of 5 Kerferd Road as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Alterations to the property

The house has been substantially altered both inside and outside, with the only remaining original aspects being the front façade of the house and the sides at the front of the building. The back of the house has been substantially changed by removing original outbuildings, including the external toilet, laundry and garage. The front and rear fences have been replaced by modern fences, so the original design does not exist.

In nearly all cases in the Heritage Overlay, only the exterior of buildings is protected, so alterations to interior are not taken into account in assessments. Furthermore, in my professional experience, contributory buildings in a heritage precinct are judged on their intactness as viewed from the public domain (the Street/footpath).

The California Bungalow of 1920 at 5 Kerferd Road is highly intact as viewed from the Street, with the only alteration being the overpainting of the brick at the base of the walls (which is a reversible change, if done by gentle means). There is a rear extension but it is not visible from the Street. There is no requirement for outbuildings or fences to survive for a property to contribute to a heritage precinct, and rear extensions are frequently built at the rear of houses in heritage precincts.

The house retains key features of its style, including the contrasting cladding materials (timber shingles, face brick and roughcast render), transverse gabled roof with a projecting front gable, casement windows with decorative toplights, and a front porch supported on roughcast rendered piers. The house at 5 Kerferd Road makes a strong contribution to the precinct and is correctly graded contributory.

Justification of heritage significance

The property does not meet the threshold for inclusion in the Heritage Overlay against the criteria.

The interwar bungalow at 5 Kerferd Road *contributes* to both the historical and architectural significance of the Glen Iris Heights and Cherry's Hill Estates precinct, as part of a larger group of mostly interwar houses (as well as a few Victorian examples). It

is the precinct as a whole that must meet the threshold for inclusion in the Heritage Overlay, not individual contributory buildings.

So, I agree that the house on its own does not meet the threshold of local significance on its own, but it clearly contributes to the historical significance of the precinct by helping to demonstrate the rapid interwar infill development in this area (Criterion A), and by demonstrating a key interwar house style (Criterion D).

Conclusion and Recommendations

It is my opinion that:

- The California Bungalow at 5 Kerferd Road is highly intact as viewed from the Street, apart from overpainting of brick.
- It contributes to an understanding of the interwar residential development of this area.
- 5 Kerferd Road is correctly graded as a contributory place in the proposed precinct.
- No changes should be made to Amendment C333boro in response to this submission.

4.4 Summerhill Estate Precinct (Submissions 79, 78, 116, 81, 78, 8, 85, 16 and 9)

4.4.1 Background

This precinct was assessed by me and the GML consultants as part of the Glen Iris Heritage Gap Study and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay. The reasons for its significance are set out in the statement of significance, below.

4.4.2 Statement of Significance

The statement of significance I prepared for this place (as revised, 23 June 2021), reads as follows:

What is significant?

Summerhill Estate Precinct is significant, comprising 1A-39 & 2-34 Adrian Street; 1-3 & 30-44 Audrey Crescent; 1-67 & 2-64 Brandon Street; 1-69 & 2-70 Celia Street; 1-71 & 2-72 Florizel Street; 1-53 & 2-68 Hortense Street; 1-25 & 2-46 Montana Street; 37-91 Summerhill Road, Glen Iris.

The original front fences and original garages are contributory elements of the precinct.

No change is proposed to the following places which are already on the heritage overlay and are individually significant: 32 Hortense Street (HO386) and 1 Montana Street (HO393).

The following properties are non-contributory: 10, 11, 12, 13, 15, 17, 18, 22, 28, 31 & 35 Adrian Street; 3 Audrey Crescent; 6, 7, 8, 14, 18, 22, 24, 26, 34, 38, 42, 59 & 64 Brandon Street; 2, 7, 9, 16, 18, 20, 26, 29, 46, 47, 49, 55, 57, 58, 59, 64, 67 & 69 Celia Street; 1, 3, 10, 31, 39, 41, 43, 52, 54, 59, 60, 65, 66, 69, 70 & 72 Florizel Street; 1, 5, 13, 14, 18, 24, 29, 35, 39, 44, 54, 62 & 64 Hortense Street; 2, 7, 16, 18, 19, 25 & 44 Montana Street; and 51, 55 & 77 Summerhill Road. The remaining properties are contributory.

How is it significant?

The Summerhill Estate Precinct is of local historical, architectural and aesthetic significance to the City of Boroondara.

Why is it significant?

The Summerhill Estate precinct is a tangible illustration of the rapid transformation of Glen Iris during the interwar period from an area of market gardens to a dense suburb. Subdivided in 1925 by the nationally known estate agent, businessman and

philanthropist, Thomas Burke, it was one of Boroondara's major interwar residential subdivisions. There was a small amount of infill development in the early post-war period, continuing the same styles and a similar palette of materials, creating a very cohesive area of development. (Criterion A)

The Summerhill Estate precinct contains many examples representing the principal domestic architectural styles of the late interwar and early post-war periods. Apart from a small number of California Bungalows from the late 1920s, there are many examples of the Interwar Mediterranean style, the Old English style and the Moderne/Art Deco style. These two later styles continued to be built just after the war in nearly identical forms and materials. Nearly all of them are built of masonry, some rendered or of stone, but the large majority built of face brick in colours ranging from red and clinker, to brown manganese and cream bricks. In keeping with the estate's covenant, house roofs were normally tiled. A large number of houses are enhanced by the retention of an original front fence, most of them of brick (face brick or rendered), with a smaller number retaining detached or attached garages built to match the house. The fences and regular front and side setbacks demonstrate the importance of the suburban garden setting for interwar development. (Criterion D)

32 Hortense Street (HO386) of 1938 is aesthetically significant as a distinctive example of the application of eclectic Tudor styling to a standard size two-storey 1930s Melbourne residence. Designed by experienced residential practitioner, architect Leslie Reed, it is a confident composition which is distinguished by a combination of Medieval and Tudor references and its varied and richly applied external materials. Though altered through the construction of rear additions, the principal Street presentation of the building remains generally unaltered and the property retains its original fence and a sympathetic garden setting. (Criterion E)

1 Montana Street (HO393) of 1941 is architecturally and aesthetically significant as is a fine and relatively intact example of the glazed brick, parapet-roofed and conspicuously modern houses which appeared in Boroondara after c. 1937. The house is an assured and successful composition, using its corner siting well and incorporating a series of interesting building forms and materials. It is distinctive for the extensive use of glazed manganese brick to all facades. It is also of some significance for its planning, specifically in its articulation of a bi-nuclear plan. (Criteria D & E)

4.4.3 Frequently raised issues

Restrictive covenants

As set out in the Summerhill Estate Precinct history, in the Glen Iris Heritage Gap Study, when the estate was subdivided, all lots were subject to a covenant that specified a single dwelling per block and roofs of tile or slate.

The covenant is still in place, so all redevelopment has been replacement of the interwar and early post-war detached dwellings with new detached dwellings, with a slate or tiled roof. Further subdivision of the allotments, for medium-density development, is not possible under the covenant.

A number of submitters cite the existence of the covenant as a reason that the Heritage Overlay is not required to protect the valued character of the Summerhill Estate Precinct. They note, for example, that the requirements for a tiled or slate roof of replacement dwellings leads to a more traditional building expression given the necessary slope required for tiled roofs (Submission 23).

As single-dwelling covenants are a density control tool, I agree that the covenant has probably prevented more extensive redevelopment in the Summerhill Estate. However, the covenant has not prevented the construction of some new dwellings that are not in keeping with the heritage character of the area. For example, the new two-storey house at 57 Celia Street has a parapet to make it appear that it has a flat roof.

More importantly, the covenant does not provide any protection for the elements of heritage value, such as the contributory houses, front fences, and garages. The single dwelling covenant provides no control over the demolition of existing buildings nor the form of replacement buildings. In the absence of any other planning controls applicable to the street, single dwelling covenants are not an appropriate tool to rely upon to protect the heritage fabric of the precinct that remains. The Heritage Overlay is the recognised tool to protect places and precinct of heritage value.

For this reason, I will not respond to submissions or parts of submissions that argue that the single-dwelling covenant provides appropriate protection to the heritage precinct in this evidence.

Association with Thomas Burke (Issue 1)

As noted in the methodology section of this evidence, particularly section 3.3.5, I discussed how the previous heritage precinct recommendation for the Summerhill Estate from the 1991 'Camberwell Urban Conservation Study' was considered when assessing the heritage value of this area.

The 1991 statement of significance called attention both to the physical survival of the interwar subdivision and the 'stylistic range of inter-war building', but also placed weight on the involvement of 'prominent local developer' Thomas M Burke, finding this to be the largest of his subdivisions in the former City of Camberwell.

As Thomas Burke is still recognised as an important figure in our history, as indicated by an entry in the Australian Dictionary of Biography, and due to his impactful activities in

the Boroondara area (including residential subdivision, but also in the foundation of Xavier College, Kew), I considered it appropriate to continue to recognise his importance in the new statement of significance prepared as part of the Gap Study. This was set out under Criterion H ('Special association with the life or works of a person ...').

In response to submissions that questioned the level of Thomas Burke's significance in the formation of this precinct, I considered whether the precinct would be of local heritage significance solely for its association with Burke under Criterion H. I concluded that the answer was no, and that it was more appropriate to recognise Burke's contribution to the foundation of the estate as part of its more general historic significance (under Criterion A).

Non-implementation of 1991 heritage study (Issue 2)

Many objecting submissions question - as Precinct 12: Summerhill Estate recommended by the 1991 'Camberwell Urban Conservation Study' was not given heritage protection at that time - if it really warrants inclusion in the Heritage Overlay today. This view can be summarised as in Submission 104: 'The 1991 Study recommending a Heritage Overlay was not adopted. It is unclear what has changed since this time.'

In some cases, there is a misunderstanding of the 1991 recommendations (Submission 80: 'The 1991 heritage assessment determined that the area was not worthy of preservation'). In fact, the 1991 found the precinct to be of heritage significance, but its recommendation for protection has simply not been implemented.

There was a very low level of implementation of the 1991 'Camberwell Urban Conservation Study' initially, with the majority of the implementation of its recommendations (following a review) after 2000. This was true both for precincts and individual places. The 1991 study recommended that all places given an A (State importance) or B (Metropolitan importance) grade be given site-specific protection if they were not in a heritage precinct (urban conservation area). However, the City of Camberwell did not implement any of these individual recommendations. It was only in the late 1990s that the newly amalgamated City of Boroondara implemented protection of the A-graded places and in 2005 heritage consultants Lovell Chen were engaged to assess the B-graded places ('Review of B-graded buildings in Kew, Camberwell and Hawthorn, 2007, rev. 2009).

In relation to heritage precincts, or urban conservation areas (UCA) as they were known back then, the City of Camberwell was equally slow to act on the recommendations of the 1991 study, and the new City of Boroondara has been working through them over the past 25+ years. The only heritage precinct (UCA) implemented by the City of

Camberwell was the Prospect Hill Road precinct (Amendment L4, now HO159), which contains the key Victorian and Edwardian residential area of the suburb of Camberwell.

After amalgamation, and the formation of the City of Boroondara, the new municipality took a slow and staged initial approach to implementing further heritage precincts. This began with the precincts that had been assessed as being of State-level and Regional (Eastern-suburbs or Melbourne-wide) significance. During this stage, each precinct was given a quick review by the original author of the 1991 study, Graeme Butler, to see if there had been any changes in the proposed precinct in the intervening years, and to confirm whether or not it still warranted heritage protection. The precincts implemented during this period were:

- HO1 Golf Links Estate, Camberwell (gazetted in 1997)
- HO191 Hassett's Estate, Canterbury (gazetted in 1998)
- HO192 Reid Estate, Balwyn (gazetted in 1999)
- HO225 Fairview Avenue Precinct, Camberwell; HO226 Goodwin Street & Somerset Road Precinct, Glen Iris; HO227 Great Glen Iris Railway Junction Estate and Environs, Ashburton; HO228 Holyrood Estate and Environs, Camberwell; HO229 Ross Street Precinct, Surrey Hills; HO230 Toorak Estate and Environs, Glen Iris; HO231 Riverside Estate and Environs, Balwyn North (all gazetted in 1999)

The remaining precincts, found to be of local heritage significance and recommended for protection by the 1991 study, were not addressed until the 2000s. Those precincts that have been reviewed and then included in the Heritage Overlay include:

- Precinct 25: HO264 Balwyn Road Residential Precinct, 'Balwyn Road Residential Precinct, Stage 2 Heritage Precinct Review, RBA Architects + Conservation Consultants, 2006.
- Precinct 30: HO505 Burke Road North Commercial Precinct, 'Camberwell Junction Heritage Review', Lovell Chen, 2009.
- Precinct 32: HO506 Civic and Community Precinct, Camberwell Junction Heritage Review', Lovell Chen, 2009.
- Precinct 40: HO532 Union Road Commercial Precinct, 'Surrey Hills and Canterbury Hill Estate Heritage Study', Lovell Chen, 2011.
- Precinct 21: HO536 Canterbury Hill Estate, 'Surrey Hills and Canterbury Hill Estate Heritage Study', Lovell Chen, 2011.
- Precinct 25.01: HO768 Balwyn Village Precinct, 'Balwyn and Balwyn North Heritage Study', Built Heritage, 2015.
- Precinct 25.02: HO590 Grange Avenue Residential Precinct, 'Individual Heritage Citations', Context, 2016.

- Precinct 16: HO702 Parlington Estate Residential Precinct, 'Canterbury Heritage Gap Study', Context, 2018.
- Precinct 28.2: HO732 Camberwell Links Estate Precinct, 'Camberwell Heritage Gap Study', Context, 2018.
- Precinct 28.3: HO731 Bellett Street Precinct, 'Camberwell Heritage Gap Study', Context, 2018.
- Precinct 31: HO739 St John's Wood & Sage's Paddock Precinct, 'Camberwell Heritage Gap Study', Context, 2018.
- Precinct 35: HO738 South Camberwell Commercial Precinct, 'Camberwell Heritage Gap Study', Context, 2018.
- Precinct 39: HO800 Burke Road Commercial Precinct, 'Kew Heritage Gap Study', Context, 2018.

In summary, Precinct 12: Summerhill Estate was found to be of heritage significance and recommended for protection by the 1991 study. This recommendation was not implemented at the time, along with nearly all other precinct recommendations from this study. What has changed since that time? Boroondara City Council now has a firm commitment to identifying places and precincts of heritage significance in the municipality, and has been working through the recommendations since the mid-1990s.

As indicated by the long list of precincts originally recommended by the 1991 study, not implemented at the time but later reviewed and successfully added to the Heritage Overlay, it is clear that the original recommendations were sound.

Non-contributory properties in precinct (Issue 3)

An issue frequently raised in concert with the 1991 assessment of Precinct 12: Summerhill Estate are the physical changes in this area since 1991, particularly the demolition and replacement of some of the original houses. Some submitters suggest that they may have supported heritage protection of the precinct in its 1991 form, but that too much redevelopment has occurred since then.

As set out in my discussion of the methodology of the Glen Iris Heritage Gap Study (see section 3.2.1) I was aware of previous heritage recommendations and nominations while carrying out my Stage 1 Street-by-Street survey, but they were not a deciding factor when determining which places and precinct were of probable local heritage significance and warranting further assessment in Stage 2. Instead, I looked for individual places and streetscapes or broader areas that stood out in the local context.

Early in my field survey I visited two precincts recommended by the 1991 'Camberwell Urban Conservation Study': Glen Iris Heights Estate, and High Street Shopping Centre. I was disappointed to find that both had suffered widespread redevelopment since that

time. While there were still a number of contributory-quality buildings scattered through them, they had both lost their historic character to a very great degree.

I expected that the same might be true of Summerhill Estate, but I was immediately struck upon entering it by the strong interwar character it still retains. While I acknowledge that its proportion of intact interwar houses would have been higher in 1991, the current proportion of non-contributory properties in the precinct is still within the norm for Heritage Overlay precincts.

More generally, some submitters question whether it is appropriate to have any non-contributory properties in a heritage precinct, and whether their presence negates any heritage value. In every heritage precinct of medium to large size there are some non-contributory properties, and this is accepted practice in the Victorian Planning system. The important question is whether the heritage character is dominant within the precinct boundaries. In the case of the Summerhill Estate Precinct, in the boundaries proposed by the Glen Iris Heritage Gap Study, it is my professional opinion that the interwar (and associated early post-war) character of the precinct prevails.

4.4.4 40 Audrey Crescent, Glen Iris (Submission 79)



Figure 13. 40 Audrey Crescent, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

40 Audrey Crescent, Glen Iris (built in 1939), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 40 Audrey Crescent as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Alteration to the property

Houses at 30-44 Audrey Crescent have been extensively altered, thereby reducing any relevance to the period they were originally built in.

In my professional opinion, it is an overstatement to say that 'nearly all' of the eight houses in the row at 30-44 Audrey Crescent 'have had extensive alterations'.

I acknowledge that a new carport has been built in front of No. 40, but this is a reversible change and the externally intact house is still visible behind it.

No. 34 has had its windows replaced (in the original openings) but is otherwise intact.



Figure 14. The 1940 house at 34 Audrey Crescent. The original windows have been replaced in the original openings. (Source: Context, 2018)

No. 42 has also had its windows replaced (in the original openings). Solar panels have been installed on the front slope of the roof, which is a reversible change.



Figure 15. The 1939 house at 42 Audrey Crescent. The original windows have been replaced in the original openings. (Source: Context, 2018)

No. 44 has had changes to the front porch and a recessive rear extension that sits entirely behind the main roof.



Figure 16. The 1939 house at 44 Audrey Crescent. The front porch roof has been altered or replaced, and a two-storey rear addition constructed. (Source: Context, 2018)

In summary, three of the eight contributory houses in this row have minor external changes of the kind that are common amongst contributory-graded houses in existing precincts. Several examples are provided below illustrating more far-reaching alterations to front windows – both replacement of sashes and enlargement of openings – in houses that have nonetheless been graded contributory in Boroondara Heritage Overlay precincts.



Figure 17. 20 Fairview Avenue, Camberwell, a contributory property in HO225 Fairview Avenue Precinct. The front windows of this 1930s timber California Bungalow have been replaced and enlarged. (Source: Domain.com.au, 2021)



Figure 18. 41 Fairview Avenue, Camberwell, a contributory property in HO225 Fairview Avenue Precinct. The front windows of this 1930s timber bungalow have been replaced and enlarged, the porch supports replaced and neo-Federation fretwork installed. (Source: Domain.com.au, 2021)



Figure 19. 11 Goodwin Street, Glen Iris, a contributory property in HO226 Goodwin Street & Somerset Road Precinct. The front windows of this 1930s Old English house have been replaced, including the surrounds. (Source: Onthefhouse.com.au)

Apart from those three, the other houses in this row are highly intact as viewed from the Street.

In commenting on lack of intactness, the submitter may be referring to internal changes to these houses, and I do not doubt that all or nearly all of them have undergone internal remodelling since they were built. As the Summerhill Estate Precinct does not seek to control internal alterations, in my professional opinion, it is appropriate to disregard such changes when assessing the inclusion of these houses and their appropriate gradings in the precinct.

Conclusion and Recommendations

It is my opinion that:

- The houses at 30-44 Audrey Crescent are correctly graded contributory in the proposed precinct.
- No changes should be made to Amendment C333boro in response to this submission.

4.4.5 16 Celia Street, Glen Iris (Submission 78)



Figure 20. 16 Celia Street, Glen Iris. (Source: Context, 2019)

Recommendations and Amendment C333boro

16 Celia Street, Glen Iris (vacant), has a non-contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 16 Celia Street as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Justification of heritage protection

The Summerhill Estate was not considered deserving of heritage protection in 1991. The Study does not explain it is worth of a Heritage Overlay now.

Please refer to my response to Issue 2 in Section 4.4.3.

Number of non-contributory properties

There is a large number of non-contributory properties in the precinct (20%).

Please refer to my response to Issue 3 in Section 4.4.3.

Associative significance

Criterion H: the sale of land in the estate by Thomas Burke and his role in the community is not relevant to the inclusion of the Summerhill Estate in a Heritage Overlay.

Please refer to my response to Issue 1 in Section 4.4.3.

Comparative analysis

In comparing the Golf Links Estate with the Summerhill Estate, the submitter makes the following comments:

- *The Golf Links Estate established in a smaller time frame than the Summerhill Estate*
- *There are far fewer non-contributory properties in the Golf Links Estate's compared with the Summerhill Estate, where over 20% is non-contributory.*
- *The block sizes in the Golf Links Estate are larger and homes were built to a higher standard and from higher quality materials.*

I agree that the Golf Links Estate is of very high significance. When assessed as part of the 1991 'Camberwell Urban Conservation Study' it was deemed to be of State significance, with the statement of significance reading: *The estate captures more than any other in the state, the mainstream villa styles of the late 1920s and early 1930s. ... the cultural expression of the period between the two wars is very high, both for Camberwell and the state [of Victoria].*

In my Stage 1 Street-by-Street survey of Glen Iris, I found that it is one of the best examples of the key period of development in Glen Iris. In carrying out comparative analysis during Stage 2, I concluded that it is of comparable quality – both in the housing stock and visual cohesion of streetscapes – to most other interwar-era residential precincts in the Boroondara Heritage Overlay, and thus meets the threshold of local significance.

Conclusion and Recommendations

It is my opinion that:

- The local significance of the Summerhill Estate Precinct is well justified.
- No changes should be made to Amendment C333boro in response to this submission.

4.4.6 41 Hortense Street, Glen Iris (Submission 116)



Figure 21. 41 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

41 Hortense Street, Glen Iris (started in 1942 and completed in 1945), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 41 Hortense Street as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Alterations to the property

41 Hortense Street has been altered and the façade is no longer original.

While the submitter states that the façade of 41 Hortense Street is altered, they do not provide any details.

Comparison of a 1945 aerial of this property and current aerals indicates that there have been at least two rear additions, both of which are single storey and not visible from the Street. Rear extensions are frequently approved in Heritage Overlays and in my professional experience a recessive rear extension does not prevent a house from being contributory.

Review of the building permit card has thrown up interesting information about the construction of this house. The original building permit (No. 15330) was granted on 31 December 1941. Trenches were dug for the footings and concrete foundations had been poured by February 1942. Three months later, on 13 May 1942, the construction works were halted under the National Security Regulation. These regulations banned all “non-essential” construction (i.e. not related to the war effort), and they were in place until 1945.

On 22 May 1945, the same plans were resubmitted (as No. 16912) and approved, with the deletion of the sleepout and garage. The house had been erected by December 1945, as it is visible in an aerial photo of this date.



Figure 22. Aerial view of 41 Hortense Street in December 1945, as completed. (Source: Landata)

The 1942 and 1945 plans for this house show the front façade in an identical form as today, apart from the replacement of the corner window sashes with fixed glazing.

In my professional opinion, the replacement of one window (in its original opening) is an acceptable level of change for a contributory building.

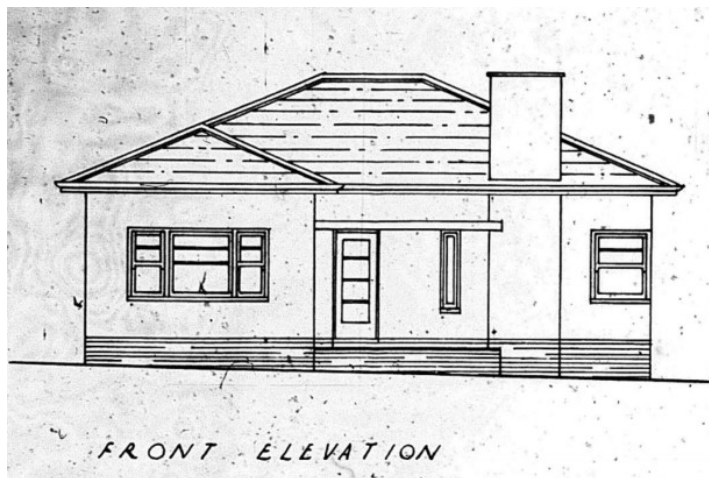


Figure 23. Front façade of 41 Hortense Street from the 1945 building permit plans. Note the sash window on the right-hand side, now replaced by fixed glazing. (Source: City of Camberwell, BP No. 16912)

The two-stage erection of this house should be noted in the table that contains the gradings and built-dates of houses in the precinct. This change has been made in the revised 23 June 2021 version of the Study.

Association with Thomas Burke

This criteria of association could potentially be applied to the bulk of Melbourne, with only the names changing, due to the evolution of the city. It hardly makes a unique or convincing reason.

Please refer to my response to Issue 1 in Section 4.4.3.

Historical significance and non-contributory properties

Many changes have already taken place in this area over the last ten years and therefore the submitter disputes that the area as a whole is a good enough example to warrant heritage protection.

Since the time of the Butler report 82 of 385 properties (almost one quarter) can no longer be considered contributory.

Please refer to my response to Issue 3 in Section 4.4.3.

Aesthetic significance

There are two houses that are in an existing individual Heritage Overlay in the area. This does not necessarily warrant an overlay for the wider area.

I agree that Criterion E is only in reference to two specific properties, 32 Hortense Street and 1 Montana Street. As these two individual significant properties are part of the precinct, their aesthetic significance must be recognised in the statement of significance.

These two properties, along with the rest of the precinct satisfy two other HERCON Criteria (A – historic, D – representative). As a place or precinct need only meet one HERCON Criterion at the local level in order to warrant inclusion in the Heritage Overlay, the remainder of the precinct also warrants protection.

Conclusion and Recommendations

It is my opinion that:

- As demonstrated by the 1942 and 1945 building permit plans, the house at 41 Hortense Street is highly intact as viewed from the Street.
- Therefore, 41 Hortense Street is correctly graded as a contributory place in the proposed precinct.
- I agree that the precinct would not be of local significance solely due to its associative values.
- Therefore it is recommended that Criterion H is removed from the precinct Statement of Significance, Thomas Burke's involvement is addressed as part of Criterion A.
- No other changes should be made to Amendment C333boro in response to this submission.

4.4.7 53 Summerhill Road, Glen Iris (Submission 81)



Figure 24. 53 Summerhill Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

53 Summerhill Road, Glen Iris (built in 1929), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 53 Summerhill Road as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Non-implementation of 1991 heritage study

The 1991 City of Camberwell Conservation Study by Butler & Associates recommended the Summerhill Estate as a precinct of interest but it was not acted upon for a variety of reasons.

Please refer to my response to Issue 2 in Section 4.4.3.

Recent changes to the streetscape

There have been changes to both the building fabric and the population distribution over the past 30 years. The current Context 2020 study fails to note this dramatic change in the housing stock that has occurred.

At that time of the 1991 Study, virtually all houses would have been contributory, but since that time now 82 out of the 385 houses considered in the precinct are no longer contributory – that is almost one quarter of current houses are no longer contributory

The Study principally identifies Criterion A (historical significance) and Criterion D (representativeness) however, nearly 25% of the houses are no longer contributory.

Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- 53 Summerhill Road is correctly graded as a contributory place in the proposed Summerhill Estate Precinct.
- The local significance of the proposed Summerhill Estate Precinct is well justified.
- No changes should be made to Amendment C333boro in response to this submission.

4.4.8 23 Hortense Street, Glen Iris (Submission 78)



Figure 25. 23 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

23 Hortense Street, Glen Iris (built in 1941), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 23 Hortense Street in the proposed Summerhill Estate precinct in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Changes to the streetscape

The landscape of Summerhill Estate has been significantly altered.

Please refer to my response to Issue 3 in Section 4.4.3.

