

3.2 PP21/0072 - Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay - 14 Chrystobel Crescent Hawthorn

Application no.: PP21/0072
Responsible director: Scott Walker,
Urban Living
Authorised by: David Cowan,
Manager
Strategic and Statutory Planning
Report officer: Chiara Lorini,
Planning Officer
Statutory Planning

Report abstract

Proposal

The proposal seeks a part demolition to the rear of a contributory graded dwelling (and associated outbuildings) and the construction of a two-storey rear addition (with basement) within a Heritage Overlay.

The proposed rear addition involves a contemporary design, utilising modern forms with brick and slate materiality.

Issues

The following key issues are addressed in the Statutory Planning Officers Report (Attachment 1):

- Heritage Policy (pages 19-27)
- Objections received (pages 9-10 and 28-32)

Officer's response

After assessing the application against the Boroondara Planning Scheme officers have concluded the following:

- The proposal is acceptable from a heritage perspective and is supported by Council's Heritage Advisor;
- The proposal is consistent with the objectives as outlined in Clause 22.03 (Heritage Policy).
- The proposed works will have limited visibility to the streetscape.

It is considered that the dwelling extension incorporates sufficient setbacks and building heights as well as appropriate building materials which seek to ensure the development does not significantly impact on the Grace Park Precinct in which it is located. The proposal satisfactorily responds to the requirements of the Heritage Policy and will not dominate the existing dwelling on the site or detract from the Heritage character of the streetscape. In particular, the provision of a link between the host building and the new section of the building addresses the Heritage Policy to distinguish between old and new forms. The proposed flat roof form in addition to the site slope further limits the visibility of the proposal from the streetscape.

Sightlines, 3D/photo renders and oblique view diagrams demonstrate that the new built form will not significantly impact upon the appreciation of the host dwelling. Many of the policy directives of Council's Heritage Policy requires consideration of the impact of new built form in particular locations from the street. It is considered that the proposal complies with the policy in this regard.

Details of the proposal, discussion of all objections and assessment against relevant controls and policies are contained in the following attachments to this report:

1. Statutory Planning Officers Report
2. Appendix A - Development Plans
3. Appendix B - Locality Map
4. Appendix C - Zoning Plan

Officers' recommendation

That the Urban Planning Delegated Committee resolve that Notice of Decision to Grant a Planning Permit No. PP21/0072 for 'Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay' at 14 Chrystobel Crescent, Hawthorn be issued under the Boroondara Planning Scheme subject to the following conditions:

Amended plans required

1. Before the development starts, amended plans to the satisfaction of the responsible authority must be submitted to and approved by the Responsible Authority. The plans must be drawn to scale with dimensions and three (3) copies provided. When the plans are endorsed they will then form part of the permit. The plans must be substantially in accordance with the formally substituted plans received by Council on 8 September 2021 but modified to show:
 - a. The proposed fence element located within the front western verandah return to be removed;
 - b. The proposed double vehicle gates to the western side of the dwelling (as shown to the north elevation) to be noted as timber pickets;
 - c. The proposed double vehicle gates to the western side of the dwelling to be a minimum 25% visually permeable;
 - d. A coloured schedule of construction materials, external finishes and colours (including swatch samples);

Layout not to be altered

2. The layout of the site and the size, levels, design and location of buildings and works shown on the endorsed plans must not be modified for any reason without the prior written consent of the Responsible Authority.

Drainage

3. The site must be drained to the satisfaction of the Responsible Authority.

Vehicle crossovers

4. Any new vehicle crossover or modification to an existing vehicle crossover must be constructed to the satisfaction of the Responsible Authority.
5. Rear vehicle access must not result in removal or damage to the bluestone paving of the laneway.

Boundary walls

6. The external faces of walls on or facing boundaries must be cleaned and finished to an acceptable standard to the satisfaction of the Responsible Authority.

Permit to expire:

7. This permit will expire if:

- a) The development does not start within two (2) years of the issue date of this permit; or
- b) The development is not completed within four (4) years of the issue date of this permit.

The Responsible Authority may extend the times referred to if a request is made in writing before the permit expires or:

- (i) within six (6) months afterwards if the development has not commenced; or
- (ii) within twelve (12) months afterwards if the development has not been completed.

Council and the Victorian Civil and Administrative Tribunal are unable to approve requests outside of the relevant time frame.

Notes

- Headings are for ease of reference only and do not affect the interpretation of permit conditions.
- This is not a Building Permit. A Building Permit may be required prior to the commencement of any works associated with the proposed development.
- Prior to the commencement of any works on the site, the owner/developer must submit drainage plans for assessment and approval by the Responsible Authority (Asset Management).
- Stormwater drains are to be connected to a legal point of discharge approved by Council. Drainage Connections within a road reserve, right-of-way, parkland, within an easement or to a Health Act drain must be to Council's standards. A Council Supervision Permit is required for this work. All fees and charges associated with the connection are to be borne by the applicant.
- Prior to the commencement of any works on the site, the owner / developer must submit any new vehicular crossover or modification or alteration to an existing crossover proposal for assessment and approval by the Responsible Authority (Asset Management).
- Plant, equipment or services (other than those shown on the endorsed plans) that are visible from a street or a public park may require further planning permission. This includes air-conditioners, solar panels, water tank and the like.
- The Tree Protection Local Law requires that a Local Law Tree Permit be sought from Council for the removal and/or lopping of a 'Significant Tree' and/or excavation within the critical root zone of a Significant Tree. A list of

Significant Trees is available at <http://www.boroondara.vic.gov.au/our-city/trees/significant-trees>. A Local Law Tree Permit is also required to remove, damage kill or destroy any identified 'Canopy Tree' which may include any excavation within the tree protection zone of a 'canopy tree'. The Tree Protection Local Law identifies a 'Canopy tree' as any tree with a single trunk circumference of 110cm or a combined circumference of a multi stemmed tree of 110cm or greater measured at 1.5m above ground level. A Planning Permit does not constitute a Local Law Tree Permit or permission to remove, damage kill or destroy a significant or canopy tree. The Tree Protection Local Law is available to download at <http://www.boroondara.vic.gov.au/our-city/trees/tree-works-permits> alternatively please contact Council's Arborist – Statutory Planning (telephone 9278 4888) should a Local Law Tree Permit be required.

- An Asset Protection Permit is required prior to the commencement of site works in accordance with Council's Protection of Council Assets and Control of Building Sites Local Law 2011.
- Prior consent from Council and any and all public authorities is required to be obtained for alteration or reinstatement of assets or services affected as a result of the development.
- The full cost of reinstatement of any Council assets damaged as a result of demolition, building or construction works, must be met by the permit applicant or any other person responsible for such damage, to the satisfaction of the Responsible Authority.
- The permit application was not assessed against the provisions of Clause 54 – One Dwelling on a Lot (ResCode) of the Boroondara Planning Scheme. It is the responsibility of the applicant/owner to appoint a Registered Building Surveyor to determine compliance pursuant to the Building Regulations. Non-compliance with ResCode provisions will require dispensation from Council's Building Services Department.



STATUTORY PLANNING OFFICERS REPORT Urban Planning Delegated Committee

Application Number	PP21/0072
Date Application Received	04/02/2021
Planning Officer	Chiara Lorini
Applicant	Melissa Mirams C/- SJB Planning
Owner	Mrs ML Mirams
Property Address	14 Chrystobel Crescent, Hawthorn
Proposal	Partial demolition and construction of alterations and additions associated with a dwelling in a Heritage Overlay
Ward	Glenferrie
Zoning	Clause 32.09 - Neighbourhood Residential Zone - Schedule 3
Overlays	Clause 43.01 - Heritage Overlay
Potential Overland Flow?	No
Advertised?	Public notice of the application was given on 1 July 2021 by Council posting notices to abutting and nearby property owners and occupiers and by the display of a sign(s) on the site for a period of not less than 14 days.
Number of Objections Received	8
Recommendation	Notice of Decision to Grant a Planning Permit, subject to conditions.

PLANS ASSESSED IN THIS REPORT

Plans submitted on 8 September 2021

PROPOSAL

Appendix A - Plans

An application has been made to Council for part demolition (rear of the dwelling) and the construction of a new two-storey rear addition.

Details of the proposal are summarised as follows:-

- The existing rear flat roof later addition area of the dwelling, garage shed and pool will be removed.
- The existing crossover to Chrystobel Crescent will be retained and a basement rear vehicle entrance established from the laneway access.
- The basement area will comprise four car parking spaces, bike storage, media room, plant room, workshop, biliary room and lift/stairway access to level above.
- The proposed addition side setbacks are broadly commensurate with the existing dwelling.
- The proposed addition will be primarily be sited to the south eastern areas of the site to maximise north-west orientation.
- The dwelling addition will be modern in design with a skillion roof but utilising brick and slate as the primary materials.
- The proposed dwelling addition will have a maximum overall height of 8.6 metres.

Please see plans for further details.





Figure 1: Elevations submitted in the application

THE SITE

Appendix B - Locality Plan

Site Location	The subject site is located on the south side of Chrystobel Crescent
----------------------	--

Width of Frontage	17.08m
Maximum Depth of Site	49.38m
Total Site Area	919m ²
Easements	The subject site is not encumbered by any easements.
Fall of the Land	The site has a moderate fall from the north to the south of approximately 2.5 metres.
Front Fencing Details	A 1.3 metre high timber picket fence is located along the frontage of the site. This fencing is proposed to be retained.

- The subject site is currently developed with a single storey Federation era dwelling.
- The existing building is setback a minimum of 8.6 metres from Chrystobel Crescent.
- Vehicle access is via a crossover and driveway adjacent to the north western boundary of the site.
- The site contains a number of trees to the front setback and rear secluded private open space.

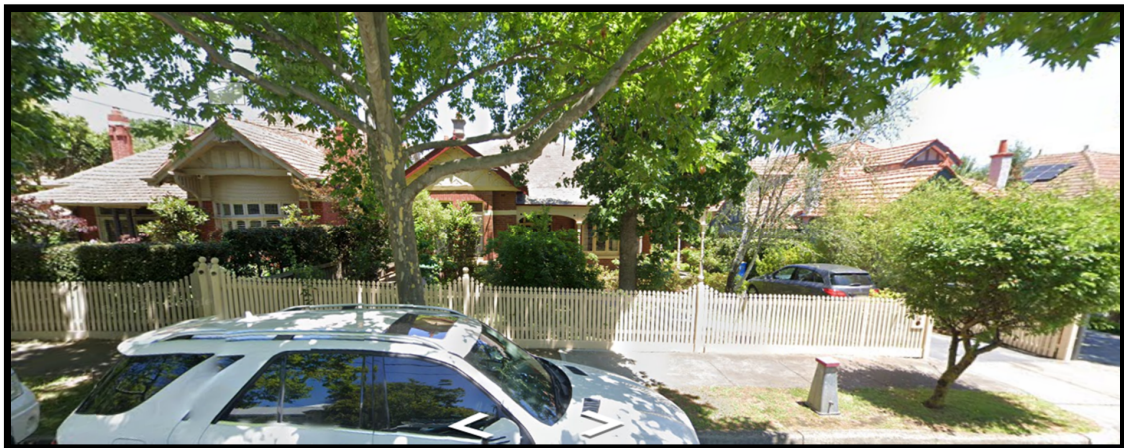


Figure 2 - Subject site

THE SURROUNDING AREA

The subject site is located to the southern side of Chrystobel Crescent. The subject site and surrounding allotments were sold as part of the Grace Park Estate in the late 1800' to early 1900's. Advertisements for the Grace Park Estate (and included within the subject site covenant) are noted restrictions with regard to brick and stone building materials and one building (Figure 3). The surrounding area is therefore a relatively

To the rear of the subject site (across the rear bluestone laneway) is the Glenferrie Private Hospital (Figure 4 and 5) which has been a health care facility site back to the 1960's.





Figure 4 - Aerial image of the subject site and surrounding area



Figure 5 - Rear laneway view (subject site to left) and Glenferrie Private Hospital (right)

STATEMENT OF SIGNIFICANCE

The following statement of significance provides a summary of the significance and key attributes of Boroondara's Heritage Overlay precinct. Unless otherwise referenced, the statements have been identified in the Review of Heritage Overlay Precinct Citations (2006) prepared by Lovell Chen Pty Ltd.

Heritage Precinct	HO152 - Grace Park and Hawthorn Grove Precincts
Statement of Significance	
<p>The Grace Park and Hawthorn Grove Precincts, Hawthorn, are of heritage significance for the following reasons:</p> <ul style="list-style-type: none"> • The place is a concentrated and relatively intact precinct of generally high quality residential buildings of the later Victorian and Federation periods. • Hilda Crescent has an unbroken set of highly distinctive Federation house designs, and the mode continues in the adjacent streets. • The area is characterised by mature gardens and street trees, filtering the light in the more southern streets, south of Kinkora Road, and giving the area a distinctive shaded character. • The diagonal house compositions and curving streets in the Grace Park Precinct combine to create an informal and picturesque character. • The northern section - Kinkora Road and Hawthorn Grove - has a large concentration of 1880s housing in tighter patterns that are similarly characteristic of that earlier era, and is relatively intact. These streets were the first typically-scaled suburban development in Hawthorn, in contrast to the St James Park area which began as a mansion group. • The Barkers Road section is more heterogeneous, but does incorporate several notable Federation and Bungalow designs. Clovelly Court is an impressive apartment group utilising garden villa forms, comparing with both the courtyard flats in the Fairview Park Precinct (HO148) and the more similar Corsewall Close (HO149). • Located at the southern end of the precinct, the Michael Tuck Stand at the Glenferrie Oval is striking both for the way it draws on its red-brick domestic 	

surroundings as it is for its 1938 modernity.

- The precinct is visually unified by the shared, curving park based around the former Kew Railway line, that runs through the entire precinct from south to north and reads as a reminder of the precinct's early popularity as a commuter suburb

RESTRICTIVE COVENANT/AGREEMENTS

Restrictive Covenant/Agreement Details	
Instrument of Transfer No	0547039
<p>Yes.</p> <p><i>'the said George William Simpson hereby covenants with the said Kate Lynch, James Byrnes, Harold Paul Dennehy and their transferees that the said George William Simpson will not erect on the said land hereby transferred any shops or terrace of dwelling homes and any dwelling house which may be erected shall be built of brick with roofs of slate or tile and the plan thereof shall first be submitted to and approved of the said Kate Lynch, James Byrnes and Harold Paul Dennehy and shall not cost less than seven hundred and fifty pounds exclusive of Architects fees, and also that no more than one building shall be erected on each lot transferred and it is intended that this covenant shall be set out as an encumbrance at the foot of the Certificate of Title to be issued in respect of the said land and shall run with the said land.'</i></p>	
Will the issue of a planning permit result in a breach of the restriction?	<p>The issuing of the planning permit for the construction of alterations and additions to the existing dwelling will not breach the restrictive covenant for the following reasons:</p> <ul style="list-style-type: none"> • No shop is proposed; • A terrace style dwelling is not proposed; • The proposed addition is constructed of brick; • The roof of the proposed addition is comprised of slate; • Regarding plan approval, given the elapsed time since the agreement (signed in 1907) it can be assumed that Kate Lynch, James Byrnes and Harold Paul Dennehy are all

Restrictive Covenant/Agreement Details	
	<p>deceased.</p> <ul style="list-style-type: none"> The proposed works shall exceed 750 pounds (750 pounds in 1907 according to the Reserve Bank of Australia Pre-Decimal Inflation Calculator equates to \$115,378.88 in 2020). The application form details that the proposed cost of works to the addition will be \$1.9 million dollars; and No more than one building is proposed on the allotment.

ABORIGINAL CULTURAL HERITAGE

Is the site within an area of Aboriginal cultural heritage sensitivity?	No
Is a Cultural Heritage Management Plan required?	N/A

PERMIT/SITE HISTORY

A review of Council records indicates that there have been no previous planning applications at the subject site.

NOTICE OF APPLICATION

Pursuant to Section 52 of the *Planning & Environment Act 1987*, the application was advertised by:

- Sending notices to the owners and occupiers of adjoining land; and
- Placing sign/s on the land for a period of 14 days.

Objections have been received to the proposal. The grounds of objection are summarised as follows:

- Not in keeping with neighbourhood character;
- Proposal is beyond the maximum height allowed in the NRZ3;
- Fails to meet the Heritage Policy requirements;
- Is non-compliant with the restrictive covenant;

- Adverse amenity impacts to adjoining properties;
- Noise from proposed swimming pool
- Insufficient details to plans;
- Design and materiality not in keeping with the area;
- Loss of established/mature trees;
- Loss of views and outlook; and
- Adverse outcome with regard to property values.

AMENDMENTS TO THE PROPOSAL

An amendment to a planning application was lodged with Council after notification.

The proposed changes are as follows:

Date Received	Amendments	Amendment Type
8 September 2021	<ul style="list-style-type: none"> • Proposed addition materiality changed - walls shown as brick and roof as slate; • First floor eastern boundary setback increased by 440mm; • First floor rear boundary setback increased by 730mm; • First floor FFL decreased by 520mm; • Ground floor FFL decreased by 180mm; • Proposed gym to western boundary moved back 1000-1180mm from boundary; • Overall wall height reduced to western elevation between 425-450mm; • Overall wall height reduced to eastern elevation between 350-750mm; and • Overall wall height reduced to southern (rear) elevation by 500mm. 	S57A
It was considered that the proposed changes were minor in nature and did not warrant re-notification. The plans will be circulated to objectors with the decision.		

INTERNAL REFERRALS

The application was referred to the following:

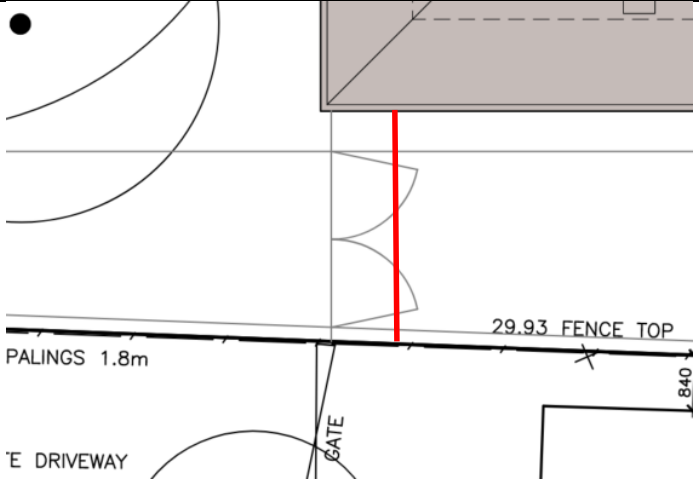
Heritage Advisor

Era of Building:

Federation

Statement of Significance or Grading (Clause 22.03-3.1)	Discussion: The Grace Park Precinct is a concentrated and relatively intact precinct of generally high quality residential buildings of the later Victorian and Federation periods. The area is characterised by mature gardens and street trees.
--	---

Demolition Contributory Buildings (Clause 22.03-3.3)	Discussion: The demolition of the rear portion of the dwelling and pool is supported.
Additions and new buildings to Significant and Contributory Buildings (excluding outbuildings) Contributory Buildings (Clause 22.03-3.3)	Discussion: As evidenced by the oblique views, the proposed rear addition will not be readily visible from Chrystobel Crescent. As a result, the proposed height, built form (with much of the massing set behind the primary roof), roof form, setback and materiality is supported. The inclusion of a linking element between the new and old structures is a good heritage outcome, allowing new and old to be clearly read. The rear laneway is quite diverse in materiality and form, however building heights do not exceed two-storeys. From the rear, owing to the slope of the land and sheer wall, the rear addition appears as highly dominant and three-storeys in height. It is recommended that the rear elevation be articulated in a way that reduces this visual impact such as through use of materials and fenestration.
Fences (Clause 22.03-3.5)	Discussion: It unclear what the proposed materiality, height and style is for the gates between the dwelling and the side boundary fence. The gate should be setback in alignment with the façade not the edge of the verandah, as shown below.