Alterations to the property

The property has no original features, style or heritage/historical significance remaining or apparent, with:

- a. Replacement of all of the exterior doors and windows.*
- b. Complete replacement of all the front yard walls (of the corner property). New front and side brick walls, built high for security purposes.*
- c. Complete replacement of all remaining boundary walls/fences. New, high timber paling fencing, along the remaining perimeter boundaries.*
- d. Complete replacement of the old garage. A new, modern double garage is built across a large portion of the rear/side yard for the purposes of off the Street carparking and to avoid obstructing traffic and Street cleaners.*
- e. Extensive and significant front and rear yard landscaping.*
- f. Installation of a sophisticated CCTV security system, with at least eight exterior surveillance cameras (and over a dozen exterior flood lights) visible from the Street.*
- g. And other current additions to make the home liveable by modern norms.*

The house at 23 Hortense Street was built in 1941 in its current two-storey form. It is recorded on the City of Camberwell building card as an eight-room, two-storey brick and tile dwelling. A sunroom was added to the front façade in 1961 (BP 29766). The building plans survive for the sunroom, noting that one set of front windows was enlarged to an opening letting out to the sunroom. The 1961 plans also indicate that the other windows of the house were not changed at this time. While the submitters may have replaced the window units, they are all in keeping with the original appearance of the house.



Figure 26. Alterations to the front (west) façade of 23 Hortense Street in 1961. Note removal of a window and creation of a sunroom at the ground floor (lower left). (Source: City of Camberwell Building Permit No. 29766)

I agree that a new garage has been built at the rear, fronting Ariel Avenue. It is constructed of clinker brick to match the house so is visually sympathetic. It is set well back from the house so has little impact on views from Hortense Street. The new high brick fence has a much greater visual impact, though the two-storey form of the house means that it is still clearly visible in the streetscape.

Changes that are entirely reversible, such as the installation of external lights and cameras, have no impact on the heritage value of this property.

No internal controls are proposed, so the intactness of the interior is not taken into account.

Overall, in my professional opinion, the house is clearly of an intactness sufficient for a contributory house, as the only external change being the loss of one front window to allow creation of a sunroom.

Evaluation of significance

The submitter questions whether there has been appropriate and/or thorough evaluation of the properties within the Summerhill Estate precinct, particularly with respect to 23 Hortense Street, Glen Iris.

A set out in Chapter 3 of this expert evidence, each property in the proposed precinct was inspected in July 2018 from the footpath and photographed, and its built date determined from Council records.

When alterations were apparent in the initial inspection or raised in a submission from owners, this was investigated further through aerial photos and building permit plans.

In response to this submission, I investigated the intactness of 23 Hortense Street through these means, and concluded that it is of the intactness expected of a contributory building.

Property grading

The submitter questions if the property has been incorrectly graded contributory in the Study.

As noted above, this house was built in 1941, at the end of the interwar period. It has a high level of external integrity with the only known alteration the addition of the sunporch. (Replacement of windows in-kind does not diminish this.) It is a substantial version of the typical bungalows built at this time. Its built-date and relatively high level of intactness means that it definitely contributes to the significance of the heritage precinct.

Local threshold

23 Hortense Street does not appear to meet the local or State threshold as outlined in all eight of the HERCON Criteria and consequently, the property should be regraded to non-contributory.

I agree that 23 Hortense Street does not meet the threshold of local or state significance. It is a contributory part of a precinct which as a whole meets the threshold of local significance. This means that this property would not warrant protection in the Heritage Overlay on its own, but it can form the part of heritage precinct. This approach to heritage protection is in keeping with current Victorian Planning provisions, as set out in Planning Practice Note No. 1: Applying the Heritage Overlay (2018).

Depiction of the property in the citation

23 Hortense Street, Glen Iris is not depicted in any of the notable photographic or literary examples included in the Study. There was nothing of any significant or historical value attributable to the property at the time of this revised report on 2 March 2020.

As there are hundreds of properties in the Summerhill Estate Precinct, only a handful of them could be individually depicted in the precinct citation. The citation's authors sought to provide one or two examples of each type and style of house in the precinct, as well as examples of other contributory elements, such as original front fences.

In my professional experience, this is the standard way of preparing precinct citations, though in some cases there might be a photo of each property in a gradings schedule.

Examples of higher significance

There are much more significant examples of heritage-worthy houses (older, historically themed, architecturally designed or prominent, quality, intact and rarer), surrounding the Summerhill Estate (such as on the southern to western side of Summerhill Road, and the northern to eastern boundaries) and through most other suburbs across the City of Boroondara (such as Camberwell, Canterbury, Mont Albert and Surrey Hills). The submitter questions why these more heritage laudable suburbs are considered in evaluation and the Comparative analysis of the Summerhill precinct, when most of the properties across these older/historical suburbs not themselves covered by a Heritage Overlay.

The Municipal-Wide Heritage Gap Study has been looking at all of Boroondara's suburbs (apart from Balwyn and Surrey Hills, which were the subject of recent heritage studies). As with Glen Iris, I looked at every Street of these suburbs and recommended individual places and precinct of potential heritage significance to be assessed. The submitter has not given any specific addresses of places considered to be of heritage significance, so I cannot respond in more detail here.

Conclusion and Recommendations

It is my opinion that:

- The house at 23 Hortense Street is of an external intactness sufficient for a contributory-graded place.
- Therefore, 23 Hortense Street is correctly graded as a contributory place in the proposed Summerhill Estate Precinct.
- No changes should be made to Amendment C333boro in response to this submission.

4.4.9 54 Brandon Street, Glen Iris (Submissions 8 and 85)



Figure 27. 54 Brandon Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

54 Brandon Street, Glen Iris (built in 1939), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitters oppose the inclusion of 23 Hortense Street as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Assessment of significance and the association with Thomas Burke

The heritage criteria have not been met for the following reasons:

- a. *Criterion A: There is no explanation in the Study of the importance of the Summerhill Estate to the City of Boroondara's cultural or natural history. It only states that Summerhill Estate was subdivided by an estate agent, Thomas Burke,*

in 1925. This is only evidence of commercialisation and urbanisation which did not result in any cultural and natural importance to the City of Boroondara.

In my professional opinion, Summerhill Estate is an excellent demonstration of how this part of the City of Boroondara became the suburb it is today. As indicated, this mostly took place in the interwar period. To understand Glen Iris' origins into the future, the best-preserved areas from this important period in its history should be preserved.

b. Criterion D: Some properties in the Summerhill Estate demonstrate domestic architectural styles of early post-war period and therefore it is reasonable that they be protected by a heritage overlay. However, it is wrong to blindly include properties with few heritage features in the heritage overlay. These post-war properties are commonly seen in Glen Iris.

The large majority of properties to be protected in the Summerhill Estate precinct were built during the interwar period (1920s to 1942). A small number were built just after WWII (early postwar period) using the same materials and styles as the interwar period. I agree that there are other examples of these types of houses in Glen Iris, and that most of them would not warrant heritage protection on their own. However, as a group, the houses in Summerhill Estate are rare in Glen Iris and Boroondara more widely, and it is as a group of mostly typical houses of their era that they warrant protection. As a group, in my professional opinion, they clearly illustrate the domestic architecture of the interwar and early postwar periods.

c. Criterion H: the Summerhill Estate precinct is linked to an estate agent, Thomas Burke, who made his fortune by this subdivision. It is not justifiable to add Summerhill Estate precinct as heritage overlay.

Please refer to my response to Issue 1 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- 54 Brandon Street is correctly graded as a contributory place in the proposed Summerhill Estate Precinct.
- Criterion H should be removed from the precinct Statement of Significance and address Thomas Burke's involvement as part of Criterion A
- No other changes should be made to Amendment C333boro in response to this submission.

4.4.10 40 Hortense Street, Glen Iris (Submissions 16 and 132)



Figure 28. 40 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

40 Hortense Street, Glen Iris (built in 1939), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 40 Hortense Street as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, from the two submissions made, with my response to each issue provided below.

Non-contributory properties in precinct

There is no heritage to preserve as there are both modern and pre-war dwellings in the estate.

Please refer to my response to Issue 3 in Section 4.4.3.

Recommendation of the 1991 heritage study

Much of what the Context Report raised appears to have been recycled from the 1991 Butler Report referring to the Summerhill Estate at pages 47-49 of volume 3 as "Precinct 12".

The City of Camberwell declined to impose an overlay on Precinct 12.

The review of previous heritage assessments and the incorporation of still-valid information is common practice in my professional experience.

Please refer to my response to Issue 2 in Section 4.5.3.

Conclusion and Recommendations

It is my opinion that:

- 40 Hortense Street is correctly graded as a contributory place in the proposed Summerhill Estate Precinct.
- The local significance of the proposed Summerhill Estate Precinct is well justified.
- No changes should be made to Amendment C333boro in response to this submission.

4.4.11 63 Florizel Street, Glen Iris (Submission 9)



Figure 29. 63 Florizel Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

63 Florizel Street, Glen Iris (built in 1939), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 63 Florizel Street as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Design of the property

The design of the home is similar to modern townhouses being built with bricks and render and a setback upper level.

The house at 63 Florizel Street was built in 1939. It has a brick base (up to windowsill level) with render above, a hipped roof with projecting front room, and timber windows with sashes containing a horizontal glazing bar. The house retains an original low brick front fence, also overpainted. The 1930s origins of the house are indicated particularly by its windows, both their overall form and details such as the use of a corner windows and corbelling below the sills.

I agree that the upper-level addition is not original, but as it has been set behind the ridgeline it is a recessive element and the original hipped roof form of the house can be understood.

Building plans held by the City of Boroondara indicate that in 1992, the original front porch was demolished and replaced with the present flat porch roof supported by columns (No. 95716, 1992). Apart from that, the front façade is intact.

In my professional opinion, this house is both clearly recognisable as a late interwar dwelling, and it is intact enough to contribute to the precinct.

Significant elements

The property does not have any significant features such as windows, decorative screens, curved porch, and featured bricks visible on the front façade.

As noted above, the windows of this house are original, and retain decorative accents such as horizontal glazing bars, corbelling below and a corner window. The house has lost visual distinctiveness when the brick base wall was overpainted. This paint can be removed, if desired, using gentle means, making the feature bricks visible again. Note that late 1930s houses often had stripped-back styling to look "modern" so the appearance of this house is typical of its time.

Conclusion and Recommendations

It is my opinion that:

- The house at 63 Florizel Street is clearly recognisable as a 1930s dwelling, and is sufficiently intact to contributory to the precinct.
- Therefore, 63 Florizel Street is correctly graded as a contributory place in the proposed Summerhill Estate Precinct.
- No changes should be made to Amendment C333boro in response to this submission.

4.4.12 41 Brandon Street, Glen Iris (Submission 17)



Figure 30. 41 Brandon Street, Glen Iris. (Source: Context, 2019)

Recommendations and Amendment C333boro

41 Brandon Street, Glen Iris (built in 1936), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 41 Brandon Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Alterations to property

The property has undergone significant renovations over the past 15 years, including:

- *remodelling to create a central front entrance, porch and staircase (as opposed to the original side facing staircase) which was recently enclosed by a steel framed glass door,*
- *rendering (it was previously exposed clinker and red brick), painted on multiple occasions,*
- *the front fence has been replaced with a modern rendered front fence,*
- *a pebble-wash concrete driveway has been laid and,*
- *the rear of the house has been extended to effectively double the size of the house.*

As a result of these alterations, the building has limited resemblance to the original house should not be graded as contributory. The property should be regraded as non-contributory.

I agree that 41 Brandon Street has undergone the following external changes visible from the public domain (i.e. footpath/street): Removal of the brick balustrade in the front porch to create access from the front instead of the sides and relocation of the steps from the side to the front. The original porch side opening is still legible.



Figure 31. North side of the front porch, with infilled original opening. (Source: Context, 2019)

While the submission states that the render on the house is an alteration, no evidence has been provided to support this claim. The front façade has an exposed brick plinth (clinker brick) and exposed brick accents to the front gable and eaves. In my professional opinion, the texture of the render and its relationship with the clinker brick plinth and decorative elements on the gable indicate that the house has always been partly rendered. That is, if render had been added to a wholly face brick elevation, I would expect the render to stand proud (stick out farther than) the brickwork left exposed. This is not the case, as illustrated by the photo below.

I do consider it possible that the side elevations were original face brick and were later rendered to match the front façade. In either case, even if some or all of the current textured render constitutes an alteration to the house, in my professional opinion, the house would still be of an overall intactness sufficient to be contributory to the precinct.



Figure 32. South corner of the front façade, showing brick accents that are still proud of the render. (Source: Context, 2019)

As the submitter says, the current front fence and driveway pavement are recent in date. These changes do alter the presentation of the house, and are not in keeping with the predominance of front gardens in the interwar period. Despite this, in my professional opinion, the property overall is of an intactness that is well within what is expected of a contributory property. I note that retention of an original front fence (and driveway) is desirable, but it is not a requirement for a contributory (or significant) grade.

The rear extension is single-storey and has no impact on views from the street. Note that rear additions are frequently built on contributory houses in heritage precincts. In my professional opinion, this extension has no impact on the contribution of this property to the precinct.

Heritage value of houses

The study overstates the heritage value of the houses in the area.

In my professional opinion, Summerhill Estate Precinct contains an excellent illustration of interwar residential development in Glen Iris. This conclusion is based both on extensive comparative analysis – within Glen Iris and Boroondara more widely. While some houses have been replaced in recent years, the dominant character of the precinct as built survives.

Stylistic eclecticism

The remaining original houses in that precinct are an eclectic mix of styles and were developed over an approximately 30 year period. There are a large range of architectural styles within the area, and dwellings were constructed by number of different builders over an extended period of time. The result is a patchwork quilt of architectural styles and merit, rather than a prevailing interwar heritage theme.

I agree that there is a wide range of styles in the precinct. This is characteristic of the interwar period (and the continuation of some of these styles just after WWII as seen in the precinct). In my professional experience, all but the smallest interwar heritage precincts exhibit this eclecticism, as it illustrates the architecture of that time. It is not a drawback, instead is part of the representative significance (Criterion D) of the precinct.

Alterations to houses

Many of the original houses have been altered by renovations, paint, second storey additions.

I agree that some houses in the precinct have been altered. In some cases, these are minor changes and/or reversible (like painting), and have little impact on heritage value. If the alterations have gone so far to the point that the original form of the house is lost, then it is correctly graded non-contributory. Similarly, the amount of demolition involved,

and the visibility of rear additions are considered when determining if a house can still contribute to the precinct or it should be graded non-contributory. In some cases, if a second-storey addition is set largely or wholly behind the ridgeline and it does not unduly dominate views to the front façade, the house may still be contributory.

Heritage criteria

The Summerhill Estate does not meet the heritage criteria for the following reasons:

- *Only a limited number of criteria are identified as being applicable (Criteria B, C, F and G are listed as not applicable) and the reasons given against those criteria are not compelling.*
- *Criterion A: The Summerhill precinct was developed gradually over a 40 year period by a number of builders and has no particular theme.*
- *Criterion H: the sales agent being Thomas Burke has little significance and therefore criterion H is not met.*

In terms of the heritage criteria:

- In my professional experience, a place or precinct only needs to meet one heritage criterion at the local level to warrant inclusion in the Heritage Overlay. This is reflected in the guidance of Planning Practice Note No. 1: Applying the Heritage Overlay (2018).
- Criterion A: The Summerhill Estate was developed over the interwar and early post-war periods, which is the principal period that Glen Iris was developed. My Stage 1 survey identified it as one of the most intact areas from this period, so in my professional opinion it is an excellent illustration of the key period of Glen Iris' history.
- Criterion H: Please refer to my response to Issue 1 in Section 4.4.3.

Non-contributory properties

A large number of the original houses in that precinct have been demolished and replaced with larger, modern homes of varying designs. There are many non-contributory properties and therefore it would be difficult to apply the proposed heritage overlay with consistency and transparency.

There are numerous houses in the Summer Hill Estate which have been excluded from the Heritage Overlay. The resulting swiss cheese approach is highly irregular and defeats the objectives of the Heritage Overlay as the character of the neighbourhood has already fundamentally changed. For example, the 3 houses directly opposite my house (38, 40 and 42 Brandon St) have all been excluded from the overlay. 42 Brandon St was constructed 10 years ago and is of a modern design. 40 Brandon Street was demolished in December 2020 (after the adoption of the Heritage Overlay and we note that this

house was originally listed as contributory in the Glen Iris Gap Study) and is a very large 2 story Hamptons style home which is much larger and bulkier than the interwar homes in the Estate. 38 Brandon St was demolished in April 2021 (once again, after the adoption of the Heritage Overlay and which was originally listed as contributory in the Glen Iris Gap Study) and is being replaced with a very large 2 story Boutique Home, which is also much larger and bulkier than the interwar home which it replaced. On that basis, there is no prevailing character in the immediate vicinity.

To start, I note that the properties mentioned by the submitter on Brandon Street have not been “excluded” from the precinct. They are all within the precinct, but Heritage Overlay controls had not yet been applied to prevent the demolition of contributory-graded buildings at 38 and 40 Brandon Street. The 10-year-old house at 42 Brandon Street has a non-contributory grade, but is still in the precinct.

I agree that it is unfortunate that two contributory-graded houses have been lost in this part of Brandon Street since the precinct was assessed in 2018-19, and I agree that this has an impact on the heritage value of the precinct as a whole.

Despite this group of new non-contributory dwellings, Brandon Street still has a very high proportion of contributory houses, which still dominate its overall character. More importantly, the non-contributory properties are surrounded to the north, south and east by contributory properties. For this reason, in my professional opinion, this part of Brandon Street should be retained as a whole in the precinct. For further discussion of non-contributory properties, please see Issue 3 in section 4.4.3

Conclusion and Recommendations

It is my opinion that:

- The house at 41 Brandon Street and its setting are sufficiently intact enough to contribute to the precinct.
- Therefore, the contributory grade of 41 Brandon Street is warranted.
- Brandon Street as a whole is intact enough, in its retention of contributory properties, to contribute to the precinct.
- No changes are recommended to Amendment C333boro in response to this submission.

4.4.13 60 Celia Street, Glen Iris (Submission 166)



Figure 33. 60 Celia Street, Glen Iris. (Source: RealEstate.com.au, 2016)

Recommendations and Amendment C333boro

60 Celia Street, Glen Iris (built in 1955), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 60 Celia Street in the Heritage Overlay as a contributory property. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Post-war date and character

The permit for the Building was approved in late 1955. It is of brick veneer. It is the newest of all houses in the entire precinct listed as contributory. The Summerhill precinct was almost entirely developed during the interwar period and most houses in Celia Street

are in the Moderne and Old English style, built between 1934 and 1940. The Building is neither a California Bungalow, Interwar Mediterranean, Moderne/Art Deco or Old English style. The Building therefore does not continue the forms and materials of the Interwar period. The Building is a double fronted orange brick veneer.

For clarity: The Building does not demonstrate the original inter-war and early post-war character that survives at most properties in the precinct, and which form the dominant character of the precinct. The Building does not fall into the group of houses that demonstrate the continuation of late interwar forms and details.

The submitter is correct in stating that the building permit for the house at 60 Celia Street was granted in August 1955 (BP No. 16791). They are also correct in stating that it is the contributory-graded property with the latest building permit date in the precinct. It followed shortly after other contributory buildings with building permits granted in 1953 (56 Hortense Street, 26 Montana Street), 1951 (48 Hortense Street), and 1950 (20 Adrian Street, 62 Celia Street, 66 Celia Street). As the submitters note, there were also other contributory properties built just after the war in the late 1940s (38 Audrey Crescent, 62 Brandon Street, 38 Celia Street, 54 Celia Street, 56 Celia Street, 7 Florizel Street, 24 Florizel Street, 58 Florizel Street, 43 Hortense Street, 45 Hortense Street, 50 Hortense Street, and 85 Summerhill Road).

While the majority of contributory houses in the precinct may have been built between 1934 and 1940, the very same styles that predominated in the late 1930s continued to be built in the decade following the war, particularly the Old English and Moderne styles. As noted in the precinct description:

The Old English style continued unaltered into the early post-war period. They included the more typical type built in clinker brick (38 Celia Street of 1946, 39 Florizel Street of 1948, 58 Florizel Street of 1946, 50 Hortense Street of 1946, 85 Summerhill Road of 1947), examples with a canted bay window beneath a metal hipped roof (62 Brandon Street of 1948), and a striking two-storey cream brick example (7 Florizel Street of 1947). ...

In addition, from 1935 onward, simplified versions of the Moderne house became common. In some cases, these retained a single curved element - such as a flat porch hood - on what was otherwise a simple hipped-roof bungalow.

In other cases, an external slab chimney on a front elevation was often the only decorative element. Houses of this type persisted in an identical form after World War II, until the early 1950s, using the same forms and cladding materials as the late interwar examples.

While the submitters state that the house at 60 Celia Street does not correspond to any of the interwar styles that characterise this precinct, in my professional opinion, it is an

example of the simplified Moderne houses built just before WWII and after it. Due to this, it contributes to the representative significance (Criterion D) of the precinct, in illustrating the continuum in domestic architecture before and after WWII.

Brick colour

The Building is not of the same style or similar palette of materials of other properties in the street, or precinct. All other contributory properties in the precinct are built of a face brick in colours ranging from red and clinker, to brown manganese and cream bricks – from our survey, we concluded that The Building is the only orange brick building in the precinct, apart from a one or two recently constructed modern non-contributory buildings, which are not relevant for comparison.

While the submitter states that there are no other contributory buildings in the precinct with the same brick colour, I note that the 1940 house at 1 Audrey Crescent is very similar (photo below), and the 1940 house at 50 Brandon Street as well.



Figure 34. Contributory house at 1 Audrey Crescent with the same deep cream or apricot bricks seen at 60 Celia Street. (Source: Context, 2018)

Note that both are described as having “deep cream” bricks, which is another term used for apricot bricks. This colour was available from the mid-1930s and was popular with architects of the era. See in Boroondara, for example, Littlejohn Memorial Chapel and other buildings at Scotch College (HO608, built 1933-39), Dillon’s Buildings at Camberwell Junction (HO503, built 1936-37), Siena Convent, Camberwell (HO724, built 1939), Rivoli Theatre, Hawthorn East (VHR H1524, built 1940), and Paton Memorial Church, Deepdene (HO884, built 1941).

In conclusion, 60 Celia Street is not the only contributory building constructed of deep cream/apricot bricks in the precinct, and furthermore this was a material that was fashionable in the late interwar era. Again, this indicates how the 1955 house at 60 Celia Street helps to illustrate the continuum between late interwar and early post-war domestic design.

Level of significance

We disagree that the architecture of the Building is of aesthetic and of social or historical importance. Unlike many houses in the precinct, the Building was not individually cited in the study, and does not share features of those listed, providing further evidence of its lack of heritage value and interest.

As the submitter notes, there are 341 buildings in the precinct constructed prior to 1960. It is not possible to individually cite every single building in the precinct citation, apart from in the gradings schedule. The absence of a photo or specific mention in the precinct citation text does not equate to a lack of heritage value. As noted in point 1 above, this house is typical of the simplified Moderne houses constructed before and after WWII, and its shares stylistic features with this group of houses.

Roof form

The Building also has a Pyramid Hip type roof type, with 4 triangular sides that meet at the point at the top, inconsistent with other buildings in the street. Most buildings in the precinct and street have a common Hip type roof, with a ridge beam. Specifically, the Pyramid roof type is also inconsistent with early Post-war buildings in the precinct, which all have a ridge beam.

It is also unfounded to say that 60 Celia Street is the only example of a pyramidal hipped roof (i.e. no ridge) in the precinct. A cursory look at Celia Street and one adjoining street reveals many contributory houses with a pyramidal hipped roof (11 & 27 Celia; 1, 12, 44, 45, 50, 54, 55, 56, 57, 60, 61 & 63 Brandon Street). All of these other examples were built in the mid 1930s to 1940, illustrating just how popular this roof type was in the late interwar period. Again, this is another feature whose continuation after the war is illustrated by 60 Celia Street.

Rear addition

The Building has undergone a significant extension to the rear. The Roof Flashing on the rear extension is clearly different and highly visible from the street and evidence that the original building has been altered. Additionally, it does not comply with the Sight line diagram of the Boroondara Planning Scheme.

The house at 60 Celia Street has a single storey rear addition, set entirely behind the original hipped roof section. In my professional opinion, the visibility of the corner of its fascia has little or no impact on its contribution to the precinct.

Proportion of interwar and post-war houses

Properties constructed before 1944 constitute 92% (the vast majority) of all properties constructed before 1960. Only 2% of buildings in the precinct were constructed in the Post-war period between 1950 and 1960, clearly demonstrating that these properties are an outlier and do not represent or contribute to the heritage of the precinct.

The submitter is correct in stating that the majority of contributory-graded properties in the precinct were built during the interwar period, with a smaller number built after it.

This was a purposeful decision made when defining the valued character and period of the precinct. As expressed in the statement of significance:

Subdivided in 1925, it was one of Boroondara's major interwar residential subdivisions. There was a small amount of infill development in the early post-war period, continuing the same styles and a similar palette of materials, creating a very cohesive area of development. (Criterion A)

... The Summerhill Estate precinct contains many examples representing the principal domestic architectural styles of the late interwar and early post-war periods. ... the Old English style and the Moderne/Art Deco style. These two later styles continued to be built just after the war in nearly identical forms and materials. ... (Criterion D)

As indicated by the quotes above, the interwar styles were considered to be an important part of this precinct's significance, so the interwar styles that continued to be built shortly after WWII were considered to be contributory. As most of the precinct was developed prior to the war, the early post-war development is by definition in the minority. This does not mean, however, that it cannot demonstrate the architectural continuum between these two periods.

Visual cohesion

The buildings in the immediate vicinity 46, 47, 49 55, 57, 58, 59, 64, 67 and 69 are all non-contributory. Buildings on the South end of Celia Street were clearly sold later than the rest of the homes in the precinct that this study seeks to preserve. Homes on the South end of Celia Street were sold over a 31-year-old period between 1929 to 1960, meaning the South end of the street constitutes a diverse mixture of interwar, post-war, and modern buildings, that have little to no visual cohesion or consistency. Almost every building in the South end of Celia Street is visually very different in its form and appearance.

I agree that most of the houses in the southern half of Celia Street were built in the late interwar and early post-war periods, apart from two 1929 houses (Nos. 61 & 63). This is

similar to most of the precinct, with minimal development just after the subdivision in 1925, a revival of construction around 1933 when the economy had recovered from the Great Depression, and final infill shortly after WWII.

I agree that there are a number of non-contributory properties on this block, but they are scattered singly or in small groups of two or three, surrounded by contributory properties. Due to the spatial integration contributory and non-contributory properties in this area, as opposed to dominance or a long row of only non-contributory properties, in my professional opinion this part of the street still contributes to the significance of the precinct. See also the discussion of Issue 3 in section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- The 1955 house at 60 Celia Street is an excellent example in its form and materials of the phenomenon of interwar housing types and styles that continued to be built in the early post-war years. The house is highly intact as viewed from the street, and clearly contributes to the precinct as defined by the statement of significance.
- Therefore, the contributory grade is warranted.
- The southern end of Celia Street contains contributory houses typical of the precinct, and it is intact enough overall to contribute to the precinct.
- No changes are recommended to Amendment C333boro in response to this submission.

4.5 Violet Farm Estate Precinct (Submissions 107 and 133)

4.5.1 Background

The proposed precinct incorporates two existing Heritage Overlay places and a small Heritage Overlay precinct that were assessed as part of the 'Hawthorn Heritage Study' (1992): HO154 Lower Burke Road Precinct, encompassing 395-417 Burke Road, HO43 10 Faircroft Avenue and HO91 12 MacDonald Street. In addition, the precinct includes three places recommended for protection by the 1992 study, but not implemented at that time: 8 & 8A Parkin Street, 24 Parkin Street, and 16 Rix Street.

After 1992, heritage consultants Lovell Chen carried out the 'Review of C* Grade Buildings in the Former City of Hawthorn' (2006, rev. 2009). They considered 8 & 8A Parkin Street and 24 Parkin Street and concluded that neither was of individual heritage significance. Instead, they recommended assessment of a broader heritage precinct in this area, stating (Vol. 1, p. 27):

... the broader area bounded by Rix Street, Burke Road, Sinclair and Harris Avenues and Parkin Street. It is noted that the broader area contains substantial numbers of houses from the interwar period, many of which appear to be broadly intact and were graded C in the 1993 study. This could incorporate an extension to the existing Lower Burke Road Heritage Overlay precinct (HO154).

As part of the Glen Iris Heritage Gaps Study, I determined that there was indeed a precinct of local significance in this area, which has been called the Violet Farm Estate Precinct. This precinct was assessed by me and the GML consultants. The reasons for its significance are set out in the statement of significance, below.

4.5.2 Statement of Significance

The statement of significance I prepared for this place (as revised, 23 June 2021), reads as follows:

What is significant?

The Violet Farm Estate Precinct is significant, comprising 377-423 Burke Road; 1-35 & 2-36 Faircroft Avenue; 11 & 14 Grosvenor Road; 2-16 & 1-15 Harris Avenue; 1-15 & 6-12 Macdonald Street; 2-30 & 1-21 Parkin Street; and 1-47 & 2-30 Rix Street, Glen Iris.

The precinct comprises two 1920s subdivisions situated just north of Gardener's Creek, bounded by Burke Road to the east and Toorak Road to the north. The majority of the houses were built in the late 1920s until the ban on non-essential construction in 1942, as well as one house identical to pre-1942 examples that was built just after the war.

The concrete roadbeds of Rix Street and Faircroft Avenue, original fences and original garages are contributory elements of the precinct.

The following places are individually significant: 395, 397, and 399 Burke Road (within the existing HO154); 10 Faircroft Avenue (existing HO43); 8 Macdonald Street; 12 Macdonald Street (existing HO91); and 35, 37, 39, 41, 43 and 45 Rix Street.

The following properties are non-contributory: 381-383A Burke Road; 19, 20 & 32 Faircroft Avenue; 1 & 7 Harris Avenue; 5 Macdonald Street; 3, 2/18, 21 & 26 Parkin Street; 3, 7 & 19 Rix Street. The remaining properties are contributory.

How is it significant?

The Violet Farm Estate Precinct is of local historical, architectural and aesthetic significance to the City of Boroondara.

Why is it significant?

The Violet Farm Estate Precinct, comprising the Violet Farm Estate subdivision of 1925 and the Great Violet Farm Estate subdivision of 1928, is a tangible illustration of the rapid transformation of Glen Iris during the interwar period from an area of market gardens to a dense suburb. As indicated by the name of the subdivisions, it was the site of a violet farm owned by A Rix from 1905. Its owner is commemorated by the name of Rix Street.

The houses along Burke Road illustrate how higher quality development was traditionally located along major roads, with a strong sense of public address. (Criterion A)

The precinct is of architectural significance for its representation of domestic styles popular during the interwar era, beginning with timber and brick California Bungalows in the 1920s and early 1930s, and a multitude of styles in the 1930s which were built until just after World War II. The common later styles are Spanish Mission, Mediterranean Revival, Old English, Moderne/Art Deco, eclectic mixtures that defy stylistic definition, as well as the very simple hipped roof bungalows built around 1940 and when construction recommenced after 1945. The houses of this period were executed in rendered or face brick with tiled roofs, and many of them were built as semi-detached pairs with the two dwellings comprising a cohesive design.

A large number of houses are enhanced by the retention of an original front fence, most of them of brick, with a smaller number retaining detached or attached garages built to match the house. The fences and regular front and side setbacks demonstrate the importance of the suburban garden setting for interwar development. The concrete roadbeds on Rix Street and Faircroft Avenue demonstrate the short-lived popularity of this material for roads in the 1920s. (Criterion D)

395, 397, and 399 Burke Road (HO154) are architecturally significant as the most substantial of the houses along Burke Road, which are distinguished by their elevated siting, intact setting, and their high-quality renditions of interwar styles.

10 Faircroft Avenue (HO43) is architecturally significant for the illustration of the connection between the Moderne movement of the 1930s and the brick veneer houses which dominated post World War II Melbourne. It is unusually intact.

8 Macdonald Street is architecturally significant as a particularly finely detailed and picturesquely massed example of the Old English Revival that retains its original exterior finishes and setting to a high degree.

12 Macdonald Street (HO91) is architecturally significant as an excellent illustration of the 1930s and 1940s in the development of the vernacular garden villa from the 1880s to the present day. (Criterion D)

The subject precinct is distinguished in Glen Iris and Boroondara by the outstanding collection of houses along Burke Road (most of which were previously protected as precinct HO154), the distinctive groups of single-builder 1920s and 1930s houses which are atypical variations on common styles, and the general high quality of design of houses. (Criterion E)

The row of two-storey flats at 35 & 37, 39 & 41 and 43 & 45 Rix Street of 1937-38 are aesthetically significant as striking and unusual compositions which adopt elements from a number of interwar styles. While each displays different details, executed in face brick on a render ground, they have been designed as a cohesive complex, a parapeted building flanked by those with hipped roofs. The three are highly intact and retain their front fences, though the shared fence of Nos. 39 & 41 has been raised in height. (Criterion E)

4.5.3 12 Harris Avenue, Glen Iris (Submission 107)



Figure 35. 12 Harris Avenue, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

12 Harris Avenue, Glen Iris (built in 1929), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 12 Harris Avenue as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Alterations to the property

There have been alterations to the property, including:

- a. The façade which changed significantly since it was built.*
- b. The addition of a carport to the dwelling. Being a double carport, it takes up one third of the width of the property as viewed from the Street and is an eye sore.*

- c. The addition of a front fence. The original fence would have probably included some stucco or roughcast to match the front of the house and would not have been as tall.*
- d. Replacement of the front screen doors.*
- e. Painted stucco masonry which cannot be reversed,*
- f. Painted side and rear walls (originally red brick) which are visible from the Street,*
- g. Painted brick chimney.*
- h. damaged tuck pointing of the clinker bricks around the front of the house as a result of stripping paint.*
- i. bricks concealed by attempts at levelling the ground around the dwelling.*
- j. The porch surface has been raised and covered with concrete.*
- k. the addition of a brick wall to the side of the dwelling. The wall is attached and while cannot currently be seen from the Street, would be visible if the trees covering it died,*
- l. replacement of the original concrete tiled roof (approximately 20 years ago), with second hand terracotta tiles. The submitter queries the original roof tile choice and considers concrete was chosen to match the (unpainted) stucco.*
- m. Aluminium flyscreens have been installed in front of the original leadlight windows, detracting from their appeal.*

I agree that there have been some external changes to 12 Harris Avenue. In my professional opinion, it is important to differentiate reversible changes (which can be undone without damage to the original house) and those that are irreversible (and thus have a potentially greater impact on heritage significance).

While the submitter states that the façade of the house has changed significantly since it was built, these are almost all reversible changes. Paint can be gently removed from face brick (the side walls, the chimney), and if tuckpointing is damaged in the process it can be redone (including with a black ribbon). The window screens and front door screen can be taken out by hand, if desired. The carport has a very minimal visual impact, and it can be removed if desired, particularly as the submitter considers it an “eyesore”. If the ground level around the house has been raised, it can be excavated down to an appropriate level. The 1960s side wall can be taken down.

I agree that it is more difficult to remove overpainting from roughcast render. Few interwar houses retain unpainted render, however, making it rare and valuable. The average contributory-graded interwar house has painted render, like 12 Harris Avenue. If the current or a future owner wishes to reinstate an originally looking finish, they can use a cementitious paint.



Figure 36. Front fence at 12 Harris Avenue. The carport is visible at far right. (Source: Context, 2018)

The front fence appears to be partially original as a dwarf wall of clinker bricks was very common in the late 1920s and 1930s. Often such fences were later raised by increasing the height of the piers and inserting infill panels (capped timber pickets in this case), as is seen at 12 Harris Avenue. Even if this fence is entirely new, its materials are sympathetic to the house and in my professional experience there is no requirement for a house to retain its original front fence in order to be contributory in a heritage precinct.

The submitter states that the previous roof covering was concrete tiles, and these have been replaced with the current terracotta tiles. Both were common roof coverings in the interwar period and are appropriate for this house. Note that roof cladding must be replaced cyclically to ensure the survival of the building, so the majority of houses with heritage protection have a second or third generation roof covering.

Overall, in my professional opinion, this house is clearly of an intactness acceptable for a contributory house in a heritage precinct.

Conclusion and Recommendations

It is my opinion that:

- While there have been changes to the property, these are mostly reversible.

- Overall, 12 Harris Avenue is of an intact acceptable for a contributory house in a heritage precinct.
- Therefore, 12 Harris Avenue is correctly graded as a contributory place in the proposed Summerhill Estate Precinct.
- No changes should be made to Amendment C333boro in response to this submission.

4.5.4 31 Rix Street, Glen Iris (Submission 133)



Figure 37. 31 Rix Street, Glen Iris. (Source: Context, 2021)

Recommendations and Amendment C333boro

The semi-detached pair at 31 Rix Street and 11 Grosvenor Road, Glen Iris (built in 1941), has a contributory grade in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 31 Rix Street as contributory in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided below.

Alterations to the property

The property has been altered significantly from its original construction and does not meet current heritage significance standards. The changes are such that the submitter believes the property should not be graded contributory. These alterations and modern additions include: changes to the façade, colour palette, lighting, additions, cladding, and front door.

The plan of the dwelling at 31 Rix Street has not changed since it was constructed at the end of the interwar period, in 1941. A 1945 aerial photo indicates that it had a carport in the same location on the side of the house (though this has been enlarged to the rear).

The only changes identified to the house that are visible from the public domain (the Street/footpath) are the replacement of the garage doors, the replacement of the front door, and the installation of a timber porch floor. The other half, at 11 Grosvenor Road, retains its original glazed front door, while 31 Rix Street has later a timber panelled door. I could not discern any changes to the cladding. Overall, the house has a high level of intactness, certainly sufficient to be contributory in a heritage precinct.

In my professional experience, nearly all buildings in Heritage Overlays have been repainted (and if they haven't the timber would be severely rotted), so this is not a prerequisite to be contributory.



Figure 38. Aerial view of the semi-detached pair at 31 Rix Street (bottom), and 11 Grosvenor Road (top) in 1945. (Source: Landata)



Figure 39. Current aerial of the semi-detached pair. Note that the carport of 31 Rix Street has been enlarged to the rear). (Source: Nearmap)

Significance of elements

The dwelling facade has some period features such as clinker bricks, sash windows, however these are not worthy of a heritage overlay.

I agree that this is a simple dwelling, but it is typical of what was being built at the end of the interwar period (before wartime restrictions were placed on domestic building in 1942). In my professional opinion, it contributes to the illustration of interwar residential architecture along with the rest of the precinct.

Significance of other houses in the Street

There are other houses on Rix Street that are worthy of a Heritage Overlay.

I agree that there are other houses on Rix Street that are also worthy of heritage protection, including the individually significant group of duplexes at the east end (Nos. 35-45). These duplexes, along with the contributory houses in this and the surrounding streets form an excellent illustration of interwar residential development.

Conclusion and Recommendations

It is my opinion that:

- The semi-detached dwelling at 31 Rix Street is of sufficient external intactness to contribute to the precinct.
- It demonstrates typical late interwar domestic architecture.
- Therefore, 31 Rix Street is correctly graded as a contributory place in the proposed Summerhill Estate Precinct.
- No changes should be made to Amendment C333boro in response to this submission.

5 Response to Submission—Not appearing

5.1 39 Peate Avenue, Glen Iris (Submission 127)



Figure 40. 39 Peate Avenue, Glen Iris. (Source: Context, 2018)

5.1.1 Background

39 Peate Avenue, Glen Iris (house built in 1916) was assessed by Louise Honman and Vicki McLean, of Context, and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay as an individual place. The reasons for its significance are set out in the statement of significance, below.

5.1.2 Statement of Significance

The statement of significance Louise Honman prepared for this place reads as follows:

What is significant?

39 Peate Avenue, Glen Iris, an Edwardian house built in 1916 is significant. The brick front fence with clinker brick pillars, decorative rendered capping and metal gate is also significant.

The extension on the south side is not significant.

How is it significant?

39 Peate Avenue, Glen Iris is of local architectural and aesthetic significance to the City of Boroondara.

Why is it significant?

39 Peate Avenue Glen Iris is a fine example of an Edwardian house with a built form featuring projecting and opposing gables framing a return verandah. It demonstrates typical characteristics of a picturesque and tall roofscape intersected by the ridge line of the lower gables. The built form is reinforced by the corner bay window that introduces a diagonal component to its planning. (Criterion D)

Aesthetically 39 Peate Avenue is distinguished by an unusually rich level of architectural detail. Collectively this is evident in the turned timber verandah posts, verandah fretwork, including the frieze and large, curvilinear brackets. The weatherboard cladding is embellished by scalloped edged weatherboards and a band of roughcast render finish. A particular unusual feature is the double-curved pressed metal panel above the window where the joinery features a cricket bat design. The picturesque roofscape is enhanced by brick and render chimneys and terra cotta ridge decoration. Aesthetically the red brick fence with rendered cappings makes a fine contribution to the setting of the house and garden. (Criterion E)

5.1.3 Recommendations and Amendment C333boro

39 Peate Avenue, Glen Iris (built in 1916), is proposed for inclusion in the Boroondara Heritage Overlay as an individually significant place by the Glen Iris Heritage Gap Study.

5.1.4 Response to Submission

The submitter opposes the inclusion of 39 Peate Avenue in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The dwelling on the site has been substantially altered, it is not intact. The original façade detail no longer exists. It is unknown exactly how</i>	1. The submitter has not provided any detail about what is meant by the statement that 'the original façade detail no longer exists', nor any documentation to support this claim. They have also refused to allow an

<p><i>the dwelling originally presented to Peate Avenue. The Study fails to acknowledge the substantive alterations to the original façade.</i></p>	<p>on-site visit to allow closer inspection of the front façade.</p> <p>I agree that there is a side addition, set just behind the original extent of the house, which is clearly visible from the Street. This is described as a non-original element in the place citation, and its presence was taken into account in the assessment.</p> <p>I have examined building permit plans from 1971, 1975, 1983 and 1984 to see if they indicate any changes to the 'original façade'. In 1971 the aforementioned side addition was constructed. In 1975 a rear addition was constructed behind the hipped roof part of the house; replacing the rear lean-to. In 1983, this rear addition was extended further to the rear of the property. In 1984 pergolas were constructed to rear parts of the house. None of these plans indicate any changes to the main part of the house (that part that sits below the hipped roof). This part of the house still has the same plan as shown on the 1926 Melbourne and Metropolitan Board of Works Detail Plan, No. 2614. These images are provided after this table.</p> <p>As no evidence of changes to the façade has been found in the City of Boroondara's records or provided by the submitter, and as the current detail of the house is in keeping with an Edwardian Queen Anne villa, I consider it appropriate to assume that the front facade is in its original form.</p>
<p>2. <i>The site fails to meet the requisite threshold of either Criterion D or Criterion E.</i></p>	<p>2. The comparative analysis in the Study demonstrates that the house at 39 Peate Avenue is of a similar quality in its design and detail as a number of other houses in the Heritage Overlay located in Glen Iris and other parts of Boroondara. It is on this basis that it was found to meet the threshold of local significance for Criteria D (representativeness) and E (aesthetic significance). The use of comparative analysis to determine if a place meet the threshold of local significance is in accordance with the guidance of Planning Practice Note No. 1: Applying the Heritage Overlay (2018).</p>
<p>3. <i>Edwardian era dwellings are relatively common within Boroondara, and the site includes a generally typical building type which contributes little to an understanding of architectural forms in this area during the early 20th century.</i></p>	<p>3. I agree that there are other Edwardian-era houses in Boroondara, including a small number in Glen Iris. Amongst these houses, 39 Peate Street is distinguished by its decorative detail, which compares well to other houses already recognised as individually significant in the Heritage Overlay.</p>
<p>4. <i>The site evidently does not meet the requisite threshold for inclusion within the Heritage Overlay.</i></p>	<p>4. As set out above, on the basis of comparative analysis with other Edwardian houses in the Boroondara, it has been demonstrated that 39 Peate Avenue meets the threshold of local significance, and thus warrants inclusion in the Heritage Overlay in a site-specific Heritage Overlay.</p>

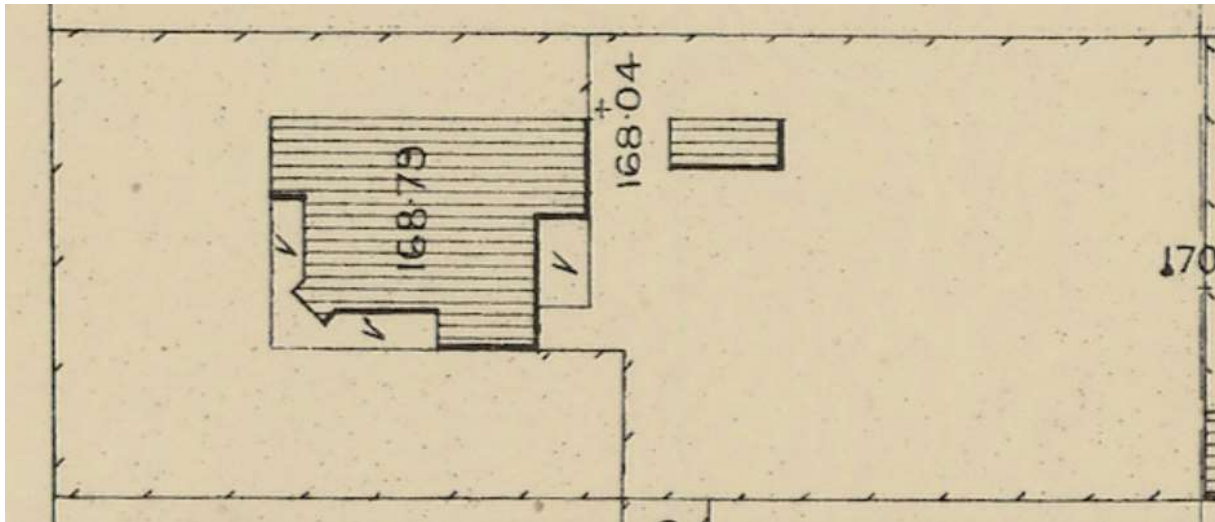


Figure 41. Footprint of the house at 39 Peate Avenue in 1926. The hatching indicates that both the house and its outbuilding were constructed of timber. (Source: MMBW Plan No. 2614)

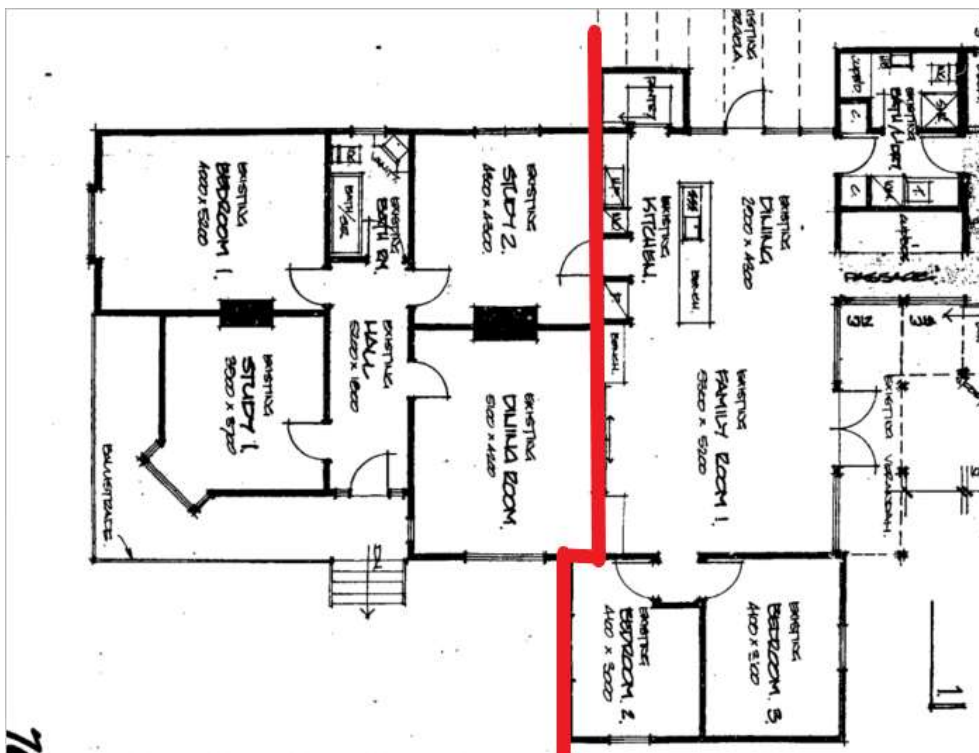


Figure 42. Floor plan from 1984 showing the same plan form of the house as in 1926, apart from the removal of the rear lean-to and construction of additions (to the right of the red line). (Source: City of Camberwell, building permit No. 76295)

5.1.5 Conclusion and Recommendations

It is my opinion that:

- On the basis of comparative analysis with Edwardian-era houses in the Boroondara Heritage Overlay, the local significance of the house at 39 Peate Avenue, Glen Iris, has been demonstrated.
- Therefore, 39 Peate Avenue is correctly graded as an individually significant place.
- No changes should be made to Amendment C333boro in response to this submission.

5.2 55 & 57 Bath Road, Glen Iris (Submission 12)



Figure 43. 55 Bath Road, Glen Iris. (Source: Context, 2018)



Figure 44. The two parts of the brick fence: at 55 Bath Road (far left) and at 57 Bath Road (between the arrows). (Source: Context, 2021)

5.2.1 Background

55 Bath Road, Glen Iris (built in 1925–26), was assessed by Louise Honman and Vicki McLean, of Context, and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay as an individual place. The reasons for its significance are set out in the statement of significance, below.

5.2.2 Statement of Significance

The statement of significance Louise Honman prepared for this place reads as follows:

What is significant?

The substantial red brick house front fence at 55 Bath Road, Glen Iris, built in 1925-26, is significant.

How is it significant?

55 Bath Road, Glen Iris, is of local architectural and aesthetic significance to the City of Boroondara.

Why is it significant?

55 Bath Road, Glen Iris is of architectural significance for its demonstration of the transition in style from the Federation Queen Anne, to the interwar bungalow. In comparison with other examples of transitional styles in Boroondara, 55 Bath Road demonstrates a similar level of inventiveness in the adaptation of a wide architectural

vocabulary. This class of place is distinguished by its free form design that incorporates elements of different periods and styles into a highly idiosyncratic range of residential designs.

55 Bath Road demonstrates its transitional style through the use of various architectural elements commonly found in the Federation and the interwar periods. These include the octagonal corner tower used as a pivot between perpendicular projecting wings with a return verandah, half-timbering to the gable ends and double hung sash windows with leadlight to the upper sashes. Elements associated with the interwar bungalow include the dominant transverse gabled roof form enclosing an attic room; the simple tapered chimneys, half brick piers and classical columns to the front verandah and contrasting red and clinker brick detail. Further emphasis of the interwar period is provided by the boxed bay window with an oversized window hood clad in shingles. (Criterion D)

55 Bath Road is aesthetically significant for its original brick front fence with pierced brickwork panels and pillars with rendered cappings. Stretching across the frontage of the large site, the fence makes a strong contribution to the setting for the house. (Criterion E)

5.2.3 Response to Submission

The submitter makes the following comments regarding 57 Bath Road, Glen Iris. The submitter's point raised is provided below in italics, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>57 Bath Road, Glen Iris was once part of 55 [Bath Road] homestead as is clear from the brick fence that runs from 55 to end of 57 Bath Road. The submitter questions if the fence is to be protected on 57 Bath Road, or if the Lilly Pilly tree at the back of the property is of interest to Council for protection.</i>	<p>The submitter is correct in stating that part of the front fence associated with the house at 55 Bath Road is also found in front of 57 Bath Road. As indicated by the 1930 MMBW plan (Detail Plan No. 3176), the subject house was originally on a double block. It was subdivided in 1960, creating 57 Bath Road, where a new house was built shortly afterward.</p> <p>As indicated by the statement of significance, the fine brick front fence is an aesthetically significant part of this place, hence the recommendation of Fence Controls for 55 Bath Road.</p> <p>I agree that it would be logical to extend these Heritage Overlay controls over the fence (only) at 57 Bath Road as well. This would be both to demonstrate the original extent of the 55 Bath Road property and to preserve a brick fence that is of fine workmanship.</p> <p>I have not investigated the Lilly Pilly tree at the rear of 57 Bath Road but have recommended that it be considered by Council's arborist to determine if it qualifies for the significant Tree Register.</p> <p>In both cases, this additional work must be done as part of a separate process to this amendment.</p>

5.2.4 Conclusion and Recommendations

It is my opinion that:

- The part of the brick front fence at 57 Bath Road should be investigated for potential inclusion as part of the extent of Heritage Overlay HO899.

5.3 Glen Iris Heights and Cherry's Hill Estates Precinct

5.3.1 Background

This precinct was assessed by me and the GML consultants as part of the Glen Iris Heritage Gap Study and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay. The reasons for its significance are set out in the statement of significance, found in section 4.3.2.

5.3.2 26 Kerferd Road, Glen Iris (Submission 31)



Figure 45. 26 Kerferd Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

26 Kerferd Road, Glen Iris (built in 1926), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitters oppose the inclusion of 26 Kerferd Road in the Heritage Overlay. The submitters' points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>There are many houses in the Heritage Overlay that are relatively modern, some being only recently built while many outside the overlay area are much older homes.</i>	1. I agree that there are some modern (post-1945) houses in the proposed precinct. In my professional experience, in a heritage precinct of medium to large size, such as this one, there are always a few properties that do not contribute to the heritage significance of the precinct; they are graded non-contributory. There are five such dwellings in the precinct on Kerferd Road, as compared to 22 Victorian and interwar dwellings that are graded contributory or significant.
2. <i>There are a number of inconsistencies in the proposal, especially in regard to Kerferd Road. One part of Kerferd Road falls within the ambit of the Heritage Overlay and the other part of Kerferd Road does not.</i>	2. The precinct boundaries have been drawn to encompass the densest area of intact Victorian and interwar houses in the area, so that they form the dominant character. While there are other interwar houses outside the precinct boundaries, the west end of Kerferd Road has a greater number of potentially non-contributory properties, so it was left out.
3. <i>There seems to be a mixture of styles and designs both from a historical and contemporary perspective all trying to blend in a single streetscape. This demonstrates a lack of homogeneity the area.</i>	3. I agree that there are two principal periods of development in this precinct: Victorian and interwar. The scarcity of the Victorian houses, surrounded by a majority of interwar houses is an excellent illustration of Glen Iris' early development: a small amount of suburban development around 1890 that was halted by the Depression and only regained momentum in the 1920s. So this lack of homogeneity is an important and positive feature of the precinct.

Conclusion and Recommendations

It is my opinion that:

- No changes are warranted to Amendment C333boro in response to this submission.

5.4 Mont Iris Estate and Environs Precinct

5.4.1 Background

This precinct was assessed by me and the GML consultants as part of the Glen Iris Heritage Gap Study and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay. The reasons for its significance are set out in the statement of significance, found in section 4.2.2.

Note that several objecting submissions in regard to properties within this precinct raise issues without bearing on heritage value, so I will not respond to them in this evidence. These include Submissions 1, 6, 9, 14, 40 and 108.

I will also not respond to supporting or partially supporting submissions, unless they raise new information.

5.4.2 33 Fuller Avenue, Glen Iris (Submission 2)



Figure 46. 33 Fuller Avenue, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

33 Fuller Avenue, Glen Iris (built in 1936), was proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study, revised 15 October 2020. In response to this submission, however, it is recommended that the grade be changed to significant, as set out in the Study version dated 23 June 2021.