	
Landscape Setting (Clause 22.03-3.6)	Discussion: The proposed front landscape setting is supported.
Vehicle accommodation, outbuildings and services (Clause 22.03-3.7)	Discussion: The integration of a garage from the laneway is appropriate, however the crossover must not result in the removal or damage of the bluestone paving in the laneway. The driveway material of chalford limestone is supported. Otherwise, concrete would also be supported.

Recommendations

On heritage grounds the works proposed in this application should be modified as follows prior to further considerations:

	Suggested condition	Explanation
1	Revise the articulation of the rear elevation to reduce the visual dominance of the structure on the laneway, e.g. through use of materials and fenestration.	The rear laneway is quite diverse in materiality and form, however building heights do not exceed two-storeys. From the rear, owing to the slope of the land and sheer wall, the rear addition appears as three-storeys in height.
2	Provide details on the proposed materiality, height and style of the	The detail of the gates is unclear. Further, the gate should be setback in

	gates, and setback the element in alignment with the facade.	alignment with the façade not the edge of the verandah.
--	--	---

Other notes:

- The crossover works must not result in the removal or damage of the bluestone paving in the laneway.

Planner's Comments:

The applicant submitted revised plans (57A) which included increased articulation to the rear of the site and the gates moved back from the previously proposed locations. These were discussed verbally with Council's Heritage Advisor. Council's Heritage Advisor was supportive of the proposed materiality change, reduced height, and increased boundary setbacks.

Council's Heritage Advisor is generally supportive of the revised proposal, subject to the following changes which relate to the fence/gate as visible from the streetscape (Figures 6 and 7):

- *The proposed fence element located within the front western verandah return to be removed;*
- *The proposed double vehicle gates to the western side of the dwelling as shown to the north elevation to be noted as timber pickets;*
- *The proposed double vehicle gates to the western side of the dwelling to be a minimum 25% visually permeable.*

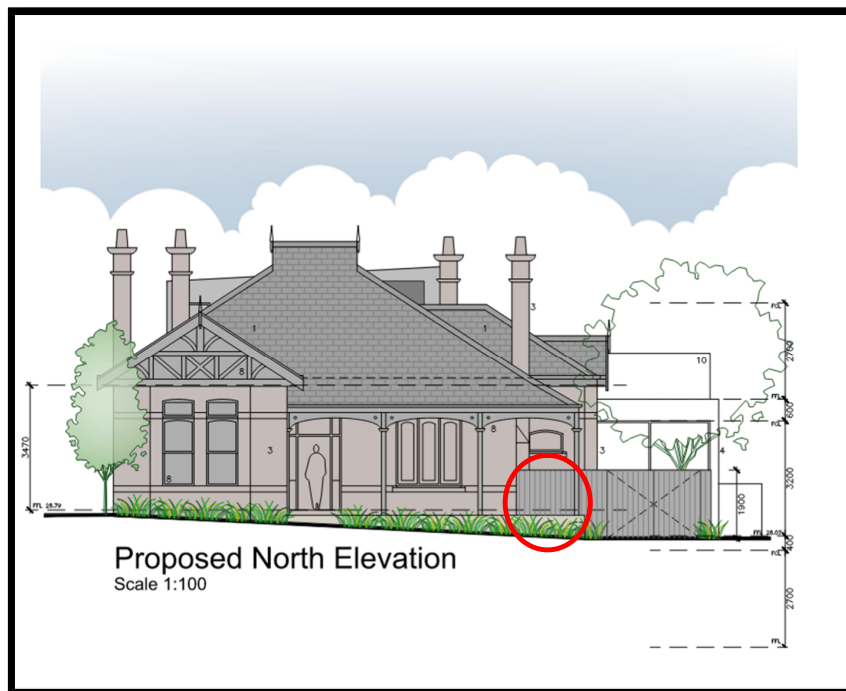


Figure 6: Section of gate to be removed.

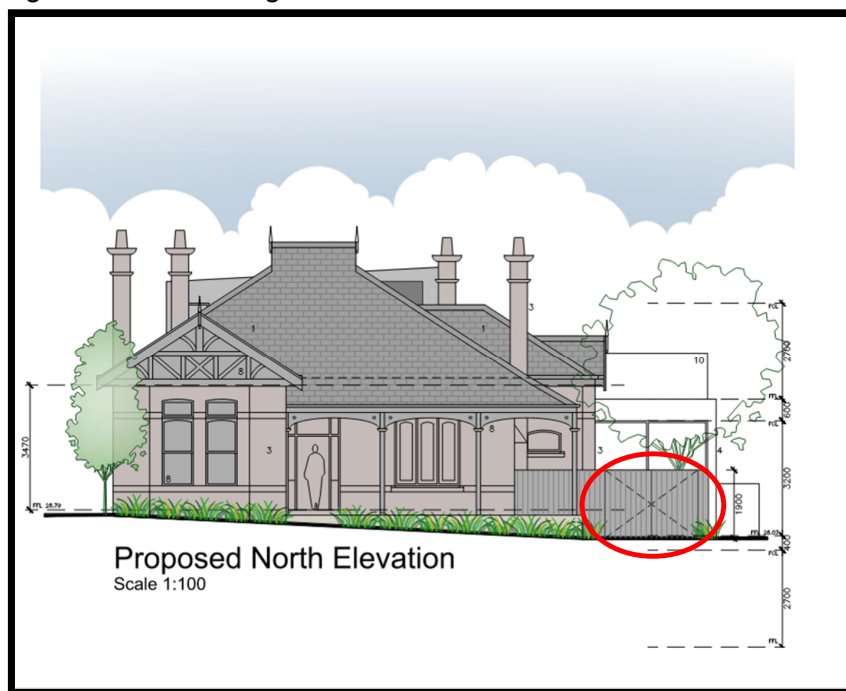


Figure 7: Gates to be timber pickets and minimum 25% visually permeable.

The Heritage Advisor re-iterated that the rear vehicle access must not result in the removal or damage to the bluestone paving of the laneway.

The above changes are supported and will be addressed by permit conditions.

EXTERNAL REFERRALS

The application was not referred externally.

GOVERNANCE ISSUES

The implications of this report have been assessed and are not considered likely to breach or infringe upon the human rights contained in the *Victorian Charter of Human Rights and Responsibilities Act 2006*.

The officers responsible for this report have no general or material conflicts of interest requiring disclosure.

The report to Council and any decision arising of Council will be made available on Council's website and by inspection at the Council Offices in accordance with the requirements in the Local Government Act 2020, Council's Governance Rules and Public Transparency Policy.

CONSIDERATIONS

In assessing this application, consideration has been given to the following:

- The objectives of planning in Victoria as detailed in Section 4 of the *Planning & Environment Act 1987*;
- Section 60 of the *Planning & Environment Act 1987*;
- The relevant provisions and decision guidelines of the Boroondara Planning Scheme including the decision guidelines of Clause 65; and
- Any objections received.

This proposal does not raise any significant adverse social or economic impacts. General social and economic impacts are addressed by the planning policy assessment below.

BOROONDARA PLANNING SCHEME

ZONING & OVERLAYS

Appendix C - Zoning Map

Neighbourhood Residential Zone - Schedule 3 (NRZ3)

Pursuant to Clause 32.09-5 of the Boroondara Planning Scheme, a permit is required to construct or extend one dwelling on:

- A lot of less than 500 square metres (as specified in the schedule to the zone).

As the lot size is more than 500 square metres (919m²), a planning permit is not required for the proposed buildings and works associated with the construction of an extension to the existing dwelling under the provisions of the zone. As such, the proposal is not subject to a ResCode assessment.

Whether or not a planning permit is required for the construction or extension of a dwelling on a lot, a lot must provide the minimum garden area at ground level as set out in the following table:

Clause 32.09-4 Minimum Garden Area Requirement

Minimum Garden Area Requirement			
Lot size	Requirement	Proposed	Assessment
400 - 500m ²	25%	N/A	N/A
501 - 650m ²	30%	N/A	N/A
Above 650m ²	35% (321m ²)	360m ²	✓ Complies

Clause 32.09-9 Maximum Building Height

A building must not be constructed for use as a dwelling or a residential building that:

- Exceeds the maximum building height specified in a schedule to this zone; or
- Contains more than the maximum number of storeys specified in a schedule to this zone.

Mandatory Maximum Building Height			
	Requirement	Proposed	Assessment
Building height requirement	10m	8.6m	✓ Complies
Maximum number of storeys	2	2	✓ Complies

Planner's Comments:

Whilst a permit is not required for the construction of the dwelling under the requirements of the Neighbourhood Residential Zone, the proposed extension to the

existing dwelling is required to demonstrate compliance with the mandatory maximum height requirement for the zone, which is 10.0 metres from natural ground level in this case, given the slope of the land.

The proposal details a maximum height of 8.6 metres from natural ground level and is therefore compliant with the mandatory height limit.

The proposal provides 39% Garden area, in excess of the mandatory minimum requirement of 35%.

Heritage Overlay

The purpose of the Heritage Overlay is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To conserve and enhance heritage places of natural or cultural significance.*
- *To conserve and enhance those elements which contribute to the significance of heritage places.*
- *To ensure that development does not adversely affect the significance of heritage places.*
- *To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.*

Planner's Comments:

The proposal is generally considered to be consistent with the decision guidelines of the Heritage Overlay. The proposal adopts a contemporary design approach that is considered to provide for a satisfactory design response to Council's Heritage Policy in this case due to the slope of the subject site down toward the rear of the site, combined with the limited height of the proposed flat roof form. If the proposal had incorporated a pitched roof form, the dwelling extension would have imposed a more significant built form than that currently proposed resulting in increased visibility.

The proposed dwelling extension presents as a secondary and recessive element to the existing dwelling, which will ensure that the detailing of the existing heritage dwelling remains the prominent feature of the site, when viewed within the Heritage Precinct from the public realm. This approach is supported by Council's Heritage Advisor.