Response to Submission

The submitter supports the inclusion of 33 Fuller Avenue in the Heritage Overlay and makes the following comments on the Study and the property. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The Study identifies the architectural practice that designed and supervised the building of 33 Fuller Ave in 1936. The dwelling is a two-storey 1930s Georgian-revival style clinker brick house in a large and peaceful garden.</i>	1. The submitter's support and comments are noted.
2. <i>The current process does not do enough to protect properties. Having three gradings does not necessarily offer adequate protection, compared with the English grading system.</i>	2. I agree that England has a well-developed system of heritage gradings that is consistent across the entire country, and is thus clear and understandable to the entire population. To some extent, however, the Australian system is similar in that it has a hierarchy of heritage significance: the National Heritage List, then the state registers (Victorian Heritage Register), then individually significant places in a given municipality, followed by contributory (and non-contributory) properties within a heritage precinct. No system is perfect, but the City of Boroondara must act within the strictures of the current planning system in order to protect its heritage places.
3. <i>It is unclear how much of "Romney Lodge" at 2 Allison Avenue is original.</i>	3. As set out in the place citation, Romney Lodge at 2 Allison Avenue was built in two major phases: 1922 and 1935. These are the parts of the house that are considered to have heritage significance, particularly the front third (including the front façade) built in 1935. Later rear additions are not significant and could be demolished/altered.
4. <i>The differences between the contributory grading and significant grading are unclear, particularly when comparing the property at 33 Fuller Avenue with the features of 7 Fuller Avenue and 2 Allison Avenue.</i>	4. I agree that the Georgian Revival house of 1936 at 33 Fuller Avenue is a fine and very intact example of its kind, and its significance and presentation are enhanced by the retention of the front fence. While one of the finest houses in the

Issue raised	Response
<p>5. <i>There have been few alterations made to 33 Fuller Avenue (only the replacement of the garage doors with a same-size matching window following the change of use from garage to living room). Over the decades it would seem from comments that it is everyone's favourite house.</i></p> <p>6. <i>A contributory grading, rather than an individually significant grading, could lead to further alterations in future that compromise the property's heritage features, or demolition for a modern dwelling.</i></p>	<p>precinct, to warrant a significant grade it would have to compare well with other houses of this style across all of Boroondara (i.e. be one of the best Georgian Revival houses in Boroondara).</p> <p>I revisited and reconsidered this property in June 2021, with input from Trethowan Architecture, as they had assessed the other individual interwar dwellings. We concluded that: The house is an intact and quite imposing example of an interwar Old English revival home, with an architectural pedigree (Forsyth & Dyson). The architects designed other suburban homes around the 1930s and '40s in what was sometimes described as 'a modernised Georgian style' and generally very modest suburban homes. This appears to be a relatively large and substantial example of their work and an early example of their partnership (established in 1936). So a significant grading can be justified on those grounds.</p> <p>On this basis, I recommend that it be upgraded to significant, and have added further information about its history and description, as well as separate information in the precinct statement of significance.</p> <p>5. I agree that 33 Fuller Avenue is very intact externally.</p> <p>6. I agree that the planning controls for significant buildings are somewhat stricter than for contributory ones, but in both cases there are strong controls preventing total demolition.</p>

Conclusion and Recommendations

It is my opinion that:

- 33 Fuller Street is of an architectural design quality and intactness to be individually significant in Boroondara. It also contributes to the interwar character of the Mont Iris Estate and Environs Precinct.
- Therefore, it is recommended to be upgraded to significant in the precinct.

5.4.3 12 Sherwood Street, Glen Iris (Submission 6)



Figure 47. 12 Sherwood Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

12 Sherwood Street, Glen Iris (built in 1939), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitters oppose the inclusion of 12 Sherwood Street in the Heritage Overlay. The submitters' points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>12 Sherwood Street is a humble weatherboard house is not true to any period. It has no distinct features to define any period. It has no style</i>	1. I agree with the submitter that this is not a California Bungalow style house. It is not true, however, that it is just a "box" and has no stylistic features or identifiable era. This is a simple Georgian Revival style cottage, of the type

Issue raised	Response
<p><i>or redeeming or historical defining features.</i></p> <p><i>It is not a Californian Bungalow and in fact is so simple that it has the appearance of a box shaped house that could have been built in the 1950's, the 1960's the 1970's or even last year.</i></p> <p>2. <i>The house is of questionable architectural quality and has certainly not made a significant contribution to the aesthetics of the street or Glen Iris.</i></p> <p><i>12 Sherwood Street has no local significance.</i></p> <p>3. <i>Over the years there have been multiple alterations made to the building and number 12 Sherwood Street has several areas that contain asbestos.</i></p>	<p>built in the late interwar and early post-war periods. It is specifically mentioned in the precinct description (with emphasis added):</p> <p><i>Other houses of the late interwar period are simply massed hipped-roofed bungalow, sometimes with restrained Georgian Revival detail. One of the key details of a simplified Georgian Revival was a vergeless projecting front gable with a broken pediment. This detail is seen at late interwar houses such as 50 Dent Street, 33 Fuller Avenue, 22 Munro Avenue, 12 and 16 Sherwood Street, and 7 Tower Hill Road. This same type of simple Georgian Revival house was also built just after the war, at 140 High Street and 30 Tower Hill Road, with the fullest expression of the style in the precinct at 146 High Street.</i></p> <p>Apart from the Georgian Revival expression of its front gable, this house has features typical of its period including the box-framed timber windows, the used of a corner window, and the stepped slab chimney, which forms a key visual accent of its front façade.</p> <p>2. I agree that this house is not of such fine architectural design that it meets the threshold of local significance. It is, however, a good example of a popular housing style and thus clearly contributes to the significance of the precinct as a whole.</p> <p>3. I agree that there has been a small (ensuite?) addition made to the north side of the house and a carport roof on the south side since it was built, both visible from the street. Comparison of 1945 and present-day aerial photos also indicate that a single-storey rear addition has been built (not visible from the street).</p> <p>In my professional opinion, as the front façade and features and roof form of the house are entirely intact it is most certainly intact enough to contribute to the precinct.</p> <p>While there may very well be asbestos-containing building materials in a building of this age, such as eaves linings and possibly internal wall linings, these could be replaced with similar (asbestos-free) materials with minimal or no impact on the contributory value of the house.</p>



Figure 48. 1945 aerial of 12 Sherwood Street (above; Landata) and a current aerial with later additions indicated (right; Nearmap, 2021)

Conclusion and Recommendations

It is my opinion that:

- The house at 12 Sherwood Street is a simple Georgian Revival cottage of the type popular in the late interwar and early post-war period.
- Its front façade is highly intact, and visible alterations to its sides do not unduly impact its contributory value.
- Therefore, the contributory grade is warranted.
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.4 74 Dent Street, Glen Iris (Submissions 13 and 29)



Figure 49. 74 Dent Street, Glen Iris. (Source: Context, 2020)


Recommendations and Amendment C333boro

74 Dent Street, Glen Iris (built in 1937), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitters oppose the inclusion of 74 Dent Street in the Heritage Overlay. The submitters' points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The original garage has been substantially altered with windows and doors for a bedroom.</i>	1. As noted by the submitter, the garage at 74 Dent Street appears to be early or original, as it is visible in the same location as seen in a 1945 aerial of this site (shown below). Current aerial photos indicate that there is an extension to the front (south end) of the garage, either a carport or another room. The submitter has also provided photos showing two windows inserted in the rear (north) wall of the

Issue raised	Response
<p>2. <i>Given the number of properties within the area which are not included, the restrictions placed on the owners of properties that are included cannot be justified.</i></p>	<p>garage, and another showing a former doorway infilled with new bricks.</p> <p>The extent of alteration to the garage is not entirely clear from the information available, but if it has been extended with a new room to its front, it is likely to be too altered to be a contributory element of the property anymore.</p> <p>Its intactness would be taken into account in assessing a planning permit alteration to alter or demolish it. While the retention of a (largely intact) garage adds to the significance of the heritage precinct as a whole, it is not required in order for the property to warrant a contributory grade in the precinct. The main requirement is a largely intact house from the valued period, such as the 1937 house at 74 Dent Street.</p> <p>Note that there are no Fence Controls proposed for this precinct, so demolition or alteration of the garage could be carried out quickly under the VicSmart application path.</p>  <p>Figure 50. 1945 aerial view of 74 Dent Street, with the garage indicated. (Source: Landata)</p> <p>2. The boundaries of the heritage precinct have been drawn to include the areas that contain the best late interwar and early postwar streetscapes in this part of Glen Iris. There are always boundaries for heritage precinct, and thus different controls for different groups of properties.</p>

Conclusion and Recommendations

It is my opinion that:

- Despite alterations to the original garage which likely remove its contributory value, the house at 74 Dent Street is still externally intact, so this property contributes to the precinct.

- No changes are recommended to Amendment C333boro in response to this submission.

5.4.5 56 Dent Street, Glen Iris (Submission 30)



Figure 51. 56 Dent Street, Glen Iris. (Source: Context, 2019)

Recommendations and Amendment C333boro

56 Dent Street, Glen Iris (built in 1938), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 56 Dent Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The eclectic and disparate mix of housing in Dent Street and in the Mont Iris Estate and Environs Precinct, and lots of changes, including demolition, that have</i>	1. In my professional experience, in every heritage precinct of medium to large size there are very altered or newer properties that do not contribute to the heritage significance of the precinct, hence the inclusion of the 'non-contributory' grade by

Issue raised	Response
<i>already been made to some houses, makes a mockery of the claims in the proposal that the "overall (heritage) integrity of the precinct remains high".</i>	<p>State planning guidance (such as Planning Practice Note No. 1: Applying the Heritage Overlay, 2018). The least intact part of the Street (the south side) has been left out of the final precinct boundaries as it is now much less intact than the north side.</p> <p>In addition, there were many popular styles in the interwar to early postwar period, and this means that heritage precincts covering these periods are almost always characterised by multiple architectural styles. This is a characteristic of the period, and not one that diminishes the heritage significance of the precinct.</p>
2. <i>The properties at Dent Street do not have extensive Art Deco features.</i>	2. Most of the houses along the north side of Dent Street are excellent examples of typical late interwar houses, in styles such as Moderne and Old English. Alterations to most of them are minor, such as the replacement of the front door at 56 Dent Street or changes to front fences, meaning that they are still intact enough to contribute to the precinct.
3. <i>Facades with little aesthetic value should not have to be retained.</i>	3. While the submitter does not consider the house at 56 Dent Street to have any aesthetic value, it is a very stylish with Moderne house with architectural features including a curved entrance porch with a stepped ziggurat decorative detail, windows featuring geometric leadlights and a decorative band of tapestry bricks beneath the sill, textured render, and an original masonry fence in the side setback with materials and details in keeping with the house. In my professional opinion, this is a classic 1930s house of clear aesthetic value.

Conclusion and Recommendations

It is my opinion that:

- The intactness of the proposed precinct is sufficient to support its local significance.
- 56 Dent Street is a highly intact and stylish example of a 1930s Moderne house that clearly contributes to the significance of the precinct.
- Therefore, the contributory grade of 56 Dent Street is warranted.
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.6 54 Dent Street, Glen Iris (Submission 34)



Figure 52. 54 Dent Street, Glen Iris. (Source: Context, 2019)

Recommendations and Amendment C333boro

54 Dent Street, Glen Iris (built in 1940), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 54 Dent Street and other properties at 4–74 Dent Street in the Heritage Overlay. The submitter’s points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The house has little historical and architectural significance. The property has minimal period features visible from the Street and is not visually appealing.</i>	1. The concept of ‘visually appealing’ is an entirely subjective judgement. In my professional opinion, the house at 54 Dent Street is an excellent and externally intact example of a Moderne house, built in 1940. Its Moderne decorative features include the curved front porch with a flat roof and manganese brick pillars, horizontally arranged

Issue raised	Response
<p>2. <i>The house does not aesthetically enhance the streetscape when compared to other contributory properties or even non-contributory properties.</i></p> <p>3. <i>54 Dent Street has less charm, historical or architectural detail or aesthetic appeal than other properties already deemed non-contributory because of renovation, even though those renovations have been completed sympathetically. For example, Nos 70 and 72 Dent Street are deemed non-contributory yet possess more architectural detail and present with greater aesthetic appeal than 54 Dent Street.</i></p> <p>4. <i>The proposed overlay lacks consistency and coherence, for example 1 Munro Avenue (non-contributory) and 146 High Street (contributory) built in the same style and era but have different gradings.</i></p> <p>In regard to 4–74 Dent Street:</p> <p>5. <i>There is a lack of coherence, consistency or integrity in the streetscape with dwellings of many styles and materials.</i></p> <p>6. <i>The streetscape of Dent Street lacks overall integrity as a result of alterations, including double storey additions.</i></p> <p>7. <i>Some properties have little architectural uniqueness or aesthetic value.</i></p> <p>8. <i>It is unclear why some properties have been given contributory or non-contributory gradings, including</i></p>	<p>bands of windows with horizontal glazing bars to sashes and flat hoods, and horizontal bands to the façade in dark bricks.</p> <p>2. While the submitter may not appreciate the Moderne architectural style, the house at 54 Dent Street is an intact example of this style and contributes to an understanding of architectural styles popular in the late interwar period.</p> <p>3. I agree that it is unfortunate to grade attractive period homes non-contributory due to later alterations. But when the later alterations so overwhelm the presentation of the house, such as large upper-floor extensions that sit directly atop the main roof of 70 and 72 Dent Street, the massing, roof form and horizontality of the original design has been lost. This means that the contribution to the heritage precinct is greatly diminished. For this reason, in my professional opinion, it is appropriate to grade these two houses non-contributory.</p> <p>4. I agree that 1 Munro Street and 146 High Street may look somewhat similar today, but this is only because the house at 1 Munro Street has been extensively altered, with the addition of a first floor. As its original appearance is no longer legible, it has been graded non-contributory. In contrast, 146 High Street is highly intact, hence its contributory grade.</p> <p>5. In my professional experience, every interwar/early postwar heritage precinct of medium to large size has multiple architectural styles in it, as eclecticism was a key characteristic of the period. This variety of styles illustrates what was popular at the time, and does not diminish the heritage significance of the precinct.</p> <p>6. I agree that there are alterations to some of the houses at 4–74 Dent Street. In those cases where the alterations visible from the Street are extensive, the property has been graded non-contributory. Overall, however, the Street has a high degree of visual cohesion and very fine rows of late interwar houses.</p> <p>7. There is no requirement for a building in a heritage precinct to be “unique”. If it illustrates the suburban development of Glen Iris during the valued period, then it is considered to contribute to the precinct.</p> <p>8. Different alterations can have differing degrees of impact on the heritage value of a property:</p>

Issue raised	Response
<p>a. <i>properties with visible alterations including carports, new fences, addition of modern materials, roof replacement, installation of water tanks and solar panels that have been graded contributory.</i></p> <p>b. <i>properties that have been tastefully extended in the same style make a positive contribution to the streetscape and are graded non-contributory.</i></p> <p>c. <i>The north side of most of the Street is deemed contributory to the streetscape although the south side from 29 to 57 is not.</i></p>	<p>a. Reversible changes, such as solar panels or new carports, have a low impact on the heritage value of a property. And while the retention of an original fence or garage is positive, it is not a requirement to be contributory to the precinct. Note that roof cladding must be regularly replaced to keep a house weathertight, so cyclical roof recladding is expected for older houses.</p> <p>b. In cases where the new extension overwhelms the presentation of the original house, particularly if the entire roof has been demolished, the house no longer illustrates its original style so makes a minimal contribution to the precinct.</p> <p>c. I initially recommended that the south side of Dent Street be part of the precinct, as most of the houses were developed at the same time as the north side. However, after the initial assessment some of the finest examples on the south side were demolished, meaning that this part of the Street was dominated by non-contributory properties. For this reason, I recommended that the south side be removed from the precinct boundaries.</p>

Conclusion and Recommendations

It is my opinion that:

- 54 Dent Street is a highly intact and stylish example of a 1930s Moderne house that clearly contributes to the significance of the precinct.
- Therefore, the contributory grade of 54 Dent Street is warranted.
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.7 Mont Iris Estate and Environs Precinct (Submission 49)

Recommendations and Amendment C333boro

The Mont Iris Estate and Environs Precinct was proposed for inclusion in the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter partially supports the recommendations of the study and makes the following comments. The submitter's point raised is provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<p><i>The precinct should be renamed to acknowledge the Londonderry Estate, as the following streets were known as the Londonderry Estate:</i></p> <p><i>1, 3, 5 Mons Street, 9-33 Albion Road, Victor Road, 78-86 and 92-94a High Street, 1-19 Bridges Street, Fuller Avenue and Allison Avenue (High Street to Bridges Street).</i></p>	<p>In response to this submission I investigated the possibility that the western end of the Mont Iris Estate and Environs Precinct was original part of the Londonderry Estate. A quick search of historic newspapers and real estate maps did not turn up any information in relation to such a subdivision. While this name could have been used for this area, it was definitely (also) called the Bonnie View Estate in 1915. The real estate plan for this subdivision is held by the State Library of Victoria and is reproduced in the precinct history. The Bonnie View Estate contains the same area described by the submitter as the Londonderry Estate.</p> <p>As no firm information about the Londonderry Estate could be found, I have not added it to the precinct history or name.</p> <p>Note that the precinct is comprised of a number of former subdivisions/estates, which are listed in the history and statement of significance. The largest one (Mont Iris Estate) was chosen as the principal name of the precinct, with the others indicated as the "Environs".</p>

Conclusion and Recommendations

It is my opinion that:

- No historic evidence related to the Londonderry Estate could be located.
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.8 142 High Street, Glen Iris (Submissions 50 and 71)



Figure 53. 142 High Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

142 High Street, Glen Iris (built in 1940), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitters oppose the inclusion of 142 High Street in the Heritage Overlay. The submitter's point raised is provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>Any beautiful historical architecture should be preserved. The dwelling at 142 High Street is a regular old house.</i>	The house at 142 High Street was built in 1940. It is a substantial two-storey brick dwelling with detailing typical of its era, such as corbelled eaves and hit-and-miss gable vents. It is highly intact externally. The

Issue raised	Response
	heritage precinct has been delineated to protect “typical” houses from the valued period (mainly the interwar and early post-war periods), and this is one of the most substantial examples of its type. In my professional opinion, it is clearly contributory to the precinct.

Conclusion and Recommendations

It is my opinion that:

- 142 High Street is a highly intact and substantial example of a late interwar Old English house that clearly contributes to the significance of the precinct.
- Therefore, the contributory grade of 142 High Street is warranted.
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.9 19 Vale Street, Glen Iris (Submission 75)



Figure 54. 19 Vale Street, Glen Iris. (Source: Context, 2019)

Recommendations and Amendment C333boro

19 Vale Street, Glen Iris (built in 2018), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 19 Vale Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The home is new and is surrounded by a section of homes on Vale Street that are also newly constructed as well as some older, original properties such as 16 and 17 Vale Street which do not add value to the streetscape like the homes on Mont Iris Avenue do.</i>	1. I agree that the house at 19 Vale Street is recent in date and is both larger (two-storey) and of a different style to the original houses in this part of Glen Iris. There is no question that it warrants a non-contributory grade in the precinct. 17 Vale Street and 16 Mont Iris Avenue (NB: there is no 16 Vale Street) are timber houses, but they are otherwise very similar in style and intactness to other contributory houses in the precinct. In my professional opinion, these two timber houses do contribute to the precinct.
2. <i>The area between Dent St and Vale St should not be in the Heritage Overlay (i.e. 11-19 Vale St, 16-20 Mont Iris Ave, 15-19 Sherwood St)</i>	2. I revisited and reconsidered the area raised by the submitter in June 2021. I concluded that there are enough contributory properties in this area to warrant its continued inclusion in the heritage precinct. This issue is discussed in more detail in section 4.2.5 of this evidence.

Conclusion and Recommendations

It is my opinion that:

- The proposed inclusion of these parts of Sherwood Street, Vale Street and Mont Iris Avenue in the Mont Iris Estate and Environs Precinct is adequately justified
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.10 30 Seaton Street, Glen Iris (Submission 76)



Figure 55. 30 Seaton Street, Glen Iris. (Source: Context, 2019)

Recommendations and Amendment C333boro

30 Seaton Street, Glen Iris (built in 1936), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 30 Seaton Street as a contributory property in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<ol style="list-style-type: none"> 1. <i>There are inconsistencies, including:</i> <ol style="list-style-type: none"> a. <i>Other houses in nearby streets with similar features to 30 Seaton Street are not classified as contributory.</i> b. <i>There are a few neighbouring houses which have similar or more significant features than</i> 	<ol style="list-style-type: none"> 1. The submitter has not provided the addresses of any of the "similar" houses to 30 Seaton Street that are outside the precinct area, so I cannot respond to this in detail. I acknowledged that there are other interwar houses in this part of Glen Iris that are not recommended for inclusion in the precinct. This is because they are in parts of the streetscape that are not as intact.

Issue raised	Response
<p><i>30 Seaton Street and are not graded as contributory.</i></p>	<p>contributory houses are generally intact examples that are typical of their time, so there may be others that are similar.</p>
<p><i>c. Those houses are also closer to the two significant heritage houses.</i></p>	
<p><i>2. 30 Seaton Street is at the lower part of Seaton Street, which is not a prominent position of Glen Iris. It is neither on a shopping district, nor tourist attraction, nor on the main road.</i></p>	<p>2. The boundaries of the heritage precinct were chosen in relation to the densest area of intact interwar and early postwar residential development. There is no requirement for a heritage precinct to be on a shopping Street, main road or be a tourist attraction.</p>
<p><i>3. It is unclear why 30 Seaton Street has been graded as contributory, while some neighbouring properties are not graded similarly and the property is at the edge of the Precinct.</i></p>	<p>3. The property directly behind 30 Seaton Street, at 35 Allison Avenue, is in the proposed precinct, but graded non-contributory as it is a reproduction California Bungalow built in 1999. As a new building, it cannot contribute to the heritage significance of the precinct. Houses to the north of 30 Seaton Street, Nos. 26 & 28, are also contemporary houses. Due to this break in the streetscape, as well as many alterations to interwar/early postwar houses in the northern half of Seaton Street, only the more intact southern section was included in the heritage precinct.</p>
<p><i>4. Although some of the houses built during the inter-war period had some architectural design and characteristics, not all houses built during that time should be protected.</i></p>	<p>4. Heritage precincts are a planning tool designed to protect areas of historic development, some of which will be grander than usual and others that are typical of a given period. While there are some grand houses in this precinct (especially on High Street), the majority of the contributory houses in the precinct are typical of their time, much like 30 Seaton Street.</p>
<p><i>5. For inclusion in a Heritage Overlay, each house should be considered individually, rather than implementing a blanket protection coverage or grading them as contributory.</i></p>	<p>5. Each house in the heritage precinct was considered individually to see if it was constructed in the valued period and intact enough for its original design to be understood. On this basis it was determined whether or not the property should be included in the precinct, and what its appropriate grade is. This approach is supported by Victorian Planning provisions.</p>
<p><i>6. 30 Seaton Street does not meet the criteria for inclusion, for the following reasons:</i></p>	<p>6. As 30 Seaton Street is graded contributory, it does not need to be of local significance on its own, merely contribute to key aspects of the precinct's significance.</p>
<p><i>a. Criterion A: The house was built in 1936 (in the inter-war period), however the design, quality and condition does not contribute any value to the historical significance of the precinct.</i></p>	<p>a. Criterion A: The house at 30 Seaton Street is highly externally intact, so makes an excellent contribution to an understanding of the interwar development of Glen Iris.</p>
<p><i>b. Criterion D: The house is depicted as an "example of bungalow of Georgian Revival</i></p>	<p>b. Criterion D: I agree that the classical features of Georgian Revival houses are still used today. Even so, 30 Seaton St is instantly recognisable as a 1930s example of the style</p>

Issue raised	Response
<p><i>influence”, but it has no typical features of what is described in the Study. It is a very ordinary house built, with very ordinary feature of symmetrical front, which can be seen in many properties. The submitter disputes the labelling of the property as an “example of bungalow of Georgian Revival influence” given that the few common features are largely seen in older and newer homes.</i></p> <p>c. <i>There needs to be a degree of significance to apply a Heritage Overlay and for a dwelling to be representative of a style. 30 Seaton does not belong to any typical style and is far from Georgian Revival.</i></p> <p>d. <i>Poor construction and the age of the dwelling have meant that the period value has greatly decreased and it has no representative value.</i></p> <p>e. <i>Criterion E: The house has no architectural and aesthetic significance. Although “contributory” heritage houses are groups of houses that contribute to a precinct, the individual’s situation still needs to be considered. A blanket coverage will lower the standard of heritage houses.</i></p> <p>f. <i>The submitter agrees that the tree-lined Fuller Street is a unique street which enhances the aesthetic significance of the area. However Seaton Street is not a tree-lined street and has no aesthetic significance.</i></p> <p>7. <i>Two of the four individually significant houses in the Mont Iris Estate and Environs Precinct were not built during the inter-war period and are therefore not related to any inter-war historical value.</i></p>	<p>through its hipped roof with two projecting pavilions to the front façade, the recessed porch with Tuscan columns between the two pavilions, the multipaned glazed front doors, the box-framed windows with abstracted Adamesque leadlights, and the slender brick chimney.</p> <p>c. 30 Seaton Street is representative of an interwar house. In part this is demonstrated by its use of Georgian Revival forms, which were very popular in the 1930s. There is no requirement for a house to be a key example of a given style for it to be contributory in a precinct.</p> <p>d. When judging the contributory value of a building, its intactness and integrity are taken into account, not its condition. This is a highly externally intact house.</p> <p>e. Criterion E: Only the three individually significant houses in the precinct are considered to be of aesthetic significance, not 30 Seaton Street.</p> <p>f. I agree that the avenue of trees give Fuller Avenue additional aesthetic significance, in addition to its historic and architectural significance. The other streets in the precinct, including Seaton Street, are historically and architecturally significant. Only one HERCON criterion must be met at the local level to warrant inclusion in the Heritage Overlay.</p> <p>7. As noted in the statement of significance, the precinct’s valued period stretches from the first early development in the 1900s to the start of the 1950s. The two earlier houses – particularly Tower House – demonstrate the transition from large estates to suburban subdivision.</p>

Conclusion and Recommendations

It is my opinion that:

- 30 Seaton Street is a highly intact of a 1930s Georgian Revival house that clearly contributes to the significance of the precinct.
- Therefore, the contributory grade of 30 Seaton Street is warranted.
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.11 9 Bridges Street, Glen Iris (Submission 91)



Figure 56. 9 Bridges Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

9 Bridges Street, Glen Iris (built in 1928), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 9 Bridges Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<p>1. <i>The property has been renovated, adding a second storey and changing the look and feel of the original building.</i></p>	<p>1. I agree that a two-storey addition has been constructed on the 1928 California Bungalow at 9 Bridges Street. Most of the addition sits behind the original ridgeline of the house, with a wide dormer window set in front of the ridgeline. While both parts of the addition are visible from Bridges Street (and more so from the side, on Fuller Avenue), in my professional opinion the house is still able to contribute to the interwar character of the precinct as its roof form is still legible, the upper-storey addition does not visually overwhelm the house, and the remainder of the front façade is intact and retains a series of fine details such as a bow windows and paired columns to the front porch.</p>
<p>2. <i>There are no examples of original double storey 1930's properties within the area. However, there are approximately 30 original houses which that are single storey and not included within the heritage overlay.</i></p>	<p>2. In fact, there are several examples of interwar houses in the precinct that were built as two-storey (e.g. 33 Fuller Ave, 6 Tower Hill Rd, 133 High St, 142 High St) as well as several more examples from the early post-war period.</p> <p>I agree that there are single-storey interwar houses in the area that have not been recommended for inclusion in the heritage precinct. The most intact area has been chosen, with less intact streetscapes around the periphery of the precinct left out.</p>