The decision guidelines contained within the Heritage Overlay are considered to be generally aligned with the objectives and policy requirements contained within Clause 22.03 (Heritage Policy). As discussed further (below) in this report, it has been demonstrated that the proposal satisfies the relevant provisions of the Heritage Policy. It is therefore considered that the proposal also satisfies the relevant decision guidelines of the Heritage Overlay and is therefore consistent with the purpose to the Heritage Overlay.

OFFICER ASSESSMENT

PLANNING POLICY FRAMEWORK

The following State policies are relevant to the assessment of the current application:

- Clause 11 - Settlement
- Clause 15 - Built Environment & Heritage
- Clause 16 – Housing
- Clause 18 - Transport
- Clause 19 - Infrastructure

Of relevance to this application, Clause 15.03 Heritage Conservation seeks to 'ensure the conservation of places of heritage significance'. The strategies to implement this objective include the following:

- *Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.*
- *Provide for the protection of natural heritage sites and man-made resources.*
- *Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.*
- *Encourage appropriate development that respects places with identified heritage values.*
- *Retain those elements that contribute to the importance of the heritage place.*
- *Encourage the conservation and restoration of contributory elements of a heritage place.*
- *Ensure an appropriate setting and context for heritage places is maintained or enhanced.*
- *Support adaptive reuse of heritage buildings where their use has become redundant.*

The proposal is considered to be generally consistent with the objectives outlined in the relevant Clauses of the Planning Policy Framework.

LOCAL PLANNING POLICY FRAMEWORK

The following provisions of the Municipal Strategic Statement (MSS) and Local Planning Policy Framework are relevant to the assessment of this application:

- Clause 21.04 (Built Environment and Heritage);
- Clause 22.03 - Heritage Policy

Clause 21.04 - Built Environment and Heritage

Clause 21.04-5 (Heritage Conservation) identifies the following key issues that may impact on the significant contribution that the individual heritage places and heritage precincts provide to Boroondara:

- *Ensuring new works to heritage places are respectful to the heritage significance of the place.*
- *Loss of heritage built fabric and cultural sites from development.*

The objective of Clause 21.04-5 is to identify and protect all individual places, objects and precincts of cultural, aboriginal, urban and landscape significance. This will be achieved through:

- *Conserve and enhance individual heritage places and precincts, and aboriginal and cultural features.*
- *Require development to respect and enhance heritage buildings and precincts.*

Planner's Comments:

The proposed works are to the rear of the existing dwelling. Much of the original dwelling is retained, with demolition limited to the rear flat roof section later addition. The proposed new works are, as noted by Councils Heritage Advisor, separated from the original dwelling by a linking element that provides a clear break between the new and original fabric. The scale and massing of the proposal ensures that the works will not be readily visible to the streetscape.

The proposed addition will preserve the original dwelling and its contribution to the streetscape and heritage character of the precinct.

Clause 22.03 - Heritage Policy

The key general objectives of the Heritage Policy that are relevant to the assessment of this application are as follows:

22.03-2 Objectives

- *To retain and conserve 'contributory' places and fabric in the Heritage Overlay which are visible from the primary street frontage.*
- *To facilitate sympathetic additions, alterations and new buildings to 'contributory' heritage places which are massed, detailed, finished and located to preserve the presentation of the place from the street.*

22.03-3 Policy

The following policies apply when considering planning permit applications under the Heritage Overlay or any application for the amendment of plans.

22.03-3.1 Statements of Significance

The Grace Park and Hawthorn Grove Heritage Precinct is of heritage significance for the following reasons, as relevant to the proposal:

- The place is a concentrated and relatively intact precinct of generally high quality residential buildings of the later Victorian and Federation periods;
- The area is characterised by mature gardens and street trees, filtering the light in the more southern streets, south of Kinkora Road, and giving the area a distinctive shaded character;
- The diagonal house compositions and curving streets in the Grace Park Precinct combine to create an informal and picturesque character; and
- The precinct is visually unified by the shared, curving park based around the former Kew Railway line, that runs through the entire precinct from south to north and reads as a reminder of the precinct's early popularity as a commuter suburb

Planner's Comments:

Chrystobel Crescent is a particularly concentrated intact section of the precinct, with 9 Significant, 31 Contributory and only 2 Non-Contributory dwellings located within the street. The streetscape is generally consistent in regard to frontage widths, front and side setbacks, landscaped setting and recessive upper storeys. In addition, the streetscape is also generally consistent in regard to roof heights, materials (red brick brick and slate/terracotta predominant), and hipped or gabled roofs. Contemporary design additions and flat roof forms are also evident within the precinct.

The proposed rear addition has adopted side setbacks that are commensurate with the existing dwelling and adjoining residences. In conjunction with the slope of the site, this ensures that the proposed addition works will not be readily visible to the streetscape.

While modern in form and the proposed materiality (brick and slate roofing) it is also consistent with the predominant materiality of the surrounding precinct.

22.03-3.3 'Contributory' heritage places

Demolition

The following specific policy requirements are applicable to the assessment of this application:

- *Retain contributory built fabric and not normally allow demolition.*
- *Permit partial demolition of 'contributory' heritage places for the purpose of additions and alterations only if the partial demolition, additions and alterations will not adversely affect the cultural heritage significance of the precinct and in particular ensure that the original built fabric which contributes to the heritage values of the precinct is retained.*
- *Discourage demolition that results in 'facadism' - where only the very front most parts of the heritage place are maintained but the integrity and massing of the place is lost either through demolition or obtrusive additions.*
- *Demolition to remove non-original and non-contributory additions to 'contributory' heritage places is generally supported.*

Planner's Comments:

The proposed demolition is limited to the rear flat roof portion of the dwelling (figure 8). Councils Heritage Advisor has reviewed the proposed extent of demolition and is supportive.



Figure 8 - rear view of subject site (existing flat roof rear addition)

Additions and new buildings

The following specific policy requirements are applicable to the assessment of this application:

Additions and new buildings should:

- *Not alter or obscure fabric that contributes to the cultural heritage significance of a 'contributory' heritage place including changes to the principal visible roof forms or principal façade.*
- *Not unreasonably obscure 'contributory' or 'significant' fabric in the wider precinct.*
- *Make use of materials and surface finishes that are complementary to the contributory fabric of the heritage place.*
- *Encourage the reuse of previously demolished building materials from the heritage place in the design and construction of new additions to buildings.*
- *Use design details which complement the design of the heritage place, (including, but not limited to the type and form of windows, doors, architectural features and verandahs).*
- *Design details of new buildings and works should either be:*
 - *Interpretive, that honestly admit their modernity while relating to the heritage character of their surroundings, or*
 - *A replication of historic forms and detailing.*
- *Through appropriate siting and massing, be located in manner which does not detract from or dominate the heritage place and or detract from heritage values of the precinct. This should be achieved utilising a combination of setbacks and matching the height of the heritage place. This does not apply to commercial buildings. Refer to Figures 1, 2 and 3 of Clause 22.04-3.3 for an example of a sightline and massing of an upper level addition behind the 'contributory' heritage place.*
- *Should be visually recessive and read as a secondary element to the heritage place. Where side setbacks are an important feature in a heritage precinct, ground level additions should have side setbacks that are the same or similar to those of the precinct.*
- *Be located to the rear of the heritage place where possible.*
- *Be sympathetic with heritage fabric of the place and precinct rather than any 'non-contributory' elements of the place.*
- *Vegetation and fences are not considered to be permanent screening and will not be taken into account when determining if a proposed addition is visible from the street.*

Planner's Comments:

The proposed addition is modern in form but with a materiality of brick and slate which provides reference to the original host dwelling and surrounding precinct. The proposed addition (two storey above basement) has been sited to the rear, behind the main ridge

line of the original dwelling to minimise its visibility. The slope of the site (sloping away from the streetscape) has also assisted in reducing the visibility of the proposed addition.

Review of the oblique diagrams and photo montage submitted (Figure 9 and 10) indicate that there will be limited visibility of the proposed addition from the streetscape. As evident from these oblique views, the original dwelling remains the prominent feature to the streetscape, the proposed works will not compromise its contribution to the streetscape.

Review of the surrounding area indicates that there are nearby additions that adopt contemporary design (figure 11) and that this is not atypical within the precinct.

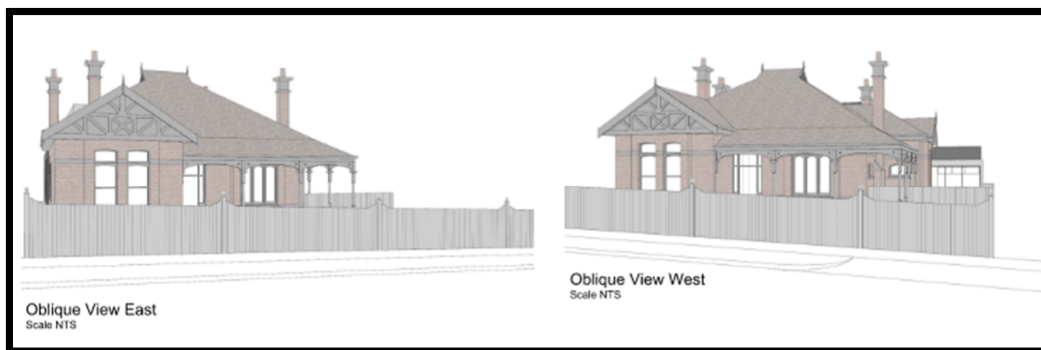


Figure 9 - Oblique views of the proposed addition



Figure 10 - 3D render/photo montage view of the proposed addition

Review of the surrounding precinct indicates that rear 2 storey contemporary additions which are setback behind the principle dwelling are not uncommon



a.



b.



c.



d.



e.

Figure 11 - contemporary rear two storey additions within the precinct.

11a - 33 Chrystobel Crescent

11b - 34 Hawthorn Grove

11c - 36 Hawthorn Grove

11d - 51 Hawthorn Grove

11e - 46 Hawthorn Grove

22.03-3.5 Fences

The following specific policy requirements are applicable to the assessment of this application:

- *Retain original or early fences of 'significant' or 'contributory' heritage places.*
- *Encourage the reconstruction of original fences where historical evidence exists of their form, or encourage the construction of new front fences in sympathy to the period and design of the 'significant' or 'contributory' heritage places. Design should be consistent with The National Trust of Australia (Victoria) Technical Bulletin 8.1 Fences & Gates (1988).*
- *Discourage the construction of high solid fences that block the view of the principal façade (or secondary façade for corner lots) of 'significant' or 'contributory' places from the street.*

Planner's Comments:

As discussed earlier in the report (Heritage Referral) the proposed fence to the western side of the dwelling in its current format is not supported. The proposed fence as visible to the northern elevation (Figures 6, 7 and 12) extends from the boundary and beneath the verandah. The proposed vehicle gates are considered acceptable as they are sufficiently set back from the façade, and due to the slope of the site, allow appreciation and views to the oblique of the western façade. The proposed section of fencing

beneath the verandah however is not supported as this visually disrupts the front façade.



Figure 12. Proposed northern elevation - new fence/gate to western side of dwelling.

Proposed Conditions:

- *The proposed fence element beneath the front western verandah extent to be removed;*
- *The proposed double vehicle gates to the western side of the dwelling as shown to the north elevation to be noted as timber pickets;*
- *The proposed double vehicle gates to the western side of the dwelling to be a minimum 25% visually permeable*

22.03-3.6 Landscape setting

The following specific policy requirements are applicable to the assessment of this application:

- *Retain or restore (where evidence can be found) original hard and soft landscape elements that contribute to the significance of the heritage place.*
- *Consider the heritage values of the place in the design of hard and soft landscape treatments.*

Planner's Comments:

The proposal retains the existing mature front garden which responds positively to the existing established garden setting of the streetscape.

22.03-3.7 Vehicle accommodation, outbuildings and services

The following specific policy requirements are applicable to the assessment of this application:

Vehicle accommodation and other outbuildings and services should not dominate heritage places, in particular:

- *Ensure that vehicle accommodation and other services do not dominate heritage places, by encouraging adoption of the following design guidelines:*
 - *Encouraging the location of new carports, garages and outbuildings to the rear of the main building (excluding verandahs, porches, bay windows or similar projecting features) except in circumstances where the character of the heritage place supports the location of carports, garages and outbuildings to the side of the heritage building behind the main front building line.*

Planner's Comments:

The proposal includes basement car parking accessed from the rear boundary bluestone laneway. The access to the basement via the proposed rear boundary entry is considered in accordance with the Heritage Policy as this will not be visible to the streetscape.

22.03-3.8 Roads and laneways

The following specific policy requirements are applicable to the assessment of this application (delete non-applicable):

- *Ensure works within roads and laneways maintain the heritage significance of the road or laneway through the use of sympathetic materials. Ensure finish surface materials adjacent to roads and laneways maintain the heritage significance of the place.*

Planner's Comments:

Councils Heritage Advisor (see above referral) has advised that while the rear laneway access to the proposed basement is supported these works must not result in the removal or damage to the bluestone paving of the laneway. The plans include a notation to this effect and will also be addressed via condition to the permit as follows:

Proposed Condition:

- Rear vehicle access must not result in removal or damage to the bluestone paving of the laneway.

OBJECTION RESPONSE

Those matters not already addressed in the foregoing report are discussed below:

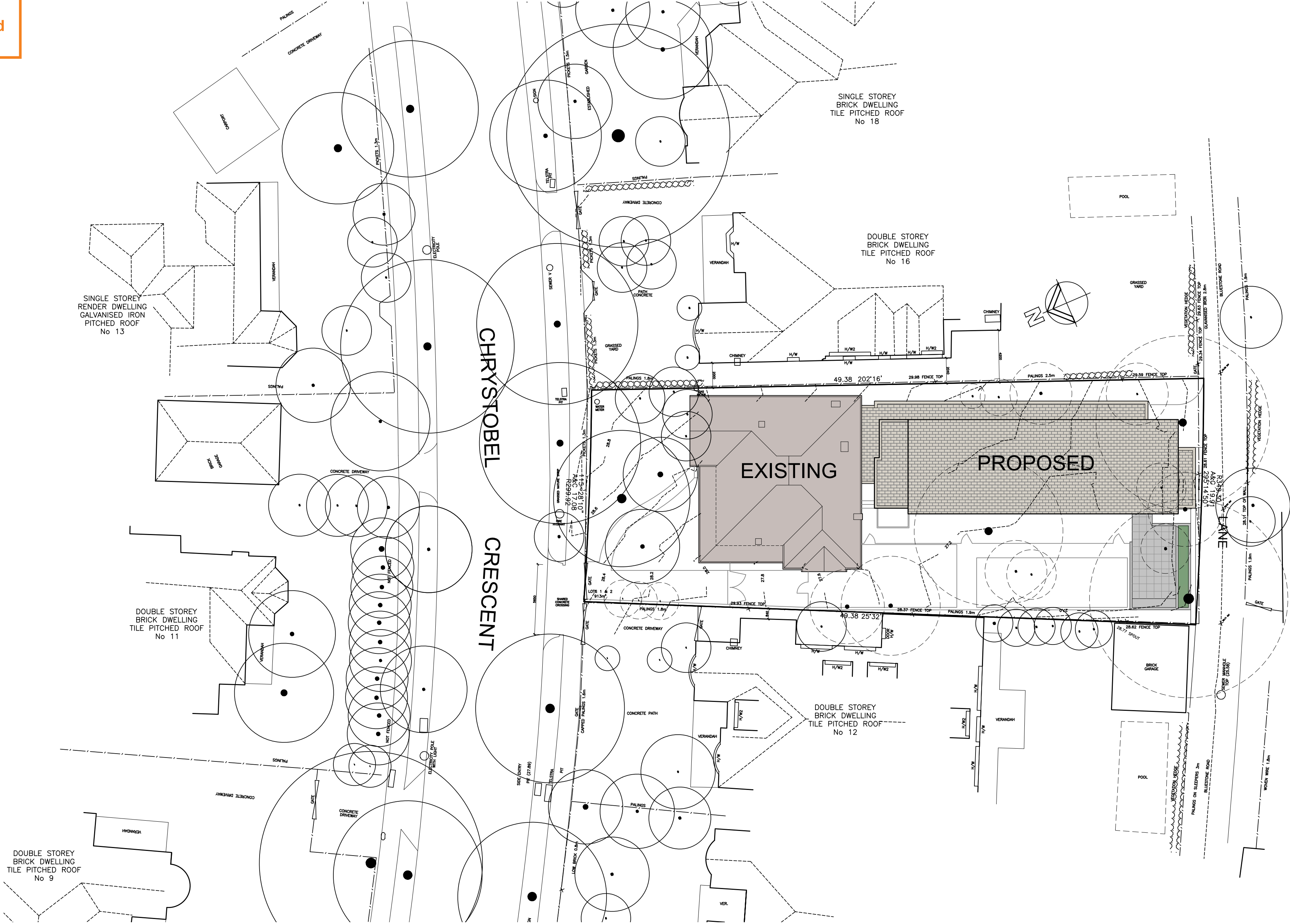
Total Number of Objections Received:	8
Summary of Objection	Officer Comment
Neighbourhood character. The proposal is contrary to the objectives of the Neighbourhood Residential Zone (Schedule 3) and Precinct 26 preferred character statement.	A planning permit was required under the Heritage Overlay. As such, it does not require assessment against the objectives of the Neighbourhood Character Policy (Clause 22.05) or Precinct 26 preferred character statement. Assessment of the proposal is limited to Clause 22.03 (Heritage Policy) as detailed on pages 19-27 of this report.
Beyond the maximum height allowed in the NRZ3.	The applicant provided a feature and level survey by a licensed Land Surveyor in addition to a signed statement outlining that the gradient exceeds 2.5 degrees across 8m. Based on this information the maximum building height allowed under the NRZ3 is 10m. The proposed addition works are shown to elevations as 8.6m from NGL, well within the maximum building height allowed.
Fails to meet the Heritage Policy <ul style="list-style-type: none"> • Adversely impacts the significance of the heritage place; • Lack of consistency with established building type; • Limited side setbacks • Inconsistent with building form, materials, roof form; • Lack of rear garden area; • Inconsistent with height of adjoining dwellings. 	As discussed within the Clause 22.03 (Heritage Policy) assessment of the proposal, the dwelling extension incorporates sufficient setbacks and building heights as well as appropriate building materials which seek to ensure the development does not significantly impact on the Grace Park Precinct in which it is located. Council's Heritage Advisor fully supports the application other than a minor matter with regards to a side fence that will be

	<p>conditioned accordingly.</p> <p>Review of the proposal indicates it satisfactorily responds to the requirements of the Heritage Policy and will not dominate the existing dwelling on the site or detract from the Heritage character of the streetscape.</p> <p>In particular, the approach to provide a link between the host building and the new section of the building addresses Heritage Policy to distinguish between old and new forms.</p> <p>The proposed flat roof form in addition to the site slope further limits the visibility of the proposal from the streetscape. If the proposal had incorporated a pitched roof form, the dwelling extension would have imposed a more significant built form than that currently proposed, and increased visibility to the public realm. In addition, the design response is not atypical within the area, examples of contemporary additions and flat roof forms are present within the precinct.</p> <p>Sightlines, 3D/photo renders and oblique view diagrams demonstrate that the new built form will not significantly impact upon the appreciation of the host dwelling. Many of the policy directives of Council's Heritage Policy requires consideration of the impact of new built form in particular locations from the street. The proposal complies with policy in this regard.</p> <p>With respect to the encroachment into the rear garden, there is not Heritage Policy that seeks to prevent encroachment into the green spine given that the site's contribution is based on streetscape.</p>
Non-compliant with the restrictive	The applicant formally substituted the