Conclusion and Recommendations

It is my opinion that:

- The original form of the California Bungalow at 9 Bridges Street is still legible, and the two-storey extension does not dominate views to its front façade, allowing the property to continue to contribute to the precinct.
- Therefore, the contributory grade of 9 Bridges Street is warranted.
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.12 17 Vale Street, Glen Iris (Submission 111)



Figure 57. 17 Vale Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

17 Vale Street, Glen Iris (built in 1939), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 17 Vale Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The decision by the Council to approve the consent for demolition amidst the heritage assessment is indicative that this property has no significant features that contribute to the heritage overlays of the precinct.</i>	1. Boroondara's Urban Planning Special Committee resolved to remove the interim Heritage Overlay on 17 Vale Street for their own reasons, and not in response to heritage advice from myself or others at Context. This was not an

Issue raised	Response
<p>2. <i>17 Vale Street is not individually significant and does not contribute to the heritage precinct for the following reasons:</i></p> <p>a. <i>It is not representative or similar to any other properties in the surrounding area. Although the surrounding houses may be contributory in regard to historical significance, 17 Vale Street property holds no such significance.</i></p> <p>b. <i>Glen Iris' heritage precincts demonstrate development from the Victorian, Edwardian, Inter-War (between WW1 and WWII) and Post-War (after WWII) periods. In contrast, 17 Vale Street is a basic weatherboard house that carries no distinguishing features of the architecture of the time, particularly those mentioned in the Statement of Significance. The property does not bear any distinctive styles mentioned in the document such as the Victorian Italianate, Queen Anne, Old English and California Bungalow styles that are typical and representative of other properties in the Precinct. Other valued architectural features of weatherboard houses listed in the Study include the Moderne style and curved masonry porches, neither of which our property demonstrates.</i></p> <p>3. <i>The submitter makes the following comments regarding the Heritage Criteria:</i></p> <p>a. <i>Criterion A: Rationale of how the precinct meets Criterion A is vague, making it difficult to quantify how the property contributes to the Precinct. Given the property's significant difference to the specific styles mentioned in the Study, the house does not aid in preserving the pattern of cultural or natural history either individually, or placed in context of the broader Precinct. There does not seem to be any strong representation of a particular period or era when assessing the houses at 11-19 Vale Street. This is inconsistent with what is included as contributory and significant, for instance 15 Vale Street constructed in 1949 which is outside the specific years mentioned Study.</i></p>	<p>indication that 17 Vale Street did not contribute to this heritage precinct.</p> <p>2. I agree that the house at 17 Vale Street is not of heritage significance on its own, and would only warrant protection as a contributory property within a heritage precinct.</p> <p>a. It is, in fact, similar to other timber houses of the late 1930s in the precinct, such as 16 Mont Iris Avenue around the corner.</p> <p>b. I agree that the house at 17 Vale Street is a simple bungalow with elements of the Moderne style (horizontal glazing bars to windows, flat-roofed porch, corner window), but it is not a high style example. This was a typical approach at the end of the interwar period when this house was built (in 1939). As such, it does demonstrate part of the spectrum of interwar domestic architecture in Glen Iris.</p> <p>3. In regard to HERCON Criteria:</p> <p>a. As noted above, 17 Vale Street is a representative example of a late interwar dwelling, so it can contribute to an understanding of the area's development during its valued period, defined as c1909 to 1951. Note that this date range encompasses the 1949 house at 15 Vale Street, which is very similar to what was being built in the late 1930s. Early post-war houses that continue interwar architectural styles are considered to contribute to the precinct.</p>

Issue raised	Response
<p>b. <i>Criterion D: the house holds no importance in representing the principal characteristics of a class of the environment.</i></p> <p>c. <i>Criterion E: There is no particular aesthetic value. On this basis, the property should not be included or is non-contributory to the broader Precinct.</i></p> <p>4. <i>The Study references broad range of interwar residential developments along tree lined streets as one of the reasons for preserving the precinct. Vale Street is not a tree lined Street.</i></p> <p>5. <i>50% of the properties on Vale Street are denoted as non-contributory. The stretch of Vale Street between Sherwood Street and Mont Iris Avenue, are non-contributory. Most of the properties on this stretch no longer bear any resemblance to the surrounding precinct. In particular, the 1930's brick home adjacent to our property (19 Vale Street) was recently demolished in its entirety and newly developed. It was considered non-contributory. In this context, it would appear inconsistent for the weatherboard property at 17 Vale Street to be considered significant or contributory.</i></p> <p><i>Vale Street is not a main thoroughfare for vehicular traffic or even foot traffic. 17 Vale Street faces the side of houses (directly 16 Mont Iris Avenue) and therefore does not form a significant part of the precinct streetscape. Removal of this property is unlikely to have a negative impact on the precinct as it has no historical or architectural importance.</i></p> <p><i>Existing and subsequent future developments on this short section of Vale Street will have a low impact on the overall integrity of the precinct and therefore should be removed from the heritage overlay or considered non-</i></p>	<p>b. The house at 17 Vale Street illustrates a common type of house constructed in the late 1930s and 1940s, so contributes to the architectural significance (Criterion D) of this precinct.</p> <p>c. I agree that 17 Vale Street does not contribute to the aesthetic significance of the precinct. Note that it only needs to contribute to one aspect of the precinct's local significance to be contributory. As it contributes both to the historic significance (Criterion A) and representative (architectural) significance of the precinct (Criterion D), in my professional opinion, it clearly contributes to the precinct.</p> <p>4. The only street singled out for its treelined character is Fuller Avenue. Other streets and properties are included in the precinct for other reasons.</p> <p>5. I revisited and reconsidered the area raised by the submitter in June 2021. I concluded that there are enough contributory properties in the area highlighted by the submitters to warrant its continued inclusion in the heritage precinct. This is discussed in more detail in section 4.2.5.</p>

Issue raised	Response
<p><i>contributory. The properties of 11-19 Vale Street and 15-19 Sherwood Street and 16-20 Mont Iris Avenue removed from the precinct.</i></p> <p><i>There are a significant number of non-contributory properties here already and this block is on the edge of the precinct with the properties of 30-38 Dent Street already outside the precinct boundary. Removal of these properties from the precinct would still maintain the overall structure and integrity of the precinct, whilst removing properties that are no longer representative of the preserved heritage nature of the Mont Iris Estate and Environs Precinct.</i></p> <p>6. <i>The submitter does not believe the house has been preserved and believes that it has likely been modified from its original form. However, they have no early photos of the property, nor plans to compare its current state to previous iterations of the property. There is no evidence to determine that the house retains many or all of its original features that allow it to contribute to the precinct. Therefore, it is unlikely the property demonstrates the principal characteristics of a class of the local environment. There is evidence to suggest that there are non-original alterations and additions to the house affecting the intactness and significance of its frontage including the addition of a fence to the property and a shared stone fence with 19 Vale Street. According to the Glen Iris Heritage Design Guidelines 2020, fences, though not part of the dwelling, are important elements in the streetscape. The modifications to the fences have affected the ability of the property to preserve the local streetscape. The property is of little or no heritage significance, contrary to its listing in the heritage overlay. Its style is quite different and insignificant to the surrounding properties and those that are meant to represent the heritage significance of the precinct.</i></p>	<p>6. As the submitter states, there is no evidence to support the supposition that the exterior of 17 Vale Street has been changed. It is typical of the late 1930s, and I cannot discern any alterations when viewing it from the street. While I agree that original front fences are often elements of heritage value, in my professional experience, many contributory properties do not retain their original front fence but are still recognised as contributing to a heritage precinct. The same is true for most places of individual significance.</p>

Conclusion and Recommendations

It is my opinion that:

- The house at 17 Vale Street is a highly intact example of a late interwar bungalow, which contributes to the precinct.
- Therefore, the contributory grade of 17 Vale Street is warranted.

- No changes are recommended to Amendment C333boro in response to this submission.

5.4.13 7 Hilltop Avenue, Glen Iris (Submission 126)



Figure 58. 7 Hilltop Avenue, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

7 Hilltop Avenue, Glen Iris (built in 1937), was proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study, revised 15 October 2020. In response to this submission, however, it is recommended that the grade be changed to non-contributory, as set out in the Study version dated 23 June 2021.

Response to Submission

The submitter opposes the inclusion of 7 Hilltop Avenue in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<p><i>The submitter believes that the property has been misidentified and incorrectly graded as contributory, when it should be non-contributory.</i></p> <p><i>The house has been significantly altered from a single weatherboard to a two-story brick veneer in 2004.</i></p>	<p>The house at 7 Hilltop Avenue is recorded as built in 1937. The original building plans do not survive at the City of Boroondara, but the building card does. It records the construction of a '6RWTD' (i.e. six-room, weatherboard-clad, tile-roofed dwelling). This supports the submitter's claim that the house was originally clad in weatherboards (NB: it is currently rendered).</p> <p>A 1945 aerial of this site shows a house with the same hipped roof as present (without the later upper-storey extension), but with a small front porch near the middle of the front facade.</p>  <p>Figure 59. Aerial view of 7 Hilltop Avenue in 1945. (Source: Landata)</p> <p>Building permit plans held by the City of Boroondara document that the following works were carried out in 2006:</p> <ol style="list-style-type: none"> 1) Replacement of the original small front porch with an arcaded front porch beneath a high hipped roof that stretches across nearly the entire front facade. This porch has Spanish Mission decorative elements, including barley-twist columns. 2) Addition of a carport at the south-west corner of the front facade (zero setback). The carport is also in the Spanish Mission style, with an arched opening and decorative parapet. 3) Construction of a large upper-storey extension with minimal setback from the front facade. Also a modest rear extension. <p>In summary, the following external changes have been made to the house which are clearly visible from the street: the original porch has been removed, a new front porch built in a different location which features arches, a carport has been constructed next to the front facade, and the timber house has been rendered (and possibly reclad in brick veneer first).</p>

Issue raised	Response
	In my professional opinion, these changes to the front façade, combined with the visible upper-storey addition, mean that the house is indeed too altered to contribute to the precinct as its original form and style are not at all legible. I agree that it should be downgraded to non-contributory.

Conclusion and Recommendations

It is my opinion that:

- The house at 7 Hilltop Avenue has been so extensively remodelled externally that it no longer contributes to the precinct.
- Therefore, it is recommended to be downgraded to non-contributory in the precinct.
- No changes are recommended to Amendment C333boro in response to this submission.

5.4.14 Precinct boundary (Submission 145)

Recommendations and Amendment C333boro

The boundary for the Mont Iris Estate and Environs Precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study incorporates High Street and its road reserve.

Response to Submission

The submitter, Head, Transport for Victoria makes the following comments regarding the proposed Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>It is noted that the City of Boroondara Municipal-wide Heritage Gap Study Volume 5. Kew East & Mont Albert [sic!] dated 15 October 2018 prepared by Context Pty Ltd does not identify any heritage significance to the road fabric of the arterial roads, for any of the properties/precincts identified. As such, the Department requests the map boundaries be amended to align with property boundaries and be removed from the arterial roads.</i>	<p>I agree that the road reserve of High Street is not recognised as having specific heritage significance in the Mont Iris Estate and Environs Precinct. It does, however, retain bluestone pitched kerbs to most of the section within the Heritage Overlay precinct, as well as nature strips on both sides. Removal of these elements would have an impact on the heritage significance of the precinct.</p> <p>For this reason, in my professional opinion, the High Street road reserve should be mapped as part of the Heritage Overlay precinct so that the impact of future roadworks – particularly changes to this road – can</p>

Issue raised	Response
<p><i>The Department notes the following would need to be amended:</i></p> <p><i>Mont Iris Estate HO901. the precinct boundary incorporates High Street and the road reserve.</i></p>	<p>be taken into account in regard to their potential impact on the Heritage Overlay precinct.</p>

Conclusion and Recommendations

It is my opinion that:

- It is recommended that the High Street road reserve is retained in the proposed precinct.
- No changes are recommended to Amendment C333boro in response to this submission.

5.5 Summerhill Estate Precinct

5.5.1 Background

This precinct was assessed by me and the GML consultants as part of the Glen Iris Heritage Gap Study and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay. The reasons for its significance are set out in the statement of significance, found in section 4.4.2.

Note that a number of objecting submissions in regard to properties within this precinct raise issues without bearing on heritage value, so I will not respond to them in this evidence. These include Submissions 15, 18, 19, 20, 21, 24, 26, 27, 35, 36, 37, 38, 41, 45, 47, 52, 55, 58, 64, 65, 66, 72, 74, 77, 82, 89, 100, 102, 105, 122 and 136.

I will also not respond to supporting submissions, unless they provide further information.

38 and 40 Brandon Street, Glen Iris (no submission)

Due to the demolition of contributory houses at 38 and 40 Brandon Street, in my professional opinion, they should be downgraded from contributory to non-contributory.

Note that the downgrading of 38 Brandon Street is reflected in the Study version dated 23 June 2021. As the contributory house at 40 Brandon Street was demolished more recently, its downgrading is not reflected in the 23 June 2021 Study report.

5.5.2 56 Florizel Street, Glen Iris (Submission 4)



Figure 60. 56 Florizel Street, Glen Iris, before. (Source: Context, 2018)



Figure 61. 56 Florizel Street, Glen Iris, after installation of cladding. (Source: Context, 2019)



Figure 62. South side elevation of 56 Florizel Street, with the return of the new cladding visible at the centre of the photo. (Source: Context, 2019)



Figure 63. North-east corner of 56 Florizel Street, with the return of the new cladding extending as far as the corner window. (Source: Context, 2019)

Recommendations and Amendment C333boro

56 Florizel Street, Glen Iris (built in 1940), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 56 Florizel Street in the Heritage Overlay and makes the following comments in regard to the study. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The property does not meet the criteria of a 'contributory' grading, as viewed from the street.</i>	<p>1. An external timber-look cladding was installed on the outside of this face brick house in 2019, shortly after preliminary community consultation began in regard to the precinct recommendation.</p> <p>Cladding was installed to cover up the bricks of the front façade, with a minimal return around the side elevations (see photos above). This conceals the front brick walls of the house, though the chimney, windows and inside of the front porch are still visible, as is the brickwork of most of the side elevations.</p>
2. <i>The property does not share elements of what makes the precinct significant.</i>	<p>2. The house was built in 1940 and shares its massing and materiality with other Moderne-influence houses of the late interwar period in the precinct.</p> <p>The house "beneath" the cladding was built in 1940. It is a hipped roof bungalow, as was typical of the late interwar period. Its architectural interest was created by a palette of different brick colours (clinker and manganese) and patterns (herringbone pattern on the chimney breast), as well as a large external chimney with stepped sides. The house shows influence of the Moderne style in the use of horizontal glazing bars of the upper windows sashes and a corner window. It also retains its original low brick front fence, constructed of red bricks (NB: the north fence post has been moved and reconstructed to allow driveway widening).</p> <p>This house type is reflected in the precinct description which reads:</p> <p><i>In addition, from 1935 onward, simplified versions of the Moderne house became common. In some cases, these retained a single curved</i></p>

Issue raised	Response
<p>3. <i>The façade and window reveals are new (2019) and not of the era. The 'contributory' structural and aesthetic elements are no longer visible or obviously identifiable. It is starkly inconsistent with neighbourhood character, as there are no other clad properties in the precinct.</i></p>	<p><i>element - such as a flat porch hood - on what was otherwise a simple hipped-roof bungalow.</i></p> <p><i>In other cases, an external slab chimney on a front elevation was often the only decorative element.</i></p> <p>Comparable examples of this house type are illustrated in the precinct description, including two with the same massing and chimney type as 56 Florizel Street. These are 37 Hortense Street and 50 Celia Street, both of 1939. In comparison to these two, the house at 56 Florizel Street is distinguished by its more substantial (masonry) front porch and by the decorative brickwork detailing to the porch piers and the chimney breast (NB: this decorative brickwork is hidden beneath the cladding).</p> <p>Finally, this house type is clearly referenced in the statement of significance, as one of the place types that contributes to the representative (Criterion D) significance of the precinct:</p> <p><i>... and the Moderne/Art Deco style. These two later styles continued to be built just after the war in nearly identical forms and materials. Nearly all of them are built of masonry, some rendered or of stone, but the large majority built of face brick in colours ranging from red and clinker, to brown manganese and cream bricks. In keeping with the estate's covenant, house roofs were normally tiled. A large number of houses are enhanced by the retention of an original front fence, most of them of brick (face brick or rendered) ...</i></p> <p>On this basis, it is my firm professional opinion that the house at 56 Florizel Street is of the type that very clearly contributes to this precinct.</p> <p>3. I agree that the new wall cladding to the front facade and window reveals is new and of no heritage value, but the original house survives beneath this.</p> <p>I also agree that there are no other houses recently covered with cladding in the precinct. It is very unusual to over-clad a brick building. It is much more common to over-clad timber buildings, using vinyl or aluminium "weatherboards" or fake brick. In my professional experience, these over-clad timber houses are usually graded contributory (if their date, style and intactness allow) as the over-cladding is considered a largely reversible alteration. (NB: I say "largely reversible" as mouldings and other decorative details that project from the walls are</p>

Issue raised	Response
<p>4. <i>Reversal of the alterations are not possible and would necessitate replacement of the entire windows.</i></p>	<p>generally removed, and timber strips nailed onto the weatherboards to hold the cladding cause minor damage. Because of this, the removed detailing must be reinstated and the holes in the weatherboards made good once the cladding is removed.</p> <p>4. The original double-hung sash windows survive on this house. If the window reveals need to be made good or even replaced, following the removal of the external cladding, this would be a small change. I cannot see why the original sashes cannot be removed and reinstalled in new surrounds.</p> <p>And even if the entire front windows – surrounds and sashes – must be wholly replaced in-kind as part of the future removal of the cladding, in my professional opinion the house would still be intact enough to be contributory in the precinct. See the other examples of contributory houses in existing Heritage Overlay precincts with more extensive changes to their windows in section 4.4.4.</p>
<p><i>In regard to the study:</i></p> <p>5. <i>There is inconsistency and inaccuracy in the Study, including:</i></p> <p>a. <i>22 and 24 Audrey Street have been removed from the Heritage Overlay despite their initially being assessed as 'contributory'. These properties have completely original facades.</i></p> <p>b. <i>20 Celia Street was downgraded from contributory to non-contributory.</i></p> <p>c. <i>There is inconsistency between 52 and 72 Florizel Street as the properties have limited heritage value.</i></p> <p>d. <i>Properties that have been assessed as 'contributory' have</i></p>	<p>5. In regard to the study:</p> <p>a. 24 Audrey Street is externally intact apart from replacement of the front door. 22 Audrey Street is intact apart from the replacement of the windows with a different format. Both are intact enough to be contributory. When I revisited the precinct following preliminary consultation, I decided to remove 18-28 Audrey Street because: 1) it was a less intact row (two-thirds non-contributory properties) at the edge of the precinct, and 2) it faced the sideage of contributory properties to the north so its removal would not impact intact streetscapes.</p> <p>b. 20 Celia Street was originally thought to be a slightly altered interwar property (built 1926). My further investigation following preliminary consultation revealed that its front façade had been almost entirely rebuilt in a different form, so its 1926 appearance no longer exists. For this reason, I do not consider it to contribute to the precinct.</p> <p>c. There are three non-contributory properties in the row 52-72 Florizel Street (NB: 72 Florizel is actually 1 Audrey Crescent) and seven contributory properties. In my professional opinion, is a reasonable proportion for part of a heritage precinct.</p>

Issue raised	Response
<i>had material structural alterations.</i>	d. Apart from 56 Florizel Street, the submitter has not provided examples of 'material structural alterations' to other contributory properties, so I cannot provide detailed response. In my professional experience, buildings that are somewhat altered can still be contributory to a precinct, so long as they illustrate the significant themes. The bar for intactness is generally lower than for significant buildings.

Conclusion and Recommendations

It is my opinion that:

- The house at 56 Florizel Street is a late interwar Moderne type that is clearly recognised as contributing to the Summerhill Estate Precinct.
- Its interwar origins are still recognisable after the cladding of the front façade, though the decorative brickwork has been hidden.
- Buildings that have heritage value, and are generally externally intact apart from over-cladding of the walls, can still contribute to a heritage precinct.
- Therefore, 56 Florizel Street is correctly graded contributory to this precinct.
- The streetscape comprising 52-72 Florizel Street has a character dominated by the large majority of contributory properties, so it contributes as a whole to the precinct and should remain within its boundaries.
- No changes are recommended to Amendment C333boro in response to this submission.

5.5.3 55 Celia Street, Glen Iris (Submission 23)



Figure 64. 55 Celia Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

55 Celia Street, Glen Iris (built in 2004), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 55 Celia Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The subject site is identified as non-contributory. The existing building was constructed relatively recently, in 2004, and does not have any heritage value.</i>	1. I agree that the house at 55 Celia Street is recent and has no heritage value, hence its non-contributory grade. Please also refer to my response to Issue 3 in Section 4.4.3.
2. <i>The subject site forms part of a row of dwellings (comprising 55 Celia</i>	2. I agree that the three houses at 55, 57 & 59 Celia Street are all non-contributory. Redevelopment of 55 Celia Street, however, could have an impact

Issue raised	Response
<p><i>Street, 57 Celia Street and 59 Celia Street) that are also identified as non-contributory. Consequently, any proposed redevelopment of the subject site will have limited impact on any contributory elements of the heritage precinct.</i></p> <p>3. <i>A significant proportion of dwellings located on the east side of Celia Street have been identified as non-contributory. Consequently, the 'intactness' of the heritage precinct is significantly compromised along the eastern side of Celia Street towards the south.</i></p> <p>4. <i>The land is affected by a restrictive covenant that requires no more than one dwelling house roofed with tiles or slates. This means that further subdivision of the land is not possible, and any building must incorporate a tiled or slate roof, which typically leads to a more traditional building expression given the necessary slope required for tiled roofs.</i></p> <p>5. <i>The significance of the Summerhill Estate precinct, as it relates to the streetscape, is primarily associated with the prevailing masonry material, fences and regular front and side setbacks that "demonstrate the importance of the suburban garden setting for interwar development". It is submitted that these elements will, in part, be a consideration in a building permit application to extend or construct a dwelling. The building regulations set out minimum and maximum requirements in relation to site coverage, setbacks, front fencing (equivalent to ResCode). As such, a Heritage Overlay is not required to regulate these matters. Further, any future development of the subject site will be restricted by its NRZ3 zoning (the most restrictive of the suite of residential zones), which sets out a mandatory maximum building height and minimum garden area provision.</i></p>	<p>on contributory properties in the precinct, such as 53 Celia Street next door or 56 Celia Street across the street. On this basis, in my professional opinion, all should remain in the precinct.</p> <p>3. I agree that there are a number (seven in total) non-contributory properties on the east side of Celia Street between Ariel and Audrey Streets. They are surrounded by a majority of contributory properties (30 in all) both on that side and the west side of the street. The contributory houses on Celia Street are in keeping with the rest of the interwar/early postwar development of the precinct, and as a group make an important contribution to the precinct. In my professional opinion, the southern half of Celia Street makes a strong overall contribution to the precinct and should be retained in it.</p> <p>4. Please refer to my response in Section 4.4.3.</p> <p>5. The suburban garden setting seen in the Summerhill Estate Precinct is only a small aspect of what is of heritage significance and what warrants protection in the Heritage Overlay. In my professional opinion, the original houses themselves are the most valuable element in this precinct, and they would not be protected by the covenant, ResCode, an NCO, or NRZ zoning. Only the Heritage Overlay can control their partial or full demolition, so in my professional opinion it is the appropriate planning tool for this precinct.</p>

Conclusion and Recommendations

It is my opinion that:

- Small groups of non-contributory properties, such as 55-59 Celia Street, should be retained within heritage precincts so that their future (re-)development can be considered in regard to its impact on heritage values.
- The large majority of properties on Celia Street, including the southern half, are contributory and the street makes a strong contribution to the precinct.
- The Heritage Overlay is the appropriate planning tool to protect the built fabric of heritage value in the precinct.
- No changes are recommended to Amendment C333boro in response to this submission.

5.5.4 16 Hortense Street, Glen Iris (Submission 25)



Figure 65. 16 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

16 Hortense Street, Glen Iris (built in 1937), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 16 Hortense Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<ol style="list-style-type: none"> <i>There are too many modern dwellings in the area for it to be included in a Heritage Overlay.</i> <i>The abutting properties to the side of 16 Hortense, and the property across the road are newly built, multistorey, modern houses.</i> 	<ol style="list-style-type: none"> Please refer to my response to Issue 3 in Section 4.4.3. I agree that 16 Hortense is flanked by non-contributory properties (Nos. 14 & 18), both of which are two-storeys in height, while the contributory house at No. 16 is single storey. Across the street is a row of contributory houses (7, 9 & 11), and the majority of properties on this street are contributory in grade. For this reason, in my professional opinion, this group of properties should be retained in the precinct.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.5 4 Prosper Parade, Glen Iris (Submission 42)



Figure 66. 4 Prosper Parade, Glen Iris. (Source: Context, 2021)

Recommendations and Amendment C333boro

The house at 4 Prosper Parade, Glen Iris (built in 1939) was proposed as a contributory property in the precinct by the Glen Iris Heritage Gap Study, revised 15 October 2020. After consultation, however, I recommend that the property be removed from the precinct, along with 2 Prosper Parade, as set out in the Study version dated 23 June 2021.

Response to Submission

The submitter opposes the inclusion of 4 Prosper Parade in the Heritage Overlay and requests that the property be regraded to non-contributory. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>4 Prosper Parade is located on the eastern edge of the Summerhill</i>	1. The house at 4 Prosper Parade was built in 1939.

Issue raised	Response
<p><i>Estate between Montana and Hortense Streets, opposite the Alamein Railway Line Reserve, without buildings opposite. 2 and 4 Prosper Parade are surrounded by modern dwellings graded as non-contributory (adjacent at 2 Montana and 1 Hortense Streets and to the rear at 5 Hortense Street).</i></p>	<p>I agree that there are non-contributory properties to either side (2 Prosper Parade and 2 Montana Street) along this eastern frontage.</p>
<p>2. <i>It is one of only two properties located there, both with very wide, non-typical frontages to Prosper Parade.</i></p>	<p>2. I agree that the houses on Prosper Parade have wider frontages than most other properties in the Summerhill Estate. This was part of the original subdivision layout of the estate, seen at these properties and others nearby such as 1 Montana Street, 1 Hortense Street and 3 & 3A Hortense Street. So, while they are different from the average, the size and layout of these blocks reflects the original subdivision.</p> <p>In response to this submission, in June 2021I revisited and reconsidered Prosper Parade in relation to the rest of the precinct. As there is only one contributory (or significant) house facing Prosper Parade, and its visual connection to other contributory/significant properties in the precinct is made tenuous by its situation amongst non-contributory properties, I agree that the two properties on Prosper Parade (Nos. 2 & 4) should be removed from the precinct. This removal will not impact on any other streetscapes or contributory/significant properties in the precinct.</p>
<p>3. <i>2 and 4 Prosper Parade do not have the typical low brick fence of the Estate and no.2 is classified as 'non-contributory'.</i></p>	<p>3. I agree that the Prosper Parade houses do not have low brick fences. Note that this is not a requirement for a property to be contributory. The main requirement is the retention of a largely intact interwar or early postwar house, as is seen at 2 Prosper Parade.</p>
<p>4. <i>Alterations have been made to the properties at 2 and 4 Prosper Parade. Consequently, neither is an original building although the additions are at the back and not visible from the street.</i></p>	<p>4. I agree that 2 Prosper Parade has a rear addition, but it is not visible from the street, so does not affect the contributory grade of this property.</p>

Conclusion and Recommendations

It is my opinion that:

- 2 and 4 Prosper Parade, Glen Iris, should be removed from the proposed precinct.
- No other changes are recommended to Amendment C333boro in response to this submission.