<p>covenant</p> <ul style="list-style-type: none"> • Roof materials • Consent from original owners not obtained 	<p>plans, replacing the nail strip cladding with slate roofing and brick wall finish in accordance with the covenant.</p> <p>With regard to approval, as noted previously, given the elapse of time since the agreement noted on the covenant (23/04/1907) it is assumed that the original registered proprietors of the allotment are now deceased. Notwithstanding this, the issuing of a planning permit does not breach this requirement of the restrictive covenant. Whether the owner complies with seeking approval from the original proprietors is a civil, private matter between the owner of the Land and the original proprietors.</p>
<p>Amenity Concerns</p> <ul style="list-style-type: none"> • Visual bulk and inadequate setbacks. • Overshadowing • Overlooking 	<p>Matters pertaining to amenity are not relevant to the current application, as the sole trigger is the Heritage Overlay. As such, provisions of Clause 54 (One Dwelling on a Lot) of the Boroondara Planning Scheme, including overlooking, overshadowing and visual bulk are not applicable to the proposal. Should a Notice of Decision to Grant a Planning Permit be made to issue, the Building permit process will assess relevant amenity impacts.</p> <p>The 2016 Tribunal decision of <i>Bowman v Boroondara</i> (CC [2016] VCAT 301 55 The Boulevard, Hawthorn (2 March 2016)) provided clear guidance on the assessment parameters of an application where the sole permit trigger is the Heritage Overlay in which it is located.</p> <p>In particular, paragraphs 4-6 of the decision of <i>Bowman v Boroondara CC [2016] VCAT 301 (2 March 2016)</i> provide clarity on the relevant decision-making parameters for an application where a permit is required only under the provisions of Clause 43.01</p>

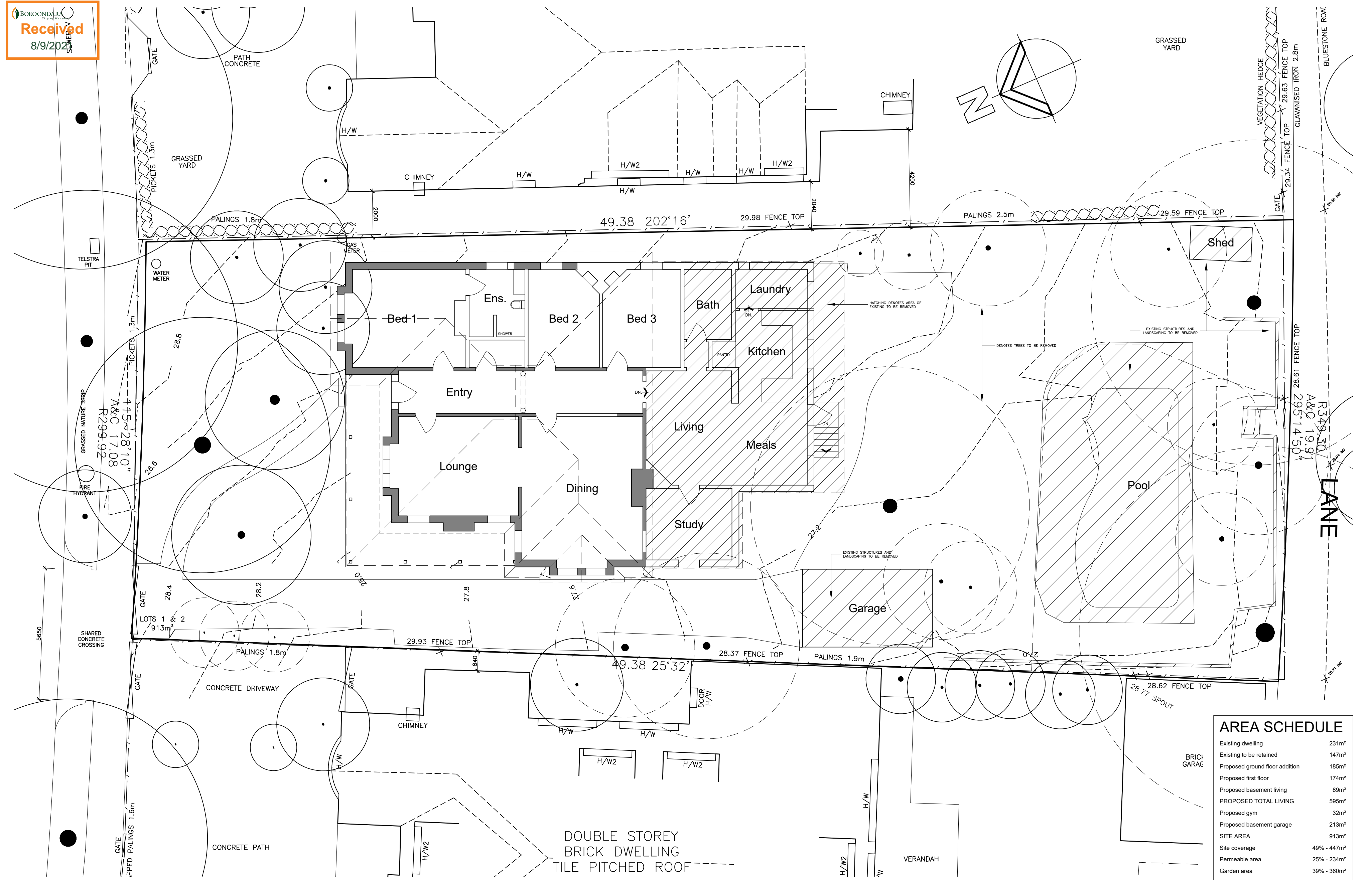
	<p>(Heritage Overlay) as follows:</p> <p>4. <i>It is a well-established principle of planning law, known as the National Trust principle^[1] that a discretion cannot be exercised for a purpose other than that for which it is granted. This means that if the sole reason why a permit is required arises under the Heritage Overlay, then the responsible authority (or the Tribunal upon review) may only exercise its discretion whether to grant a permit based on matters arising under the Heritage Overlay.</i></p> <p>5. <i>General amenity considerations and ResCode issues relating to overshadowing, overlooking and walls and the length of walls on boundaries are not heritage related matters or matters that arise generally for consideration under the Heritage Overlay. Whilst at one time there was a provision in the planning scheme that applications under the Heritage Overlay were required to meet certain ResCode provisions, this aspect of the planning scheme was amended in 2005 by Amendment VC33, which removed the requirement for a Clause 54 assessment for Heritage Overlay applications in a residential zone. On this issue, the Tribunal must apply the planning controls as they exist at the time of making a decision. The Tribunal has no power to change the provisions or outcome of Amendment VC33 and apply ResCode provisions, whatever the applicant's views are about the reasons for the Amendment. This ground is therefore misconceived and lacking in substance.</i></p>
--	--

	<p><i>6. As discussed at the hearing, there are certain ResCode standards that a single dwelling on a single lot, which does not require a planning permit under the zone controls, must meet under Building Regulations. I was advised that the proposal meets these requirements. However, the issue of a building permit under the Building Regulations is not a matter something that I have any control over and is not relevant in this proceeding.</i></p> <p>On this basis it is clear that matters pertaining to amenity and other direct considerations of Clause 54 (ResCode) are not relevant to the current application which requires a permit solely due to the location of the subject property in a heritage overlay.</p>
Loss of quiet enjoyment Noise from pool	Concerns have been raised regarding the potential noise generated from the proposed swimming pool. The consideration of this planning application is confined to the construction of the additional works. The residential use of the dwellings does not require a planning permit and is not a relevant planning consideration for this application. Any future issues of amenity, if they arise, should be pursued as a civil matter.
Insufficient details to plans/Adjacent dwelling is not correctly shown to plans (dwelling verandah is actually closer to boundary than shown to plans).	Council officers have conducted inspections and carried out their own assessment of the proposal against the relevant matters set out in the Boroondara Planning Scheme. Officers are of the view that there is sufficient information available to allow an informed decision to be made in respect to the proposal.



Proposed Site Plan
Scale 1:200

REVISIONS B: 7.9.2021 Section 57A Submission	THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES Pty.Ltd.	REV. B SCALE As Shown		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING Site plan	SHEET T1 1/11	HERBERT & HOWES 48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com