5.5.6 42 Florizel Street, Glen Iris (Submission 43)



Figure 67. 42 Florizel Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

42 Florizel Street, Glen Iris (built in 1940), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 42 Florizel Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>The use of including "blocks" of houses for heritage overlay is totally unsuitable and unjust. There are many houses within the Summerhill Estate that are certainly not worth preserving, and a</i>	In my professional experience, use of heritage precincts in the Heritage Overlay is an accepted approach to preserve intact streetscapes of typical buildings of a given period. In such a case the whole is greater than its parts, and together provides an understanding of development in a given historical

Issue raised	Response
<i>small number of appropriate houses should only be selected.</i>	period. In this case, the Summerhill Estate Precinct illustrated interwar and early post-war development in Glen Iris. In my professional opinion, the precinct meets the threshold of local significance and should be protected in the Heritage Overlay.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.7 71 Summerhill Road, Glen Iris (Submission 44)



Figure 68. 71 Summerhill Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

71 Summerhill Road, Glen Iris (built in 1936), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 71 Summerhill Road in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>Summerhill Road should not be part of the heritage overlay as it has a varied construction mix, has had more wear and tear and damage over the years (due to constant traffic and now large trucks coming through) and does not contribute in a meaningful way as much as the side streets of the Summerhill Road Estate do.</i>	In my professional opinion, Summerhill Road contains an excellent row of houses that very strongly illustrate the styles most popular in the 1930s (Old English and Moderne) as well as containing one of the best Mediterranean Revival houses in the precinct (No. 59). The removal of this row would weaken the overall heritage significance of the precinct. Note that condition is generally not taken into account at the amendment stage, but is considered in planning permit applications.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.8 36 Montana Street, Glen Iris (Submission 48)



Figure 69. 36 Montana Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

36 Montana Street, Glen Iris (built in 1939), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 36 Montana Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>My house is not worthy of a Heritage Overlay.</i>	1. The house at 36 Montana Street, of 1939, is a highly intact example of the simple Moderne style houses built in the final years before World War II. The house is externally intact, as viewed from the street, and it retains its matching clinker brick front fence. The only change to the property visible from the street is a new carport on the side of the house. In my professional opinion, the

Issue raised	Response
<p>2. <i>All the houses in our street are so different and none of them are Heritage. Most of the properties in this estate are not worthy of Heritage.</i></p>	<p>property is still well within the bounds of intactness required for a contributory property.</p> <p>I agree that the property is not of local significance, so it does not warrant a site-specific Heritage Overlay, but together with the rest of the precinct it helps to illustrate interwar residential development.</p> <p>2. As discussed previously, interwar precincts are often characterised by a range of architectural styles popular in that period. In addition, there are usually some non-contributory properties in heritage precincts whose presence is acceptable so long as they do not form the dominant character.</p>

Conclusion and Recommendations

It is my opinion that:

- The house at 36 Montana Street is a late interwar Moderne type that is clearly recognised as contributing to the Summerhill Estate Precinct.
- No changes are recommended to Amendment C333boro in response to this submission.

5.5.9 9 Celia Street, Glen Iris (Submission 53)



Figure 70. 9 Celia Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

9 Celia Street, Glen Iris (built in 1934, altered), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 9 Celia Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>Council should have been more proactive sooner in controlling redevelopment in the area. The Heritage Overlay now seems too late.</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.10 47 Summerhill Road, Glen Iris (Submission 56)



Figure 71. 47 Summerhill Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

47 Summerhill Road, Glen Iris (built in 1935), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 47 Summerhill Road in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>Many of the original houses of this area have been altered or demolished and rebuilt.</i>	1. Please refer to my response to Issue 3 in Section 4.4.3.
2. <i>The 1991 Heritage Overlay was not introduced.</i>	2. Please refer to my response to Issue 2 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.11 39 Hortense Street, Glen Iris (Submission 57)



Figure 72. 39 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

39 Hortense Street, Glen Iris (built in 2012), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter partially supports the inclusion of 39 Hortense Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>As there are both old and new houses in the estate so there is no consistent design that needs to be protected.</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.12 22 Adrian Street, Glen Iris (Submission 60)



Figure 73. 22 Adrian Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

22 Adrian Street, Glen Iris (built in 2010), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 22 Adrian Street in the Heritage Overlay. The submitter's points raised are provided below in italics, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>The property should not be included in a Heritage Overlay as it was built in 2010 and is new.</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.13 8 Brandon Street, Glen Iris (Submission 61)



Figure 74. 8 Brandon Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

8 Brandon Street, Glen Iris (built in 1935, altered), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 8 Brandon Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>The Summerhill Estate has already been redeveloped, with older homes being demolished or renovated without controls in place. The period aesthetic has already been irrevocably changed.</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.14 69 Florizel Street, Glen Iris (Submission 73)



Figure 75. 69 Florizel Street, Glen Iris. (Source: Context, 2021)

Recommendations and Amendment C333boro

69 Florizel Street, Glen Iris (built in 1947), was proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap

Study, revised 15 October 2020. In response to this submission, however, it is recommended that the grade be changed to non-contributory, as set out in the Study version dated 23 June 2021.

Response to Submission

The submitter opposes the inclusion of 69 Florizel Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The submitter disputes that the original features of the house contribute to the heritage character of the area.</i>	1. The house at 69 Florizel Street was built in 1947-48. It is a cream brick house with brown manganese brick accents, and tiles hipped roof. The front fence and rear garage match the brick of the house. It was thought, when the precinct was assessed, that this was the original appearance of the house, hence its contributory grade.
2. <i>The house has been modified and altered over time, including an extension (1986-87) and the removal of steel framed windows, replacing them with timber.</i>	2. In response to this submission, I sought Building permit plans held by the City of Boroondara, and they confirm that there were major changes to the front of this house in 1986. When originally constructed in 1947-48, the house had a projecting gabled wing to the front with a vergeless gable in keeping with the Old English style (BP No. 745, 1947). In 1986, the front gable was converted to a hip, and a room built out from its north side, effectively creating a new and entirely different front façade (BP No. 80898, 1986). Details from these two building permit plans are provided below. The house in its current form is nothing like its original Old English appearance. Therefore, I agree that the property should be downgraded to non-contributory, but retained within the precinct.

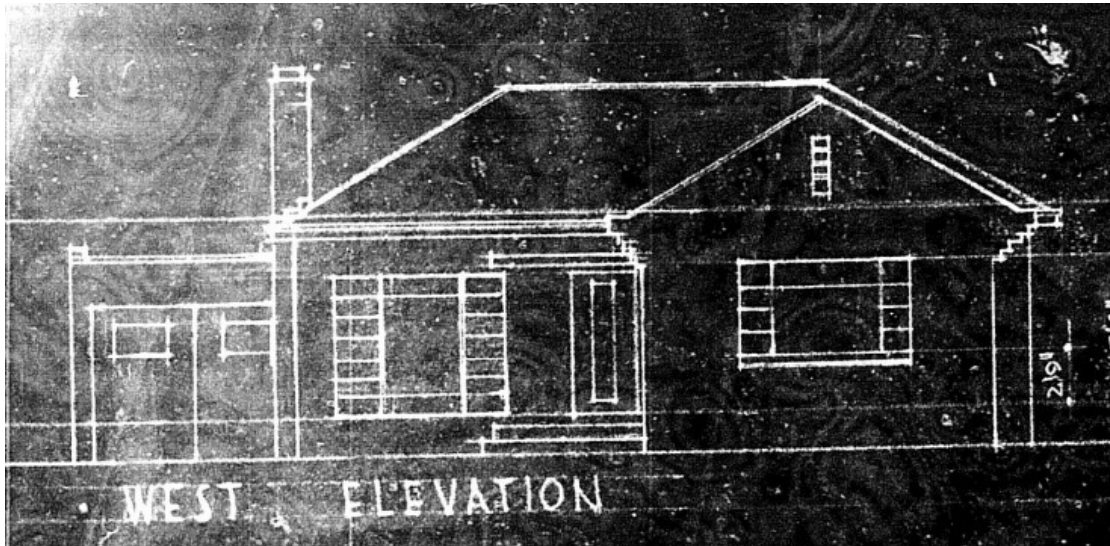


Figure 76. Original appearance of the front elevation of the house at 69 Florizel Street (Source: City of Camberwell, Building Permit No. 745, 1947)

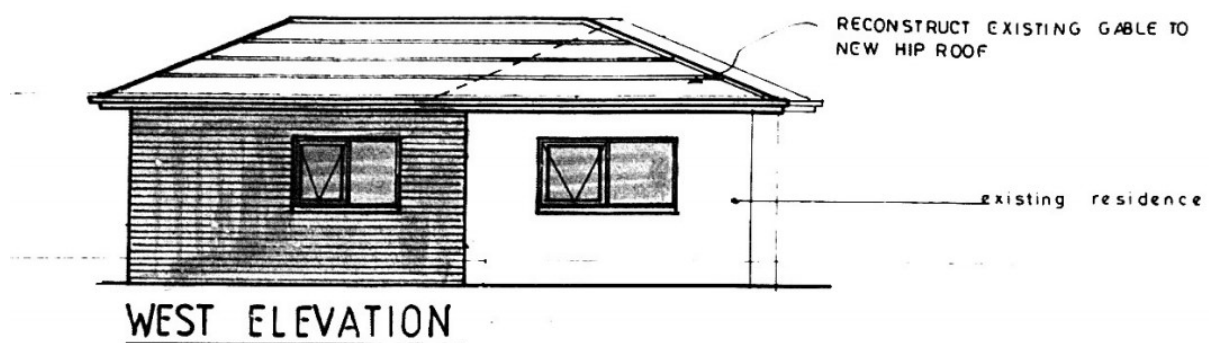


Figure 77. 1988 remodelling of the front façade including 'reconstruct existing gable to new hip roof' and the construction of a new front room shown shaded to the left. (Source: City of Camberwell, Building Permit No. 80898, 1986)

Conclusion and Recommendations

It is my opinion that:

- The house at 69 Florizel Street no longer resembles its original 1947 form.
- Therefore, 69 Florizel Street is recommended be downgraded to non-contributory within the proposed precinct.

5.5.15 30 Audrey Crescent, Glen Iris (Submission 80)



Figure 78. 30 Audrey Crescent, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

30 Audrey Crescent, Glen Iris (built in 1939), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 30 Audrey Crescent in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The 1991 heritage assessment determined that the area was not worthy of preservation. Since then many original homes have been demolished and replaced with newer dwellings, making the area less</i>	1. Please refer to my response to Issues 2 and 3 in Section 4.4.3.

Issue raised	Response
<p><i>worthy of preservation now than previously.</i></p> <p>2. <i>Two new homes have been built next to 30 Audrey Crescent, reducing the appearance of the older home.</i></p> <p>3. <i>It is not worth preserving the façade of the dwelling, regardless of the extent of renovation to the rear of the home.</i></p>	<p>2. I agree that there are two new dwellings, at 26 & 28 Audrey Crescent, just to the west of 30 Audrey Crescent. They have been left out of the precinct.</p> <p>While the submitter feels that the new houses make 30 Audrey Cr look 'like a poor relation', this is entirely subjective. The house at 30 Audrey Cr is a fine example of an intact Moderne house that retains a range of details such as manganese half bricks used at the sides of windows and to outline the front chimney, its original steel windows, and low masonry front fence. In my professional opinion, it is a very stylish house and contributes strongly to the precinct, despite its location at the edge of the precinct.</p> <p>3. As noted above, this is a stylish, well-detailed and externally intact house of the late 1930s that is definitely worthy of preservation.</p>

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.16 13 Brandon Street, Glen Iris (Submission 83)



Figure 79. 13 Brandon Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

13 Brandon Street, Glen Iris (built in 1938), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 13 Brandon Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>The area is already seriously compromised by previous council approvals of inappropriate, and in some cases ugly, redevelopment.</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.17 65 Summerhill Road, Glen Iris (Submission 86)



Figure 80. 65 Summerhill Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

65 Summerhill Road, Glen Iris (built in 1941), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 65 Summerhill Road in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>There is already an inconsistent theme across the suburb with varied facades, gardens, paint colours, driveways and fences.</i>	1. I agree that there have been some changes to landscaping, fences, etc. but in my professional opinion, the precinct overall retains a strong interwar character that is worthy of protection.
2. <i>The proposal is inconsistent as only one side of Summerhill Road is proposed to be included. This is indicative of the haphazard and thoughtless approach taken and the lack of due care and attention that council has paid to the needs of the residents.</i>	2. There was care and thought in delineating the boundaries of this precinct. Both sides of Summerhill Road in this area were considered, during the Stage 1 and Stage 2 field surveys. In the end, the GML consultants testing the precinct boundaries concluded that there was far more redevelopment on the west side of the road, and it was outside of the original the Summerhill Estate subdivision. For this reason, they decided to restrict the precinct boundary to the east side of the road.
3. <i>The properties in this area are in no way remarkable or examples of a particular style or era of architecture. They were not developed in such a way to be "themed" throughout the suburb.</i>	3. In my professional opinion, the precinct is "remarkable" in its retention of a large group of interwar and early postwar houses. Contributory properties in a heritage precinct only need to be representative of their time. It is individually significant properties that must be 'remarkable'.
4. <i>The Summerhill Estate Precinct has no local historical, architectural and aesthetic significance to the City of Boroondara, Melbourne or Australia.</i>	4. As set out in the precinct citation, the Summerhill Estate Precinct is an excellent example of an interwar suburban development that illustrates the importance of this era in the development of Glen Iris and the City of Boroondara more generally. I agree that it is not significant across the entire Melbourne metropolitan area or the entire country of Australia, but this is not a requirement to be included in the Heritage Overlay.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.18 General submission (Submission 87)

Recommendations and Amendment C333boro

The proposed Summerhill Estate Precinct was recommended to be included in the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of properties in Glen Iris in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The submitter is particularly shocked by the proposition of the Summerhill Estate being included in the Heritage Overlay.</i>	1. The submitter may not recognise interwar and early postwar domestic architecture as worthy of heritage protection, but in my professional opinion this precinct is an excellent example of this period and worthy of protection. It is important to protect all of the key periods of development in our suburbs. The interwar period was the most intensive period in Glen Iris and shaped the suburb seen today.
2. <i>The proposition that one side of the street holds potential local historical, architectural and aesthetic significance to the City of Boroondara and the other side of the road does not is utter nonsense.</i>	2. The submitter appears to refer to the proposed boundary along Summerhill Road. It contains the most intact part of the street that was originally part of the Summerhill Estate subdivision. The west side of the street was not strongly enough linked to the interwar domestic styles that characterise the Summerhill Estate. Note that there are many existing examples of precincts that have a boundary on one side of a street.
3. <i>There is no significant architectural style of note, nor theme to the neighbourhood in need of protection and preservation.</i>	3. As noted above, the interwar period and its popular architectural styles made a major impact on Glen Iris and Boroondara. Well preserved areas of this development warrant protection. The interwar period was characterised by the many styles that were popular, most of which are illustrated in this precinct, for example, California Bungalows, Mediterranean Revival, Old English and Moderne.
4. <i>There has been growth and development over many years to an eclectic style</i>	4. I agree that there have been changes to the Summerhill Estate in recent years. Despite this, the strong interwar architectural character remains dominant. See also my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.19 18 Brandon Street, Glen Iris (Submission 90)



Figure 81. 18 Brandon Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

18 Brandon Street, Glen Iris (built in 1926, altered by the addition of a first storey), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 18 Brandon Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>Since the 1991 study by the City of Camberwell, almost a quarter of the homes in Summerhill Estate have been demolished or heavily modified.</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.20 4 Adrian Street, Glen Iris (Submission 93)



Figure 82. 4 Adrian Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

4 Adrian Street, Glen Iris (built in 1936), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 4 Adrian Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The bar for inclusion into a Heritage Overlay has been set too low.</i>	1. While the submitter states that the bar has been set too low in regard to the places and precincts recommended for the Heritage Overlay, no detailed arguments have been presented beyond the comment that there are too many properties recommended.
2. <i>The inclusion of so many properties in a HO is an overreach; it is not a proportionate response.</i>	2. The boundaries of Summerhill Estate Precinct were based on the area that is visually coherent and retains a dominant interwar and early post-war character. There is no guidance in the planning provisions about how large a heritage precinct can be. It simply must be demonstrable as an area that illustrates a significant theme or themes and one that compares well with other such area in and out of the Heritage Overlay.
<i>More generally related to the Study, the submitter makes the following comments:</i>	
3. <i>The Study seeks to impose overlays on areas simply because they are old. The desire to protect areas of historical significance must be balanced against the need to allow the municipality to evolve over time.</i>	3. There are plenty of "old" areas and Glen Iris and other Boroondara suburbs that have not been recommended for the Heritage Overlay. Most of them have undergone significant redevelopment and do not retain consistent streetscapes. And few of them were developed with such consistency in the first place as Summerhill Estate.
4. <i>The Study relies heavily on the 1991 Butler Report, seeking in large part to re-agitate potential area overlays that were identified in the Butler Report but were not adopted for various reasons. For the Summerhill Estate (Precinct 12) in the Butler Report, the Context Report raises nothing by way of fresh argument that was not raised in the Butler report.</i>	4. Please refer to my response to Issue 2 in Section 4.4.3.
5. <i>The Butler Report performed a more thorough analysis of the heritage value of individual houses in the Summerhill Estate precinct than is found in the Context Report.</i>	5. The submitter appears to consider the outdated letter grading system to be more thorough than the current three tier grading (significant, contributory, non-contributory). While letter grades have some good points, they have been superseded in the Victorian Planning System. The Gap Study was carried out in accordance with current guidance (such as Planning Practice Note No. 1: Applying the Heritage Overlay, 2018).
6. <i>Many of the houses graded as "contributory" were in fact constructed in the post-war period and as such they are not true examples of interwar housing.</i>	6. The post-war houses considered contributory to the precinct use the same materials and styles as those of the interwar period. In such a case, in my professional opinion it would be

Issue raised	Response
<p>7. <i>The individual contributory houses are not particularly good examples of interwar housing.</i></p>	<p>entirely artificial to exclude them. They illustrate the continuity of domestic architecture before and after WWII.</p>
<p>8. <i>The streetscape is mundane and of no difference from areas developed outside of this historical period.</i></p>	<p>7. The interwar houses are typical examples of their type, which is the requirement for them to be contributory. If they were outstanding examples of their type, they would have been graded significant.</p>
<p>9. <i>Context has artificially boosted the proportion of contributory houses in the area by excluding houses along Summerhill Road, Audrey Crescent and Prosper Parade. Once those houses are included – which they naturally should be as visually being part of the Estate – the proportion of contributory houses drops below 70%.</i></p>	<p>8. While there are no concrete roadbeds in the precinct, the streetscapes are made up of the interwar and early post-war development and are thus worthy of protection.</p>
<p>10. <i>The age of a development and only a moderate level of intactness is not enough to justify a Heritage Overlay.</i></p>	<p>9. In my professional experience, it is standard practice to exclude areas that are at the outer edge of a precinct and contain mostly non-contributory properties. This approach has been followed for this precinct.</p>
<p><i>In relation to the heritage criteria, the submitter makes the following comments:</i></p>	<p>10. Summerhill Estate precinct contains fine interwar and early post-war streetscapes. The houses within it and the streetscapes are of a comparable intactness to many other precincts in the Boroondara Heritage Overlay.</p>
<p>11. <i>While it may be accepted that an area overlay need only satisfy one of the eight criteria in order to warrant inclusion in the HO, if fewer criteria are satisfied then the area would need to be a particularly good example of those categories in order to justify inclusion.</i></p>	<p>11. In accordance with Planning Practice Note No. 1: Applying the Heritage Overlay (2018), there is only a requirement for a place (or precinct) to meet one criterion at the local level. There is no requirement for it to meet a higher threshold in such a case.</p>
<p>12. <i>The Summerhill Estate is not of sufficient integrity nor sufficient historical, representative, aesthetic or associative significance to warrant an area heritage control. The area does not meet a threshold of significance with regard to any of the four criteria cited in the Context Report.</i></p>	<p>12. In my professional opinion here is a strong sense of entry into this precinct, and it has been demonstrated to meet the threshold of local significance.</p>
<p>13. <i>Criterion A:</i></p> <p>e. <i>It is the nature of development in Boroondara, and across Australia generally, that the development of farmland into suburbs tends to occur in clusters. The Study does not identify any historical feature worthy of protection unless the cluster is a particularly good example when compared to other areas.</i></p>	<p>13. Criterion A: I agree that the Golf Links Estate is of very high significance, and was assessed as one of the best examples of an interwar residential development in the State. There is still room in the Heritage Overlay for precincts that are the best examples of a key period of development in a given suburb, such as Glen Iris. A heritage precinct in Camberwell or Canterbury cannot illustrate the development history of Glen Iris.</p>

Issue raised	Response
<p>f. <i>Boroondara's location in the inner middle-ring of Melbourne means that much of the municipality was developed during the interwar and early post-war periods.</i></p> <p>g. <i>The Summerhill Estate is not unique or special. There are a number of other precincts within Boroondara that provide much better examples of historical significance, including the Golf Links Estate, Hassett's Estate, Reid Estate, Holyrood Estate, Toorak Estate and Riverside Estate. The Summerhill Estate compares poorly with these examples in quality of housing, intactness and quality of the streetscape.</i></p>	
<p>14. <i>Criterion D:</i></p> <p>h. <i>There are many different architectural styles within Summerhill Estate Precinct, therefore there is no consistent theme to the houses.</i></p> <p>i. <i>The identified styles are common across the municipality and should therefore be seen as modest examples which contribute little that is unusual or unknown to an understanding of architectural forms within the area during the interwar period.</i></p> <p>j. <i>Given that there are other, better examples of "representativeness" in the municipality which are already protected, the need for an overlay in the Summerhill Estate has not been established.</i></p>	<p>14. Criterion D: I agree that there are other examples of the styles seen in the Summerhill Estate precinct. The large majority of them are scattered across the municipality, separated by new development. There are few areas that are as consistent and coherent as the Summerhill Estate.</p>
<p>15. <i>Criterion E:</i></p> <p>a. <i>The Context Report cites only two examples for why the Summerhill Estate satisfies Criterion E: 32 Hortense Street (HO386) and 1 Montana Street (HO393). However, both of the examples are already individually heritage-protected properties. The addition of an area overlay would therefore have no effect on this criterion, and accordingly it ought to be rejected</i></p>	<p>15. Criterion E: I agree that if Criterion E were the only criterion met by the Summerhill Estate precinct, then it would not be of local significant as it only satisfied by two properties. It is appropriate, however, to draw out the specific nature of their individual significance, as expressed in their existing citations.</p>

Issue raised	Response
<p><i>as a possible ground for justifying an area overlay.</i></p> <p><i>b. It is wrong for these two properties to be the justification for a new overlay in the area under Criterion E, since they are already in a Heritage Overlay.</i></p> <p>16. <i>Criterion H:</i></p> <p><i>a. Two adjoining sites being developed by the same person is insignificant. The same can be said of large areas of Melbourne and is not an exception but the standard way in which the city has evolved.</i></p> <p><i>b. Thomas Burke is not a person of such significance or stature that his mere involvement in a development ought to result in the imposition of heritage controls.</i></p>	<p>16. Criterion H: Please refer to my response to Issue 1 in Section 4.4.3.</p>

Conclusion and Recommendations

It is my opinion that:

- It is recommended that Criterion H is removed from the precinct Statement of Significance, Thomas Burke's involvement is addressed as part of Criterion A.
- No other changes should be made to Amendment C333boro in response to this submission.

5.5.21 15 Montana Street, Glen Iris (Submission 96)



Figure 83. 15 Montana Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

15 Montana Street, Glen Iris (built in 1939), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 15 Montana Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>Nearly a quarter of the homes in the estate have been modified, including 15 Montana Street.</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.22 10 Montana Street, Glen Iris (Submission 98)



Figure 84. 10 Montana Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

10 Montana Street, Glen Iris (built in 1938), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 10 Montana Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>There has been significant change in the character of the neighbourhood with several developments that have seen the loss of older dwellings in the area.</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.23 67 Summerhill Road, Glen Iris (Submissions 101 and 104)



Figure 85. 67 Summerhill Road, Glen Iris. (Source: Context, 2021)

Recommendations and Amendment C333boro

67 Summerhill Road, Glen Iris (built in 1936), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitters partially support (Submission 101) and oppose (Submission 104) the inclusion of 67 Summerhill Road in the Heritage Overlay. As they are members of the same household, commenting on the same property, their submissions are responded to jointly. The submitters' points raised are provided below in italics, with my response to each issue provided on the right-hand side.

Issue raised	Response
Submission 101 notes:	
1. <i>In the Summerhill Estate, an estimated 40% of "non-contributory" two storey extended houses have been thoughtfully constructed, with additions in keeping with the style and fabric of the original single storey houses' construction, while retaining the original front part of the house. The remainder estimated 60% are extensions poorly done in fabric and/quality, that do not contribute.</i>	1. I agree that many houses have been extended in such a way that their heritage contribution to the precinct is only minorly (or not at all) impacted. In cases, however, where the later alterations so overwhelm the presentation of the house, such as large upper-floor extensions that sit directly atop the main roof, the massing, roof form and horizontality of the original design has been lost. This means that the contribution to the heritage precinct is greatly diminished. For this reason, in my professional opinion, it is appropriate to grade such houses non-contributory.
Submission 104 notes:	
2. <i>The submitter requests that amendments be made to study to list alterations that have been made to 67 Summerhill Road including:</i>	2. I agree that the front fence at 67 Summerhill Road has been rebuilt in a sympathetic manner, and there have been changes to the garage. Despite this, the 1936 house is still highly intact externally, certainly enough for it to be contributory in the heritage precinct.
<i>a. the demolition of original gates and fence, and replacement with a new fence (2018),</i>	
<i>b. the construction of a new carport (1995),</i>	
<i>c. remodelled garage roofline,</i>	
<i>d. removal of original garage doors, replaced with iron cladding,</i>	
<i>e. installation of a new door and window to the garage.</i>	
3. <i>The 1991 Study recommending a Heritage Overlay was not adopted.</i>	3. Please refer to my response to Issue 2 in Section 4.4.3.

Issue raised	Response
<i>It is unclear what has changed since this time.</i>	
4. <i>Summerhill Road was not part of the Summerhill Precinct in the 1991 Study and there is no justification for its inclusion now, with many new homes built since 1991.</i>	4. The 1991 study did not indicate why the Summerhill Road part of the Summerhill Estate subdivision was not included in the recommended precinct boundaries. The precinct has been looked at afresh, and as there is a group of fine interwar and early postwar houses at 37-91 Summerhill Road, it was a natural inclusion in the precinct. In my professional opinion, the addition of these properties strengthens the significance of the precinct.
5. <i>The submitter questions why:</i> a. <i>some dwellings that were part of Burke's original Summerhill Estate subdivision have been excluded from the Study.</i> b. <i>large sections of Glen Iris remain without any recommendations, even though they are densely populated, with homes of the same, original period of construction.</i> c. <i>the mock Tudor style shops and dwellings at 30-36 High Street, Glen Iris have no heritage protection yet appear to meet the heritage criteria.</i>	5. In regard to Point 5: a. The outlying areas of the Summerhill Estate subdivision – to the east of the rail line and the south of the creek – were investigated as part of the Glen Iris Heritage Gap Study. The final precinct boundaries were drawn around the area found to be most cohesive and consistent in character. b. Several other heritage precincts have been recommended in Glen Iris, where there are cohesive groups of early buildings surviving. c. The shops at 30-36 High Street were recommended in the 1991 study to be protected as part of a small commercial precinct. When revisited in 2019, there had been extensive redevelopment and thus I did not recommend that the precinct be pursued further. However, a number of residents have raised this group of shops in their submissions, indicating the value placed on them by the community. They have undergone fresh consideration in response to the submissions, and are now recommended for future heritage assessment. See further details about these shops in section 5.7.
6. <i>It is unclear why the Summerhill Estate has been given greater consideration than the rest of the Glen Iris Heritage Gap study area.</i>	6. The submitter quotes the Glen Iris Heritage Gap Study which notes that previously identified places (and precinct) were given "special consideration". This means that even if an individual place did not appear interesting when viewed from the street, it was still photographed and the reasons for its previous identification considered. In the case of former precincts, their former extent was considered to see if some or all of the precinct retained a level of intactness and significance. The "special consideration" did not mean that any of these previously identified places were given full assessment if it was clear that they were not of potential heritage significance. Note that two precincts recommended in 1991 were rejected.