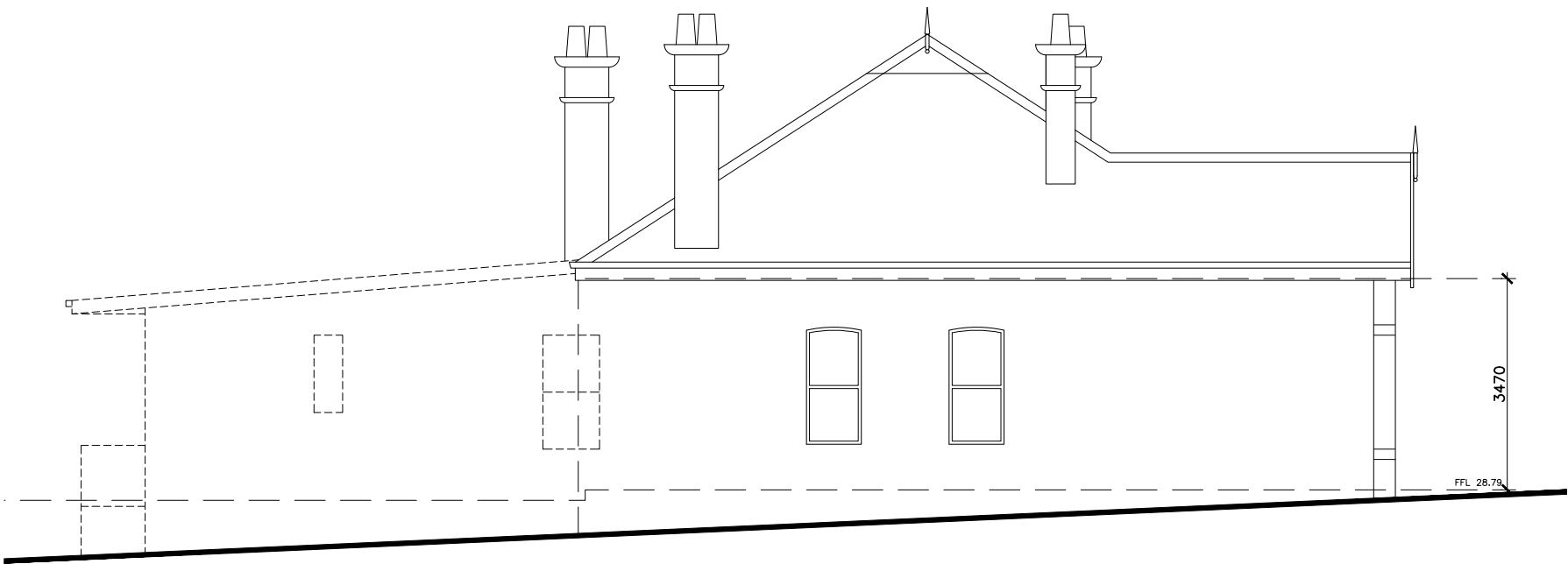
Existing Floor Plan
Scale 1:100



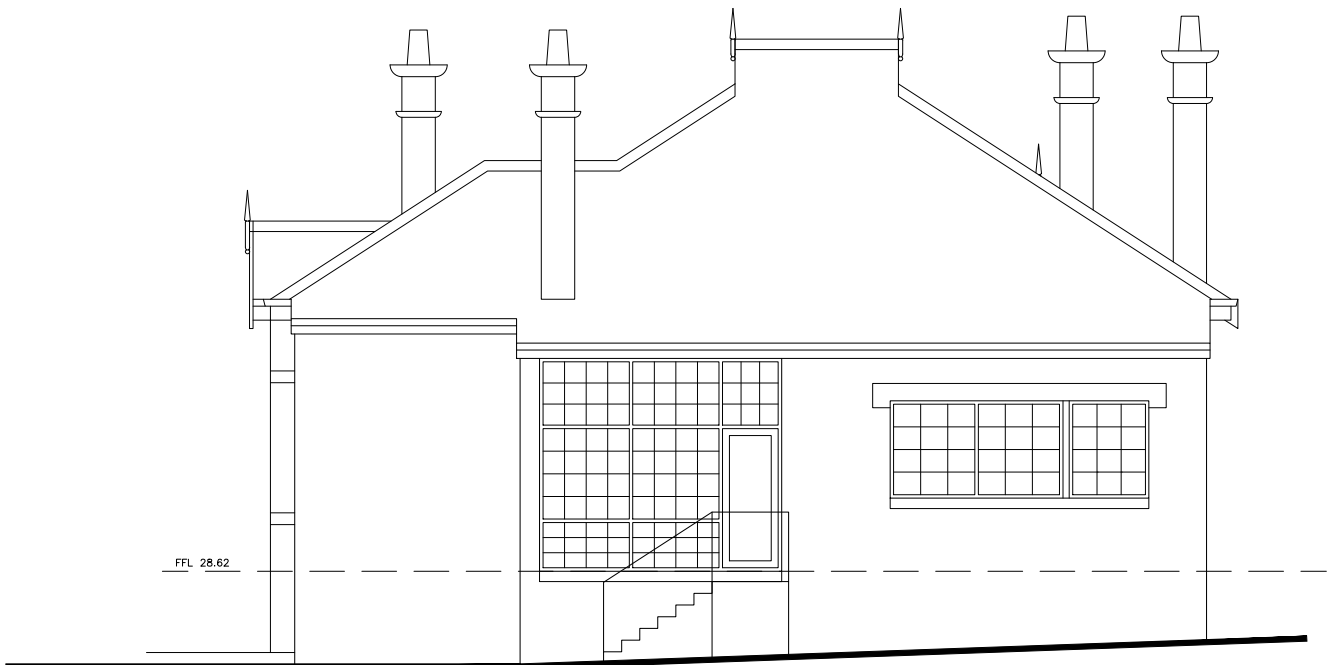
Existing North Elevation
Scale 1:100



Existing West Elevation
Scale 1:100

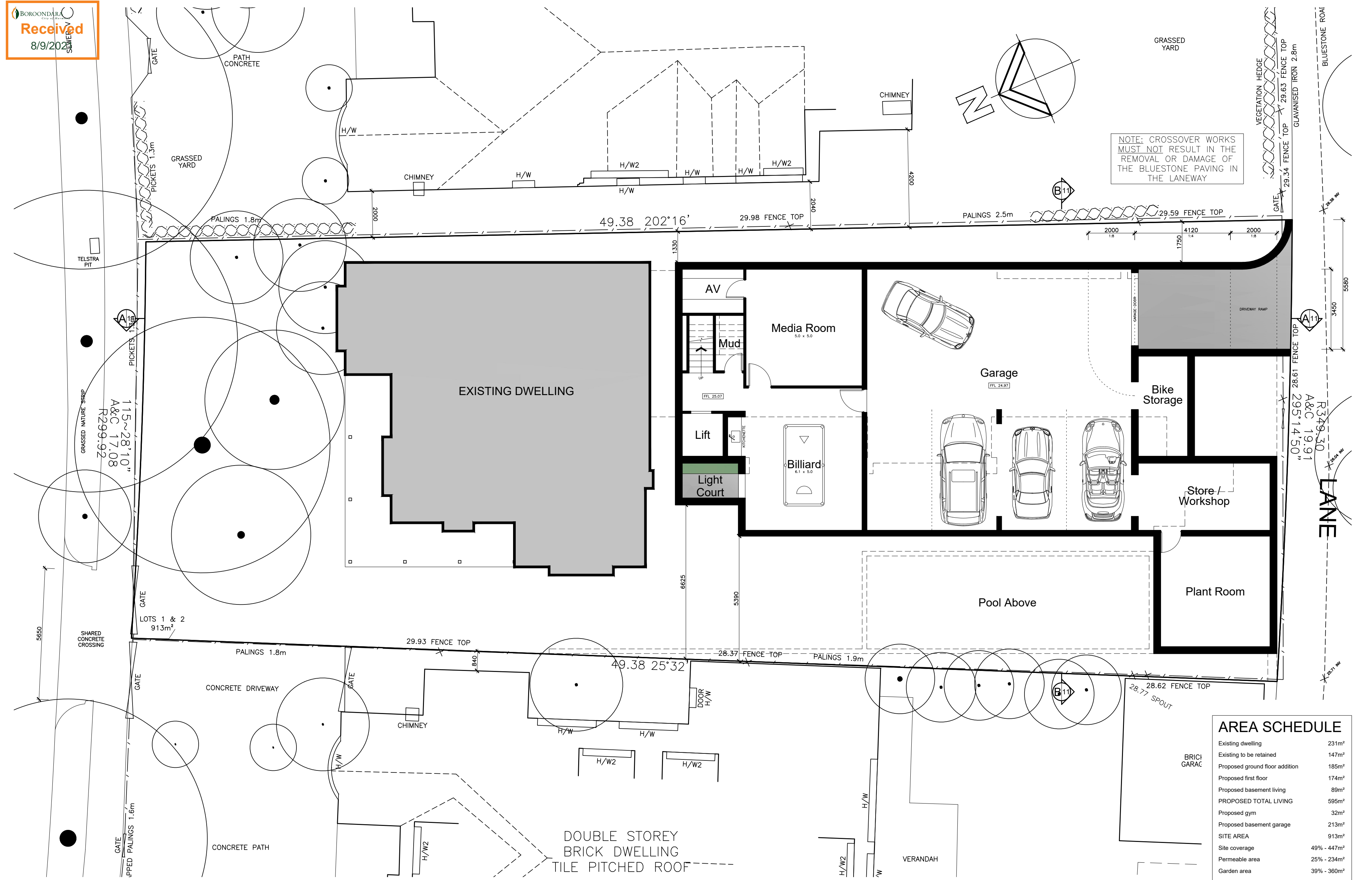


Existing East Elevation
Scale 1:100



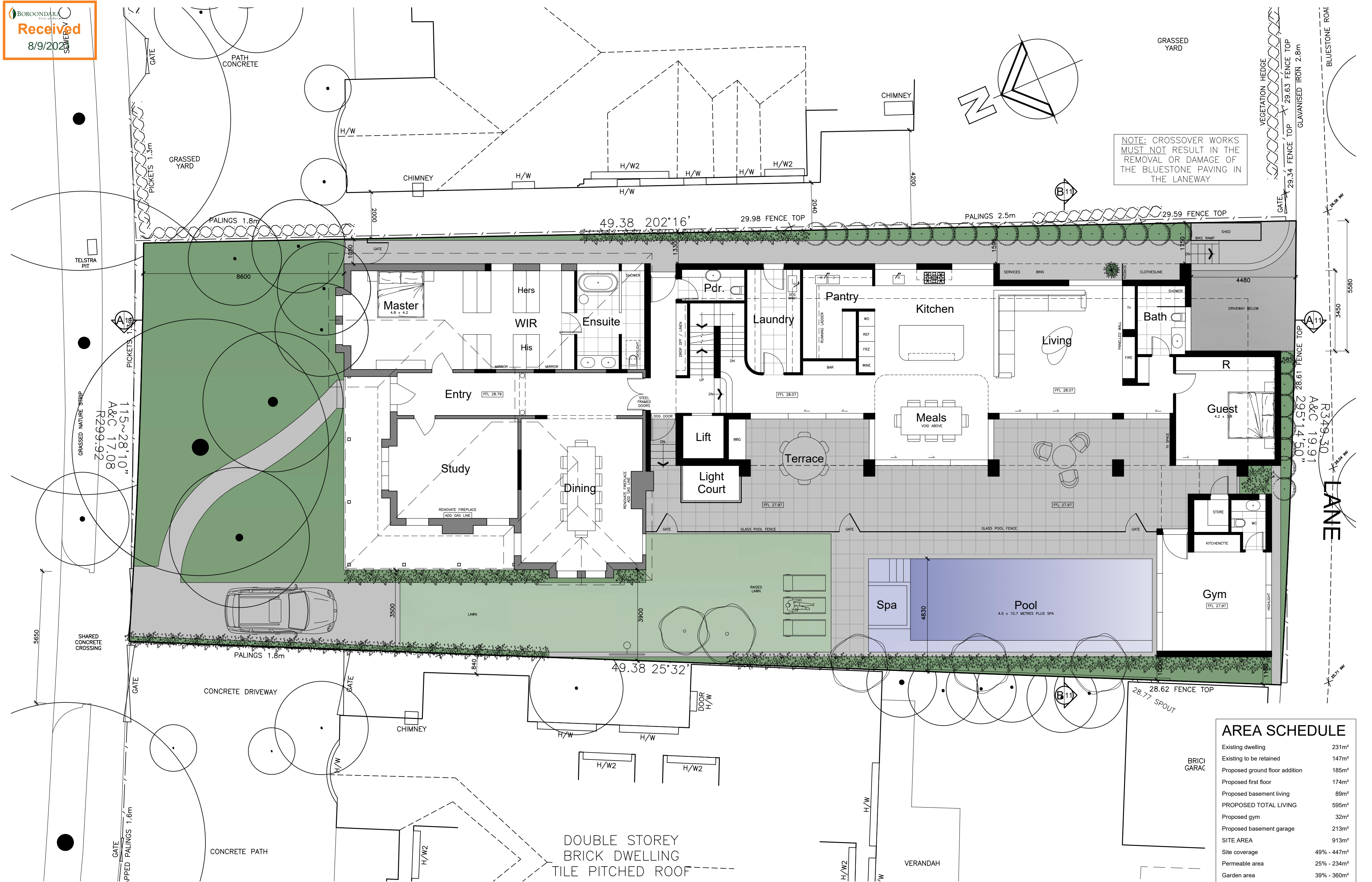
Existing South Elevation
Scale 1:100


REVISIONS		THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES Pty.Ltd.	REV. B		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING Existing elevations	SHEET T3 6/11	HERBERT & HOWES 48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com				
B: 7.9.2021 Section 57A Submission									JOB No. 1071-20	SCALE As Shown		

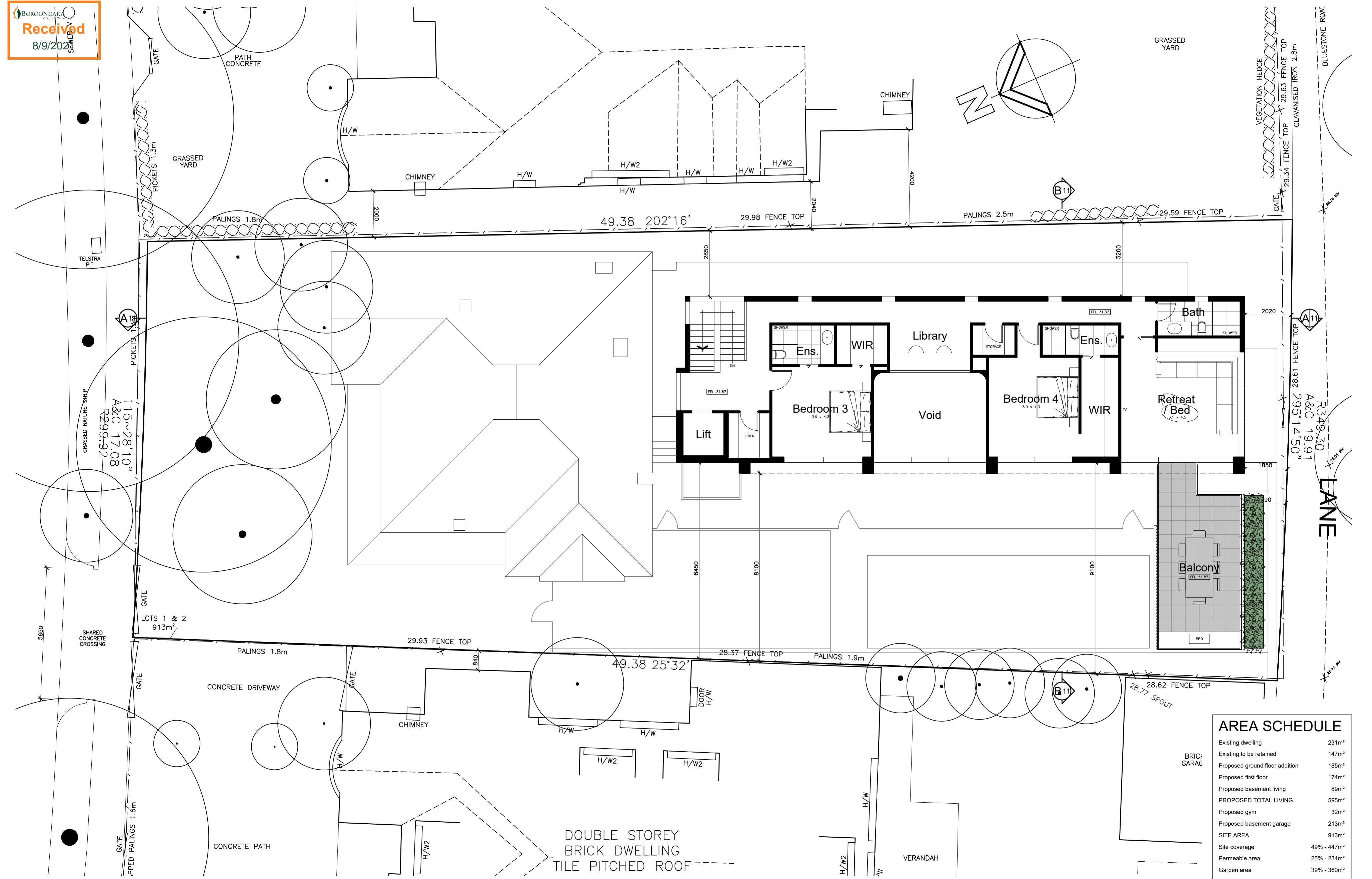


Proposed Basement Floor Plan