Issue raised	Response
7. <i>The number of homes (383) in the Summerhill Estate affected by this Overlay is excessive when compared to other precincts and in particular, the Goodwin Street Overlay which effects approximately 45 homes.</i>	7. The size of the Summerhill Estate Precinct is in relation to the large original size of the subdivision and that part of it that was rapidly developed (1920s-40s), and the area that retained its dominant original character. As this area was large, the recommended precinct is large. There are larger precincts in other suburbs of Boroondara.
8. <i>There has been numerous modifications and demolitions along the section of Summerhill Road from No 41 to 99 which are evidence of its evolution.</i>	8. The submitter lists alterations to properties at 41-99 Summerhill Road. As 93-99 Summerhill Road is outside the heritage precinct, their intactness is not considered. In the other cases, where there has been total replace of the dwelling or extensive alterations, the property has been graded non-contributory in recognition of this. There are three such properties. The other alterations are mostly to setting (fence, garage), or are minor (paint) or recessive (rear addition) changes to houses. Those properties graded contributory are well within the range of intactness considered necessary to contribute to a precinct.
9. <i>Homes in the Summerhill Estate are not worthy of classifying as 'Heritage'. The architecture, design and materials are common throughout Boroondara and many other Melbourne suburbs.</i>	9. For a building to be individually significant and warrant protection on its own in the Heritage Overlay, it must be a stand-out in its suburb or municipality. In the case of contributory buildings in a heritage precinct, they only need to be good examples of their type and be related to the key theme(s) of the precinct. It is the group of them that is considered significant. This means that typical or "common" buildings warrant protection in heritage precincts. Certainly, the large majority of Victorian and Edwardian houses in heritage precincts are typical/common of their era.
10. <i>The front gardens do not have the same priority with current culture. Most gardens are not manicured with pride as they once were. For most people the garden is not a priority.</i>	10. I agree that some people are not interested in maintaining their front gardens. In such cases, it is possible to plant with low-maintenance, low-water plants.
11. <i>A Heritage Overlay would detract from the attractiveness of the area. Second storey additions would have to be clearly, of a different architectural style and the estate may have a large density of second storey boxes. Given the size of the precinct recommended, this would detract from the amenity of the area.</i>	11. The Boroondara Heritage Guidelines support extension that match the original house. There is no requirement for "box" extensions, though some homeowners prefer them.

Issue raised	Response
<p>12. <i>Noting that in 2016 the State Government demolished 56 post-war housing commission flats in Ashburton, the submitter questions if Council will place a Heritage Overlay over the remaining post-war Housing Commission residences. The residences reflect; a period in time, culture, a specific architecture and an important time in the historical development of Ashburton.</i></p>	<p>12. The Ashburton Heritage Gap Study has been completed. It did not recommend that the Housing Commission Estate be added to the Heritage Overlay. In large part this was due to the extensive redevelopment of this estate.</p>
<p>13. <i>There is insufficient quantitative data demonstrating the density of original dwellings in the Summerhill Estate compared to other Precincts to justify its inclusion. Data is required to justify that there are more contributory properties in the precinct, than non-contributory.</i></p>	<p>13. The submitter asks that all the potential contributory (and non-contributory) properties be mapped across the entire suburb of Glen Iris to quantitatively demonstrate where the densest areas of interwar development remain. This approach to give a grading to every property in a precinct was carried out in some of the earliest heritage studies (in the 1980s and 1990s), but not any longer. Instead, I surveyed the entire suburb street-by-street over several days to pinpoint properties and areas worth further investigation. These “promising” places and areas were then returned to with other heritage consultants and Boroondara planners to refine a shortlist of the places considered most worthy of assessment.</p>
<p>14. <i>In relation to the HERCON criteria, the submitter makes the following comments for consideration:</i></p> <ul style="list-style-type: none"> a. <i>Criterion A: It is disputed Summerhill Estate is in any way unique or special to the historical significance of Boroondara. With the major identifiable feature being ‘inter-war’, then heritage could be argued for any particular period of time resulting in the majority of subdivisions of the municipality being classed as Heritage (ie. the post war housing commission).</i> b. <i>Criterion D: The submitter believes that the Summerhill Estate is not unique. Its architecture represents the period in which it was built as all houses in Boroondara and Melbourne were built during a particular period of development, representing their class and culture of the time.</i> c. <i>Criterion H: The submitter disputes the significance of Thomas Burke, as modern society would not honour a business person who is subdividing land for a new estate.</i> 	<p>14. In regard to the Heritage Criteria:</p> <ul style="list-style-type: none"> a. I agree that there should be consideration to preserve the most intact areas of development that define a given suburb, even if this area is postwar in origin. It is important to preserve the best areas of every era of development that were crucial in establishing a given precinct. b. I agree that Summerhill Estate is not “unique” in that there are other examples of these kind of houses in other locations. But it is one of the best-preserved interwar estates in Glen Iris, and it compares very well to others already in the Boroondara Heritage Overlay. The importance is the survival of the group in this estate, not any single house. c. Please refer to my response to Issue 2 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- The row of properties at 41-91 Summerhill Road contributes strongly to the precinct and should be retained in it.
- The row of shops at 30-36 High Street, Glen Iris, should be assessed in the future.
- It is recommended that Criterion H is removed from the precinct Statement of Significance, Thomas Burke's involvement is addressed as part of Criterion A.
- No other changes should be made to Amendment C333boro in response to this submission.

5.5.24 42 Audrey Crescent, Glen Iris (Submission 103)



Figure 86. 42 Audrey Crescent, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

42 Audrey Crescent, Glen Iris (built in 1939), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 42 Audrey Crescent in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<p>1. <i>The blanket coverage of all other properties in the Summerhill Estate being graded as contributory does not take into account those that have been significantly modified already. Properties that have been altered should be classified as non-contributory.</i></p> <p>2. <i>42 Audrey Crescent has been modified, including:</i></p> <ul style="list-style-type: none"> a. <i>removal of steel framed windows and concealed gutters by fascias,</i> b. <i>alterations to the front porch,</i> c. <i>the colour of the front facade (circa 20 years ago),</i> d. <i>the front fence and landscape bears no resemblance to the original.</i> <p><i>Accordingly it should be non-contributory.</i></p>	<p>1. Alterations to properties in the Summerhill Estate have been taken into account when considering if they still contribute to the significance of the precinct. Internal alterations and rear additions generally do not impact on a house's ability to contribute to a heritage precinct. A moderate amount of alterations visible from the street may also be acceptable for a contributory building, so long as its original form is still legible. In my professional experience, the requirement for intactness is less stringent for contributory buildings than it is for significant ones.</p> <p>2. I agree that the windows of 42 Audrey Crescent have been replaced, and probably with a different configuration than original, though within the original openings. While the front porch may have been altered, it is still very similar to the flat-roofed type typical of late interwar houses such as this.</p> <p>The change to front façade colour is something that happens cyclically, and does not detract from the house.</p> <p>While I agree that the retention of an original front fence and driveway is desirable, in my professional experience, it is not essential for a property to be contributory.</p> <p>The principal question is whether the house is clearly legible as part of the valued period of development (interwar and early post-war) of this precinct. Examples of houses in existing Heritage Overlay precincts with more extensive changes to their windows that are still graded contributory are provided in section 4.4.4. As I have said, the changes to the front porch are minor and in keeping with its original form.</p> <p>Thanks to the massing (high hipped roof with projecting hipped room), the use of corner windows, and a small flat-roofed front porch, in my professional opinion the house at 42 Audrey Crescent still illustrates the late interwar development of the precinct and contributes to its significance.</p>

Conclusion and Recommendations

It is my opinion that:

- The house at 42 Audrey Crescent is sufficiently intact to illustrate the late interwar development of the precinct.
- Therefore, the contributory grade of 42 Audrey Crescent is warranted.
- No changes are recommended to Amendment C333boro in response to this submission.

5.5.25 60 Hortense Street, Glen Iris (Submission 110)



Figure 87. 60 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

60 Hortense Street, Glen Iris (built in 1940), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 60 Hortense Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<p>1. <i>The statement that the first floor, both the original and the gabled is section is "well" setback is very subjective and cannot be agreed upon. The first floor is very much visible via the east, north and south elevations quite pronouncedly. Viewing the house from the streetscape the upper floor dominates the house compared to the first floor to the extent that any setback is immaterial.</i></p>	<p>1. In regard to the upper-storey addition, the house at 60 Hortense Street was designed and constructed in 1940 with a single-storey volume to the front, and a two-storey gabled volume set back by about one room. This is demonstrated by the original building permit granted for a '6R2SBTD' (BP 12784/1940) which means: a six-room, two-storey brick and tile dwelling. There is a note on the card stating: 'First floor in Brick Veneer'. The 1940s plans also survive in Council's archives and show a first-floor component (see images at end of table).</p> <p>The original extent of the first floor is visible in a 1945 aerial of the site. It is narrower than the house, located on its north side, and has a gabled roof, just as depicted by the 1940 plans.</p> <p>This building card records the addition of a carport in 1962, and alterations/additions in 1975 and 1983. The 1962 and 1975 plans do not survive in the City of Boroondara's archives.</p> <p>As the 1983 plans show the extension to the first floor as existing, I believe it was constructed as part of the 1975 works. This was a new skillion-roofed section on its south side. It is set back slightly further from the front than the original first-floor volume. It is clad in cream bricks of a slightly different shade, and the eaves detail of the new section is simpler. All of these things allow the evolution of the house to be understood by the interested observer.</p> <p>This house was always intended to have a two-storey form, so in my professional opinion the enlargement of the first floor does not have a major impact on its ability to contribute to the precinct. In addition, the addition to the first floor is set well back from the front façade, diminishing its visual impact. There are a number of houses in Summerhill Estate Precinct and other precincts already in the Heritage Overlay that have an entirely new upper storey but are still judged to be intact enough to be contributory to a heritage precinct.</p>

Issue raised	Response
<p>2. <i>The carport and the garage should be considered as part of the assessment if this is what is defined as the principal view. Both the carport (later addition) and the garage (where the original brick garage was demolished and replaced) are directly in line within the "principal" view. The garage has been demolished to be replaced and is not reversible.</i></p>	<p>2. I agree that the cream brick garage shown in 2007 real estate photos (see below) has been replaced with the present weatherboard garage in the same location. And I agree that the current "Old English" style carport adjacent to the front entry on the north side of the house is not original.</p> <p>In my professional experience, it is not a requirement to retain an original garage for a property to be contributory in a heritage precinct.</p> <p>In regard to the non-original carport, it is readily visible from the street, but as it is a reversible change and does not block key views to the house, in my professional opinion it has a minimal impact on the contribution of this property to the precinct.</p>
<p>3. <i>Based on the plans 12784 the timber French window at the front (east elevation) and the immediate side fixed panel window (south elevation) are changed. Taking a holistic view of the façade the sunporch window is not keeping with the original house. All of the east and north elevation windows had a timber window cover which has been removed over time. The chimney, first floor upwards, has been rebricked and flue replaced.</i></p>	<p>3. I agree that both the elevations and floor plan of the 1940 building permit plans (No. 12784) show the current sunroom as a pergola, with open sides and a timber frame instead of a roof. The double French-doors with eight panes each, shown in the 1940 plans, survive (partially hidden within the sunroom).</p> <p>I had the opportunity to closely inspect this part of the building in December 2019, and found that both the piers supporting the sunporch are of identical brick to the rest of the front façade, and the profiled fascia of the flat concrete roof is in keeping with others on this house. The 1940 plans indicate the flat concrete roof to the front (north side) porch is an original feature, and in my professional opinion the detailing of the fascia is typical of houses of the late interwar and early post-war period.</p> <p>Why is the sunporch shown as open and without a roof in the 1940s plans? Was the pergola converted to a sunporch with concrete slab roof some time after 1940? Or was the house originally constructed in a slightly different manner than the building permit plans.</p> <p>In my professional opinion, it is by far more likely that the pergola was never built and the concrete slab roof is an original feature of the house. In my research, I have seen other instances of minor changes, such as this, to buildings that do not accord with building permit plans. Furthermore, the concrete slab roofs to the sunporch and the front (north) porch have the same profile so were clearly created with the same formwork mould. In addition, the concrete slab roof of the sunporch</p>

Issue raised	Response
<p>4. <i>This house has clearly undergone significant changes. Comparing this property to number 35 Hortense Street (downgraded) and supported by the above evidence the house as a whole is very much altered and should not be considered as 'contributory'. The assessment should be consistent.</i></p>	<p>has been let into the brick wall at its north side, indicating that it is an original part of the construction. Please see photos below.</p> <p>There have been apparent changes involving the introduction of a glazed enclosure to the sunporch. As the submitter points out, there are two sizes of window panes used on the two glazed sides of the sunporch. To the south side there are large, fixed panes, while the front has smaller panes. For this reason, I agree that it is likely that some or all of the glazed enclosure of the sunporch has been replaced or added to the house. For example, there may have only been glazing to the side of the porch while the front of it was entirely open.</p> <p>In either case, I consider the sunporch roof and piers to be an original part of this house, and one entirely in-keeping with it in materials and style. The replacement or introduction of the French doors and glazing are a relatively minor change to this house, both in visual impact and reversibility.</p> <p>In my professional experience, there is no requirement for a contributory building to be perfectly intact. It should be intact enough so that its original form and style are still legible. In my professional opinion, this is definitely the case for 60 Hortense Street.</p> <p>The submitter also states that the chimney has been rebricked and the flue replaced. Looking at the 1940 building permit plans, the current chimneys are identical. The 2007 real estate photos referred to in the submission (see Figure 92, below) indicate that a non-original metal ventilator atop the front chimney has been replaced with a larger one. Having examined this chimney on site, I can confirm that it is constructed of precisely the same bricks as the rest of the 1940 house. The submitter may be referring to repointing the brick when they say "rebricking". I cannot discern any changes to either chimney that reduce their intactness.</p> <p>4. I downgraded 35 Hortense Street because an upper storey was constructed <u>straight up</u> from its front façade. In my professional opinion, it is no longer possible to understand the original form of this house. That is quite different from 60 Hortense Street where the addition to the original upper storey is both set back from it and clearly legible as a later change, as well as being far back from the front façade of the house.</p>

STREET 60 *Locke Street W.* LOT No. 283 *S*

Owner or Occupier *R. G. ASTON & B. CARTY* Reg. *12784* Date *9 3 40*

Builder *Hallen & J* *ADDN - MOBILE HOME RENOVATION* *31747* *20 9 75*

Remarks *FIRST FLOOR IN BRICK VENEER* *56843* *16 4 75*

CARPORT OWNER *Rumpf & Son, Lady Adds by Owner 29/9/76. 73684* *14 7 83*

Structure	Area	Cost	Remarks	Structure	Area	Cost	Remarks
<i>Dwelling</i>	<i>1420</i>	<i>1450</i>	<i>GR25.BTD</i>	Ferneries, etc.			
Shop & Dwell.				Public Bldgs.			
L.U. Shop				Warehouse, etc.			
Sleepout				Hoardings, etc.			
Garages	<i>298.9</i>	<i>-</i>	<i>(12784)</i>	<i>CARPORT</i>	<i>260</i>	<i>100</i>	<i>(31747) T</i>
Altrs. & Adds.				<i>ADDN</i>	<i>21.00</i>	<i>5500</i>	<i>56843</i>
Wash House				<i>Altrs & Adds</i>	<i>34.40</i>	<i>12,300</i>	<i>73684</i>
Work Shop							
Sheds							
Fowl House							
Stable							

S.

Figure 88. City of Camberwell building card with information concerning the original building permit to construct the house circled. BP No. 12784, dated 9 March 1940, was for a six-room, two-storey brick walled and tile-roofed dwelling, with the first floor constructed in brick veneer. The later addition, enlarging the first floor, is recorded as well (BP No. 56843, 16 April 1975).

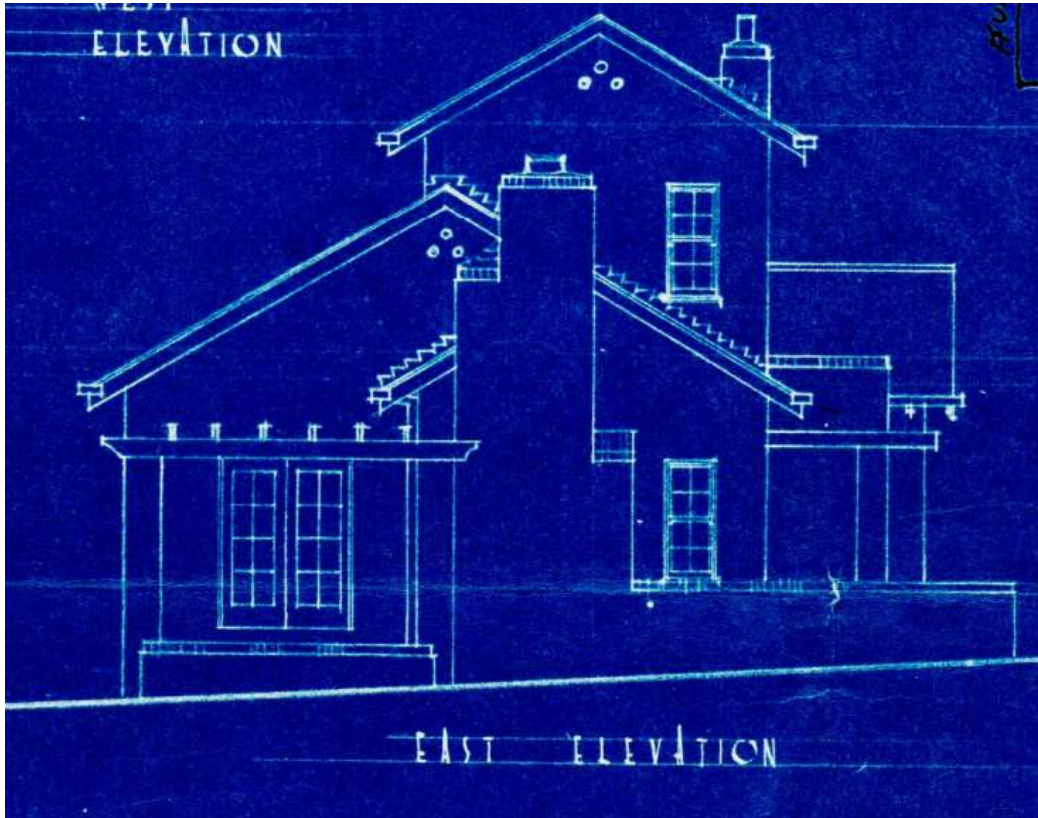


Figure 89. East elevation (front façade) as depicted in the 1940 building permit plans. Note the existence of the first floor, as well as an open pergola (lower left) where the sunroom is today. (Source: BP No. 12784, 1940)



Figure 90. December 1945 aerial of 60 Hortense Street, showing its roof form as original constructed. Note the narrow first floor, set back from the front façade. Its separate ridgeline and shadow (to the front) are visible. (Source: Landata)



Figure 91. View of 60 Hortense Street from the south-east, indicating the 1975 addition to the first floor. (Source: Context, 2019)



Figure 92. View of 60 Hortense Street in 2007. Note the original cream-brick garage, visible at far right behind the non-original carport. It has since been replaced. (Source: <https://www.realestateview.com.au/real-estate/60-hortense-street-glen%ef%bf%beiris-vic/property-details-sold-residential-1027675/>)



Figure 93. 60 Hortense Street sunporch. Note the concrete roof slab, with incised horizontal lines from a formwork mould, which is let into the wall at the north end (circled). Note also the use of the same bricks for the pier (at right) and floor of the sunporch as the rest of the front façade. The original French doors are visible inside the sunporch. (Source: Context, 2019)

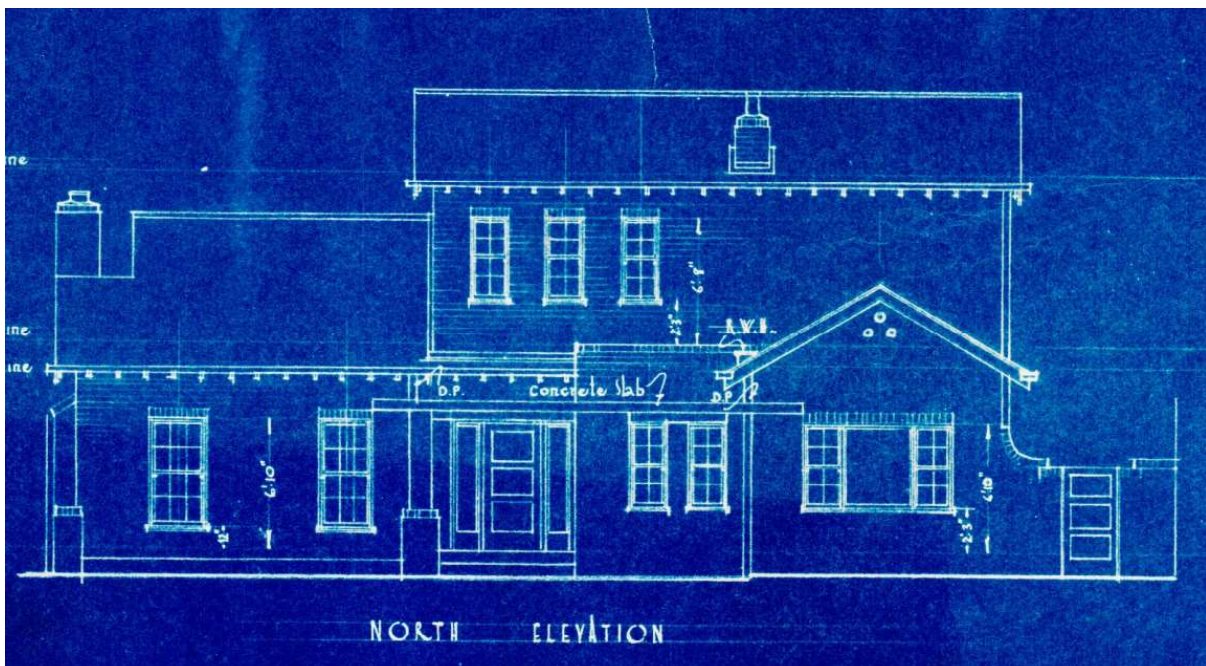


Figure 94. North side elevation as depicted in the 1940 building permit plans. Note the use of a concrete slab over the front porch. (Source: BP No. 12784, 1940)



Figure 95. Detail of the front entry on the north side of the house. Note the same concrete slab profile, with incised horizontal lines, as seen on the sunporch, indicating that it was created with the same formwork mould. (Source: Context, 2019)

Conclusion and Recommendations

It is my opinion that:

- The house at 60 Hortense Street is of a sufficient intactness to contribute to the precinct.
- No changes are recommended to Amendment C333boro in response to this submission.

5.5.26 23 Celia Street, Glen Iris (Submissions 113 and 115)



Figure 96. 23 Celia Street, Glen Iris. (Source: Context, 2018)


Recommendations and Amendment C333boro

23 Celia Street, Glen Iris (built in 1935), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitters oppose the inclusion of 23 Celia Street in the Heritage Overlay. The submitters' points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The submitter feels that a Heritage Overlay is not the right way to protect the existing nature and character of the Estate.</i>	1. In my professional opinion, the original built elements are the most valuable element in this precinct, and the Heritage Overlay is the only planning tool that can control their partial or full demolition. Therefore, in my professional opinion it is the appropriate planning tool here.

Issue raised	Response
<p>2. <i>A Heritage Overlay aims to retain the character of the estate by minimising the number of houses that are demolished and instead allowing extensions provided the existing façade is retained. The extension on 5 Celia Street is an example of how this approach does not work in practice. A better result for the estate would have been a complete knockdown and rebuild.</i></p>	<p>2. While construction of the two-storey rear addition at 5 Celia Street commenced prior to the introduction of the interim Heritage Overlay and therefore was not subject to the planning permit application process, it has retained the front and side walls and almost the entire roof of the house, with the new addition to the rear. While the addition is visible, due to its two-storey form, it is a recessive element due to the large setback. While the submitter does not approve of the outcome, in my professional opinion it has both preserve the contributory fabric of the house while providing more space for the owners.</p> 
<p>3. <i>As many original homes have been demolished and replaced, the introduction of a Heritage Overlay is "shutting the gate after the horse has bolted".</i></p>	<p>Figure 97. 5 Celia Street, with new addition. (Source: RealEstateView.com.au, 2021)</p> <p>3. Please refer to my response to Issues 2 and 3 in Section 4.4.3</p>

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.27 23 Montana Street, Glen Iris (Submission 117)



Figure 98. 23 Montana Street, Glen Iris. (Source: Context, 2021)

Recommendations and Amendment C333boro

The house at 23 Montana Street, Glen Iris (built in 1954), was proposed as a contributory property in the precinct by the Glen Iris Heritage Gap Study, revised 15 October 2020. After consultation, however, it is recommended that the grade be changed to non-contributory, as set out in the Study version dated 23 June 2021.

Response to Submission

The submitter opposes the inclusion of 23 Montana Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The submitters disagree with the assessment that the property contributes to a place of "aesthetic,</i>	1. 23 Montana Street was built in 1954. In response to this submission, I revisited and reconsidered it in June 2021. As set out in the precinct citation,

Issue raised	Response
<p><i>social or historical importance” for the following reasons:</i></p> <ol style="list-style-type: none"> <i>The house was built in the mid-1950s and of brick veneer.</i> <i>It is of a construct consistent with the architectural styles of the late interwar and post-war periods and the examples that are mentioned in the Summerhill Estate Precinct Statement of Significance, January 2020.</i> <i>The front facing part of the house has large glass panels resembling more like an office than of the predominantly masonry type.</i> <p>2. <i>The submitter disagrees that the Summerhill Estate meets the criteria for the heritage overlay for the following reasons:</i></p> <ol style="list-style-type: none"> <i>There is history to any place or anything naturally. The principal domestic architectural styles and the reasons cited in the proposed scheme are not of such importance as to introduce restrictions through a Heritage Overlay.</i> 	<p>both interwar houses and early postwar houses <i>in interwar styles</i> are considered to contribute to the precinct (as long as they are largely intact). Upon inspecting this house I confirmed that it has a distinctly postwar appearance, including large windows and the use of crazy paving on the chimney. As it does not fall into the group of houses that demonstrate the continuation of late interwar forms and details, I agree that it should be downgraded to non-contributory.</p> <p>2. I agree that every house, street, and subdivision has a history of some sort, so just having a “history” does not mean that a property or precinct warrants inclusion in the Heritage Overlay. It is only if the property or group of properties (i.e. a precinct) can be demonstrated to be one of the best or most important of its kind in a municipality that it warrants heritage protection.</p> <p>In the case of the Summerhill Estate Precinct, in my professional opinion, the properties comprise an excellent example of interwar residential development, with a high proportion of classic examples of interwar styles preserved in it.</p>

Conclusion and Recommendations

It is my opinion that:

- The house at 23 Montana Street is post-war in date, and does not exhibit the continuation of an interwar domestic architectural style.
- Therefore, 23 Montana Street should be downgraded to non-contributory.

5.5.28 54 Hortense Street, Glen Iris (Submission 119)



Figure 99. 54 Hortense Street, Glen Iris. (Source: Context, 2019)

Recommendations and Amendment C333boro

54 Hortense Street, Glen Iris (built in 1940, altered), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 54 Hortense Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>54 Hortense Street should be removed from the Study, given its 'non-contributory' grading, in the same way 19 Bridges Street Glen Iris has been removed [from the Mont Iris Estate and Environs Precinct].</i>	54 Hortense Street is a non-contributory property that sits in the middle of the block between Arial Avenue and Audrey Crescent. As discussed in section 4.4.3, Issue 3, it is common practice to include non-contributory properties in heritage precinct streetscapes, as future development could have a negative impact on the precinct.

Issue raised	Response
	In regard to the removal of 19 Bridges Street, from the Mont Iris Estate and Environs Precinct, I supported its downgrading from contributory to non-contributory due to the discovery that the front façade had been extensively altered. It was not, however, on the basis of heritage advice that this property was removed from the precinct.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.29 51 Summerhill Road, Glen Iris (Submission 121)



Figure 100. 51 Summerhill Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

51 Summerhill Road, Glen Iris (built in 2018), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 51 Summerhill Road in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
82 out of 36 houses are included in this amendment.	It appears that the submitter is referring to the presence of non-contributory properties in the heritage precinct. Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.30 7 Brandon Street, Glen Iris (Submission 128)



Figure 101. 7 Brandon Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

7 Brandon Street, Glen Iris (built in 2017), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 7 Brandon Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>Some homes in The Summerhill Estate Precinct have individual heritage protection due to their aesthetic significance. It is unnecessary that the entire precinct is covered by an overlay.</i>	1. The planning scheme allows for and recommends two types of protection in the Heritage Overlay: individual protection for properties that are locally significant in their own right (or recognition of this high level of significance if in a precinct area), and precinct protection for properties that would

Issue raised	Response
<p>2. <i>The associated significance to Thomas Burke a prominent business person and his association with the development of the estate is cited as reason in support of the Summerhill Estate Precinct Heritage overlay. Most areas in Melbourne over time have had some influence from significant business people, those areas are not overlayed by heritage covenants. It is unnecessary in the case of Summerhill Estate too.</i></p>	<p>not warrant protection on their own but together contribute to form a precinct of local significance.</p> <p>2. Please refer to my response to Issue 1 in Section 4.4.3.</p>

Conclusion and Recommendations

It is my opinion that:

- It is recommended that Criterion H is removed from the precinct Statement of Significance, Thomas Burke's involvement is addressed as part of Criterion A.
- No other changes are recommended to Amendment C333boro in response to this submission.

5.5.31 79 Summerhill Road, Glen Iris (Submission 130)



Figure 102. 79 Summerhill Road, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

79 Summerhill Road, Glen Iris (built in 1939), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 79 Summerhill Road in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>A large number of properties in the Summerhill Estate Precinct area have been replaced with modern homes or substantially altered. It is therefore difficult to understand why the council is now proposing to</i>	1. Please refer to my response to Issue 3 in Section 4.4.3.

Issue raised	Response
<p><i>introduce the Heritage Overlay to protect the precinct heritage significance when so much redevelopment has already taken place in the area.</i></p> <p>2. <i>79 Summerhill Road has been graded as contributory, however both the house and the front garden had undergone a number of substantial alterations in the last 60 years, including:</i></p> <ul style="list-style-type: none"> <i>a. extensive renovation to the original house to add new bedroom, new family room, new laundry, new bathroom and toilet,</i> <i>b. addition of a new double garage to the property,</i> <i>c. a second story extension (1980s),</i> <i>d. the original 1930s front cottage garden and the driveway to the garage have been completely gutted and replaced (1980s)</i> <i>e. the front lawn was removed and replaced with paving stones,</i> <i>f. the original fence and the original garage have also been replaced.</i> <p><i>As the property no longer retains the original 1930s façade it should not be considered as having any significant heritage value to the precinct. It should be downgraded to from "contributory" to "non-contributory".</i></p> <p>3. <i>79 Summerhill Road is next to a non-contributory property. It is unclear how making changes to the façade of 79 Summerhill Road will impact the "look" of neighbourhood as it is already changed substantially.</i></p>	<p>2. I agree that a two-storey addition has been constructed to the rear of 79 Summerhill Road. It is set back behind the original hipped roof so is very recessive.</p> <p>There are no apparent alterations to the original part of this house visible from the street. It retains its original tiled hipped roof, front chimney, brickwork, vergeless gable with catslide roof over the porch, arched opening to the porch, and timber windows with horizontal glazing bars.</p> <p>I agree that the front yard has been paved for car access. The front fence has been raised to incorporate metal panels or entirely rebuilt though in the same materials as the house.</p> <p>It is possible that the original garage has been replaced with a larger one, though they were both located at the rear corner of the property, so this is difficult to determine from photos.</p> <p>Despite the changes to the setting of the house, it is still highly intact with a very recessive rear addition, so in my professional opinion it is well within the bounds of intactness expected for a contributory property in a heritage precinct.</p> <p>3. I agree that 77 Summerhill Road is non-contributory. The replacement of this one house does not negate the very high value of the interwar houses to its south, starting with No. 79. Future changes at 79 Summerhill Road would impact the contributory houses to its south, at 81-91 Summerhill Road. In regard to the inclusion of non-contributory properties in the precinct, please refer to my response to Issue 3 in Section 4.4.3</p>

Conclusion and Recommendations

It is my opinion that:

- 79 Summerhill Road is of sufficient intactness to contribute to the precinct.
- Therefore, the contributory grade is warranted.
- No changes are recommended to Amendment C333boro in response to this submission.

5.5.32 34 Brandon Street, Glen Iris (Submission 131)



Figure 103. 34 Brandon Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

34 Brandon Street, Glen Iris (built in 1938, altered), is proposed as a non-contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 34 Brandon Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>A large number of properties in the Summerhill Estate Precinct area</i>	1. Please refer to my response to Issue 3 in Section 4.4.3.

Issue raised	Response
	<p><i>have been replaced with modern homes or substantially altered. It is therefore difficult to understand why the council is now proposing to introduce the Heritage Overlay to protect the precinct heritage significance when so much redevelopment has already taken place in the area.</i></p>

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.33 58 Hortense Street, Glen Iris (Submission 134)



Figure 104. 58 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

58 Hortense Street, Glen Iris (built in 1940), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 58 Hortense Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<ol style="list-style-type: none"> <i>Approximately 1/3 of properties in the Estate have already been substantially altered or entirely demolished thereby reducing the alleged 'historical significance' of the estate.</i> <i>Simply because the remaining houses on the Estate (which have not been substantially altered or demolished) share common characteristics does not mean those characteristics should be preserved indefinitely if they are no longer in a reasonable state of repair nor compatible with modern living.</i> <ol style="list-style-type: none"> <i>A primary example of this are the detached or attached garages built to match the house. Most of these remaining garages (of which there are very few; ours being one of them) are dilapidated, not watertight, beyond reasonable repair, not aesthetically pleasing and critically not fit for their original purpose of providing garaging for cars as they are too small to fit most modern vehicles.</i> <i>Further examples of point 2 are the positioning of the original structures on each block as well as the front fencing and low side fencing. Whilst these characteristics are indeed uniform and indicative of the era of construction, this does not automatically give rise to</i> 	<ol style="list-style-type: none"> Please refer to my response to Issue 3 in Section 4.4.3. In my professional opinion, it is important to retain the best-preserved individual examples and areas that demonstrate the major periods of development in Glen Iris and Boroondara more broadly. The Summerhill Estate Precinct is such an area. While all buildings require cyclical maintenance and a more extensive renovation every few decades, houses constructed of traditional materials are very "repairable", as opposed to much of modern construction that is panelised or incorporates non-repairable finishes such as acrylic render. This means that the traditional houses can be repaired repeatedly through their lifetime, making them a very sustainable built form. <ol style="list-style-type: none"> I agree that it is important for properties in a heritage precinct to continue to be usable. In the case of garages that are no longer usable, for example, too small, the owner can apply for a planning permit to replace the garage. Again, this submission is addressing the possibility of future change, not the inherent significance of the precinct. There are ways of increasing security without destroying heritage character, and these can be explored with Council's Heritage Advisor.

Issue raised	Response
<p><i>historical characteristics which should automatically be preserved and particularly so when they are not compatible with modern living. Specifically, preserving these characteristics will preclude residents from ever being able to fit our own cars down our driveways or increasing the height and changing the materials of our fencing to improve our security and create the level of privacy from neighbours which should reasonably be expected in today's environment. Our cars have been broken into whilst parked on the street and in our (un-gated) driveways because we cannot fit them further down our driveway or fit them in the garage. Our home has also been broken into in the last two years. Removing the ability (which existed at the time we purchased our property) to increase our property's security because we need to preserve alleged historically significant characteristics is manifestly unfair and potentially dangerous.</i></p> <p>3. <i>Imposing heritage overlay on the basis of characteristics which are not aesthetically pleasing nor functional in today's world simply because they were created at the same time in history is nonsensical. Using this same a heritage overlay should be applied across all new housing estates being built today - this simply does not make any sense, on any level.</i></p>	<p>3. Whether the houses in the Summerhill Estate Precinct are "aesthetically pleasing" or not is obviously a matter of personal taste. There are many architectural history books on interwar architecture, as well as an Australia-wide society devoted to their appreciation and protection.</p> <p>More importantly, the precinct demonstrates how the suburb of Glen Iris came to be. It illustrates the moment when it was transformed from a rural area to the dense suburb of today.</p> <p>In the future the most intact parts of early housing developments that shaped new outer suburbs may be considered for heritage protection in the same way.</p>

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.34 56 Hortense Street, Glen Iris (Submission 159)



Figure 105. 56 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

56 Hortense Street, Glen Iris (built in 1953), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 56 Hortense Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>There is [not] anything significant about the house to warrant the proposed "contributory" heritage grade. In fact, the property next door, 54 Hortense Street, which looks more significant has a "Non-contributory" heritage grade.</i>	A building permit was granted for construction of a seven-room brick house at 56 Hortense Street on 2 April 1953. It is a cream brick house with matching front fence. The house has a hipped roof with a shallow projecting hip to the front façade. It has a side chimney and a rear garage that appears to be original.

Issue raised	Response
	<p>This is one of a number of early postwar houses in the precinct that continued this late interwar hipped-roof bungalow house form after the war. The use of cream brick also began in the late interwar period, as seen on examples like 62 Dent Street and 20 Munro Avenue, though it became even more common after the war.</p> <p>The house at 56 Hortense Street appears to be highly intact externally, apart from the painting of the bricks (which could be removed by gentle means, so should be considered reversible). In contrast, the house at 54 Hortense Street is far less intact, with a number of external alterations including over-rendering of the façade, removal of the chimney, replacement of windows, and alterations to the front porch. In my professional opinion, the cumulative impact of these alterations means that 56 Hortense Street no longer appreciably contributes to the precinct.</p>

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.5.35 43 Hortense Street, Glen Iris (Submission 160)



Figure 106. 43 Hortense Street, Glen Iris. (Source: Context, 2018)

Recommendations and Amendment C333boro

43 Hortense Street, Glen Iris (built in 1947), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 43 Hortense Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<i>Many houses in the immediate area have already been rebuilt in far more modern styles. The area is no longer uniformly "heritage".</i>	Please refer to my response to Issue 3 in Section 4.4.3.

Conclusion and Recommendations

It is my opinion that:

- No changes are recommended to Amendment C333boro in response to this submission.

5.6 Violet Farm Estate Precinct

5.6.1 Background

This precinct was assessed by me and the GML consultants as part of the Glen Iris Heritage Gap Study and found to be of local significance. It is recommended for inclusion in the Boroondara Heritage Overlay. The reasons for its significance are set out in the statement of significance, found in Section 4.5.2.

5.6.2 21 Parkin Street, Glen Iris (no submission)

Due to the demolition of contributory house at 21 Parkin Street, in my professional opinion, it should be downgraded from contributory to non-contributory.

This change is reflected in the Study version dated 23 June 2021.

5.6.3 30 Parkin Street, Glen Iris (Submission 142)



Figure 107. The semi-detached pair at 30 (left) and 28 (right) Parkin Street. (Source: Context, 2021)

Recommendations and Amendment C333boro

30 Parkin Street, Glen Iris (built in 1938), is proposed as a contributory property in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of 30 Parkin Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
1. <i>The statement of significance does not indicate what is of heritage significance at the subject property beyond its duplex form, clinker brick walls, tiled roof and original front fence. All of these features seen on many other houses in the City of Boroondara. In addition, it does not retain an original garage.</i>	1. The semi-detached pair at 28 & 30 Parkin Street was built in 1938. The submitter is correct that its semi-detached form, original wall cladding of clinker and other accent bricks, hipped roof clad in terracotta tiles, and the retention of the original front fence are all elements that make it contributory to the heritage precinct. To this one should add that it is one of a number of Art Deco duplexes designed with distinctive details and materiality by a single builder (see also 1 & 1A and 3 & 5 Faircroft Avenue, 2 & 2A Rix Street, as

Issue raised	Response
<p>2. <i>The proposed precinct is a mix of building styles and ages which together form a clear neighbourhood character of landscaped front setbacks along with dwellings of between 1 – 2 storeys in height. It is questionable how a “very simple” single-storey brick dwelling without any clear or decorative period features can hold a contributory status for this heritage precinct.</i></p> <p>3. <i>The HO is not the appropriate planning tool because the subject property does not strongly satisfy any of the Hercon criteria. A Neighbourhood Character Overlay is more appropriate for this area, particularly in relation to the retention of low front fences and typical suburban front garden setbacks.</i></p>	<p>well as detached houses at 19 Parkin Street and 4 Rix Street). In addition, the subject property illustrates the interwar development of this estate, along with the other significant and contributory houses (Criterion A), and it illustrates interwar domestic architecture that can be described to some extent as ‘Moderne/Art Deco’ but is more accurately described as ‘eclectic mixtures that defy stylistic definition’ which were characteristic of the designer-builder whose work has made a distinctive mark on this precinct.</p> <p>While elements such as original garages and outbuildings add to the heritage value of a property, in my professional experience they are never a requirement for a property to be contributory. In this case the highly intact semi-detached pair of dwellings is sufficient for both 30 and 28 Parkin Street to be contributory.</p> <p>2. I agree that the heritage precinct contains a number of building styles. This is characteristic of the interwar period, where architectural eclecticism was a defining trait. Nearly all interwar heritage precincts have a similar mix of styles, and this does not diminish their heritage significance. These styles range from the more decorative (particularly 1920s designs) to more stripped back examples from the end of the period (c1939-42). The duplex at 28 & 30 Parkin Street retains pared-down decorative elements, including apricot-brick piers around the front window and a flat concrete hood over the front porch. There is no requirement for a building to have extensive decorative features for it to be able to contribute to an understanding of what interwar domestic architecture was like.</p> <p>3. I agree that the NCO could protect the character of this area in regard to low front fences and front setbacks. But it could not preserve the actual interwar houses within the precinct. They are the most important elements to be protected, and the reason that a heritage precinct is recommended.</p>

Conclusion and Recommendations

It is my opinion that:

- 30 Parkin Street is part of a highly intact semi-detached pair (with No. 28) which illustrate the eclectic style of a local builder and common interwar housing types in this part of Boroondara.
- Therefore, the contributory grade of 30 Parkin Street is warranted.

- No changes are recommended to Amendment C333boro in response to this submission.

5.6.4 Parkin Street, Glen Iris (Submission 143)

Recommendations and Amendment C333boro

The properties at 1–21 and 2–30 Parkin Street, Glen Iris, are included in the precinct proposed for the Boroondara Heritage Overlay by the Glen Iris Heritage Gap Study.

Response to Submission

The submitter opposes the inclusion of the properties on Parkin Street in the Heritage Overlay. The submitter's points raised are provided below in *italics*, with my response to each issue provided on the right-hand side.

Issue raised	Response
<p>1. <i>The residents of Parkin Street make the following comments regarding the Heritage Overlay:</i></p> <p>a. <i>Unlike Rix Street and Faircroft Avenue, Parkin Street has many inconsistent styles of homes, no sense of a heritage streetscape and no significant individual dwellings.</i></p>	<p>1. In regard to Parkin Street:</p> <p>a. I agree that Parkin Street, and the heritage precinct overall, contains a number of building styles. This is characteristic of the interwar period, where architectural eclecticism was a defining trait. Nearly all interwar heritage precincts have a similar mix of styles, and this does not diminish their heritage significance. The buildings along Parkin Street are related to others in the precinct, for example the unusual work of a single builder that is found at 19 Parkin Street, 28 & 30 Parkin Street, as well as at 1A and 3 & 5 Faircroft Avenue, 2 & 2A Rix Street, and 4 Rix Street. Parkin Street also includes California Bungalows (Nos. 2, 4, 6, 10, 12, 17, 20, 22, 24) which are seen elsewhere in the precinct (e.g. 15, 25, 28, 31, 33 & 35 Faircroft Avenue; 12, 18, 20, 22, 24, 26, 28 & 30 Rix Street), Old English houses (Nos. 8 & 8A, 15, 18) seen elsewhere (e.g. 8 & 10 Macdonald Street; 9 & 16 Harris Avenue; 6, 8 & 15 Rix Street), as well as Art Deco houses and simple late interwar houses stripped of detail which are scattered throughout the precinct.</p> <p>On this basis, in my professional opinion, the housing stock on Parkin Street is closely stylistically related to that in the rest of the precinct.</p>

Issue raised	Response
<p>b. <i>Circa 15% of homes on the Street are non-contributory to the proposed heritage overlay</i></p> <p>c. <i>The style of homes on Parkin Street are not uncommon in older suburbs. They have no heritage value apart from being old have limited features which are typically associated with heritage homes or precincts</i></p>	<p>b. I agree that three properties facing onto Parkin Street are non-contributory, while 24 are contributory. This is a relatively high proportion of contributory properties, in my professional experience, the same or better than in many existing heritage precincts.</p> <p>c. I agree that there are other examples of the types of interwar houses seen on Parkin Street in other suburbs, with the possible exception of the unusual designs by a single builder which include 19 and 28 & 30 Parkin Street. If some of the houses were unique and fine examples of their type, they would have been graded significant. A heritage precinct is made up of a group of contributory (and sometimes significant) properties that illustrate something as a group. In this case, the group of properties illustrates typical interwar residential development.</p>
<p>2. <i>The residents of Parkin Street believe the Council and the Heritage Consultant are ignoring the merits of each street and that a blanket heritage overlay is being put on Parkin Street as it is adjacent to Faircroft Avenue and Rix Street which have relatively more merit of having heritage.</i></p>	<p>2. The proposed boundaries for the heritage precinct have been carefully considered and less intact areas, such as Sinclair Avenue, have been left out of the precinct. As Parkin Street has, in my professional opinion, a very good group of interwar houses, and is related in the types of dwellings to others nearby, it makes an important contribution to the precinct as a whole.</p>
<p>3. <i>Residents of Parkin Street have engaged with an independent heritage expert, John Briggs Architects – Heritage and History Consultants, who has provided its professional opinion and supports the view that Parkin Street has a lack of heritage features and streetscape, does not clearly meet the council's criteria for heritage status and that it should not have heritage imposed on it.</i></p>	<p>3. No details of why John Briggs doesn't consider Parkin Street to have heritage value has been provided, I cannot provide a detailed response. As stated above, Parkin Street has a strong group of representative interwar dwellings that are related in style and type to those in the rest of the precinct.</p>

Conclusion and Recommendations

It is my opinion that:

- The Parkin Street streetscape exhibits a high level of intactness, and contains interwar houses that are related in style and era to the rest of the Violet Farm Estate Precinct.
- Therefore, Parkin Street contributes to the precinct and should be retained in it.

- No changes are recommended to Amendment C333boro in response to this submission.

5.7 Other submission (Submission 49)

Response to Submission

The submitter partially supports the recommendations of the Glen Iris Heritage Gap Study. The submitter's points raised are provided below in *italics*, with responses to each issue provided on the right-hand side. Note that in regard to the nominations, I prepared most of the responses but requested input from Trethowan Architecture related to nominations of interwar and post-war places (only those in Boroondara and not already in the Heritage Overlay).

Issue raised	Response
<p>1. The following properties are not significant enough to be included in the Heritage Overlay:</p> <ul style="list-style-type: none"> - <i>4 Peate Avenue school buildings</i> 	<p>1. In my professional opinion, the school building at 4 Peate Avenue compares well in its design and intactness to other interwar school buildings in the Boroondara Heritage Overlay and in other Melbourne municipalities.</p>
<p>2. The following properties should be included in a Heritage Overlay</p> <ul style="list-style-type: none"> - Former Glen Iris Post Office, 1557 High Street - Tudor Style Shops in Upper Glen Iris, 30-36 High Street. - Mrs. Nora Lang's Residence, "Liseux," 17 Bridges Street, - Last surviving of the three Thomas Bevan Jones' Australian Bungalows at 25 Allison Avenue, Glen Iris. The owner of the house in the 1950s and 1960s named the house "Gascoyne," after H.M.A.S. Gascoyne on which he served during World War 2. [NB: Nos. 23 and 27 Allison Avenue have been demolished.] - Former State Savings Bank of Victoria building, 443 Toorak Road, corner of Melton Avenue. 	<p>2. In relation to the nomination:</p> <p>The following properties are in the City of Stonnington, so are outside the scope of this amendment:</p> <p><u>Former Glen Iris Post Office, 1557 High Street</u>, is not in the Stonnington Heritage Overlay. The submitter can write to the City of Stonnington to nominate this place for heritage protection.</p> <p><u>L. A. Smith's Residence, 3 Wandeen Road</u>, is including in the Stonnington Heritage Overlay as a significant property in HO351.</p> <p><u>St. Roch's R.C. Church, 200 Burke Road</u>, is including in the Stonnington Heritage Overlay as a significant property in HO351.</p> <p><u>Convent of Sacred Heart and Sacre Coeur Ladies' College, 172 Burke Road</u>, is including in the Stonnington Heritage Overlay as HO7.</p> <p>We have reviewed the following properties and recommended them for future assessment:</p> <p><u>Tudor Style Shops in Upper Glen Iris, 30-36 High Street</u>. These are a row of four, two-storey brick shops built as a single design. They appear to date from the 1930s. The first floor facades are of brick with overlaid half timbering (imitating medieval fachwerk). Of the four,</p>

Issue raised	Response
<ul style="list-style-type: none"> - 41 Bath Road. Federation style residence on corner allotment. - Spanish Mission style house, 183 Glen Iris Road. - 27 Peate Avenue. - Alfred Road Kindergarten Inc., 48A Alfred Road. - Slate roofed house with two chimneys, 35 Alfred Road. - L. A. Smith's Residence, 3 Wandeen Road. - St. Roch's R.C. Church, 200 Burke Road. - Convent of Sacred Heart and Sacre Coeur Ladies' College, 172 Burke Road. - "Broadhall," (locally known as the 'Haunted House'), 423 Burke Road. - Former Floor Coverings Pty. Ltd. showroom, 496 Toorak Road, corner of Queen's Parade. 	<p>one retains an original shopfront (No. 32). Comparative examples in the Boroondara Heritage Overlay include:</p> <p>1) 529-539 Glenferrie Road, Hawthorn – a row of six three-storey shops, graded contributory to the Glenferrie and Riversdale Roads Commercial Precinct. Original brickwork is retained across the ground floor shopfronts (over painted at nos.529 and 532 [sic!]), and nos. 535-537 retain original shopfront fabric including window joinery and diamond patterned lead light windows above the main display window, splayed ingo entry, brick floor and timber and glazed door (at no. 537). The cantilever awning is likely to be original or early, based on the pressed metal linings retained at nos. 535-539.</p> <p>2) 798-800 Burke Road, Camberwell – a row of three two-storey shops, graded in the Burke Road North Commercial and Transport Precinct (HO505). All three retain highly intact shopfronts.</p> <p>The High Street row of shops is quite unusual in the elaboration of the timbering pattern, and though altered, there is enough evidence in the existing original shop front to make sympathetic restoration possible. The nominations also suggest there is some significance attached to the place locally that is worth investigation and the place may represent well the historical development of this locality.</p> <p>I recommend that 30-36 High Street be earmarked for future assessment.</p> <p><u>Alfred Road Kindergarten Inc., 48A Alfred Road.</u> This place was noted as being of potential heritage significance by the Gap Study. It is recorded as 'A Modernist design by architect Douglas Alexandra of 1957 as the Burwood Pre-School Centre with a distinctive crimped roof' (see Appendix A.3). It is owned by the City of Boroondara, and in keeping with the City's policy, it has been placed on an internal heritage register and earmarked for future assessment.</p> <p><u>Former Floor Coverings Pty. Ltd. Showroom.</u> This nomination appears to refer to the Modernist showroom building at 1360 Toorak Road, Camberwell. It is outside of the Glen Iris study area.</p> <p>Trethowan Architecture concluded that building is of potential interest but that more research into the architect and history of the building is necessary to establish the architectural pedigree and degree of intactness.</p> <p>1360 Toorak Road, Camberwell, should be placed on the list of places for future assessment</p> <p>The following properties are already in an existing or proposed Heritage Overlay:</p>

Issue raised	Response
	<p><u>Mrs. Nora Lang's Residence, "Liseux", 17 Bridges Street,</u> is a 1928 California Bungalow. This is proposed as a contributory property in the Mont Iris Estate and Environs Precinct.</p> <p><u>Former State Savings Bank of Victoria building, 443 Toorak Road, corner of Melton Avenue,</u> appears to refer to the former bank building at 1395 Toorak Road, Camberwell. Note that this place is already in the Boroondara Heritage Overlay as HO589.</p> <p><u>Spanish Mission style house, 183 Glen Iris Road,</u> is a 1929 house, which is proposed as a contributory property in the Glen Iris Heights and Cherry's Hill Estates Precinct.</p> <p><u>"Broadhall," (locally known as the 'Haunted House'), 423 Burke Road,</u> is a block of flats proposed for inclusion in the Violet Farm Estate Precinct as a contributory property.</p> <p>We have reviewed the following properties and rejected for further investigation:</p> <p><u>25 Allison Avenue, Glen Iris</u> was considered as part of the gap study. The entire length of Allison Avenue was considered as a potential part of the Mont Iris Estate and Environs Precinct, but in the end only the more intact southern section was included in the precinct. The timber California Bungalow at 25 Allison Street is of an architectural quality to be contributory to a precinct, but it does not in my professional opinion warrant a site-specific Heritage Overlay.</p> <p><u>41 Bath Road,</u> I identified this Federation style residence on corner allotment in the Stage 1 field survey of Glen Iris. As the house is difficult to see from the public domain, I viewed building permit plans to understand its design and level of intactness. I found that the house had been enlarged to a great degree, including extensions to its front (south) and west (side street) elevations, both of which sit well forward of the original house. On this basis, I consider the house too altered to reach the threshold of local significance, so it was not assessed further.</p> <p><u>27 Peate Avenue</u> is an interwar bungalow in the Mediterranean Revival style. It has a triple arch porch, with modest detailing. It would be contributory within a precinct, but not individually significant as it is a very common and modest example of the type and lacks architectural distinction necessary to reach a threshold of individual significance.</p> <p><u>Slate roofed house with two chimneys, 35 Alfred Road,</u> was identified by me in the Stage 1 field survey of Glen Iris. When compared to other Victorian houses in Glen Iris, however, Louise Honman and I did not consider it</p>

Issue raised	Response
	to stand out and we thought unlikely to meet the threshold of local significance. For this reason, it was not assessed further.

Conclusion and Recommendations

It is my opinion that:

- Investigate the following places for heritage significance as part of a separate process to this amendment:
 - Shops, 30-36 High Street, Glen Iris
 - Former Floor Coverings Pty. Ltd. Showroom, 1360 Toorak Road, Camberwell
- No other changes are recommended to Amendment C333boro in response to this submission.