Scale 1:100

REVISIONS B: 7.9.2021 Section 57A Submission	<small>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES Pty.Ltd.</small>	REV. B		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING Basement	SHEET	HERBERT & HOWES <small>48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com</small>
						T4	
						4/11	

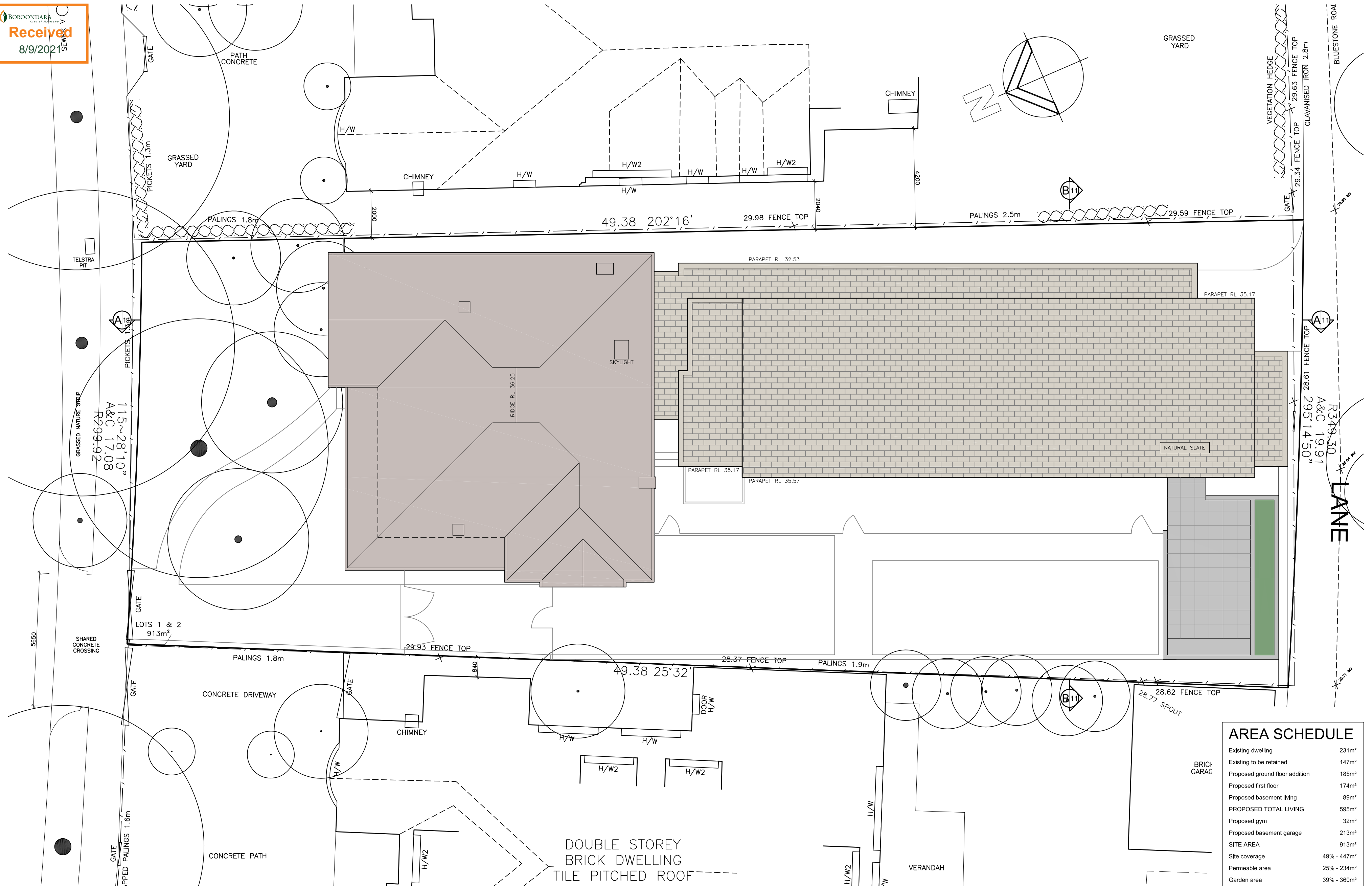


REVISIONS B: 7.9.2021 Section 57A Submission 	THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES (Pty) Ltd.	REV. B 		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING Ground floor	SHEET T5 5/11	HERBERT & HOWES 48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com
JOB No. 1071-20	SCALE As Shown						




Proposed First Floor Plan
Scale 1:100

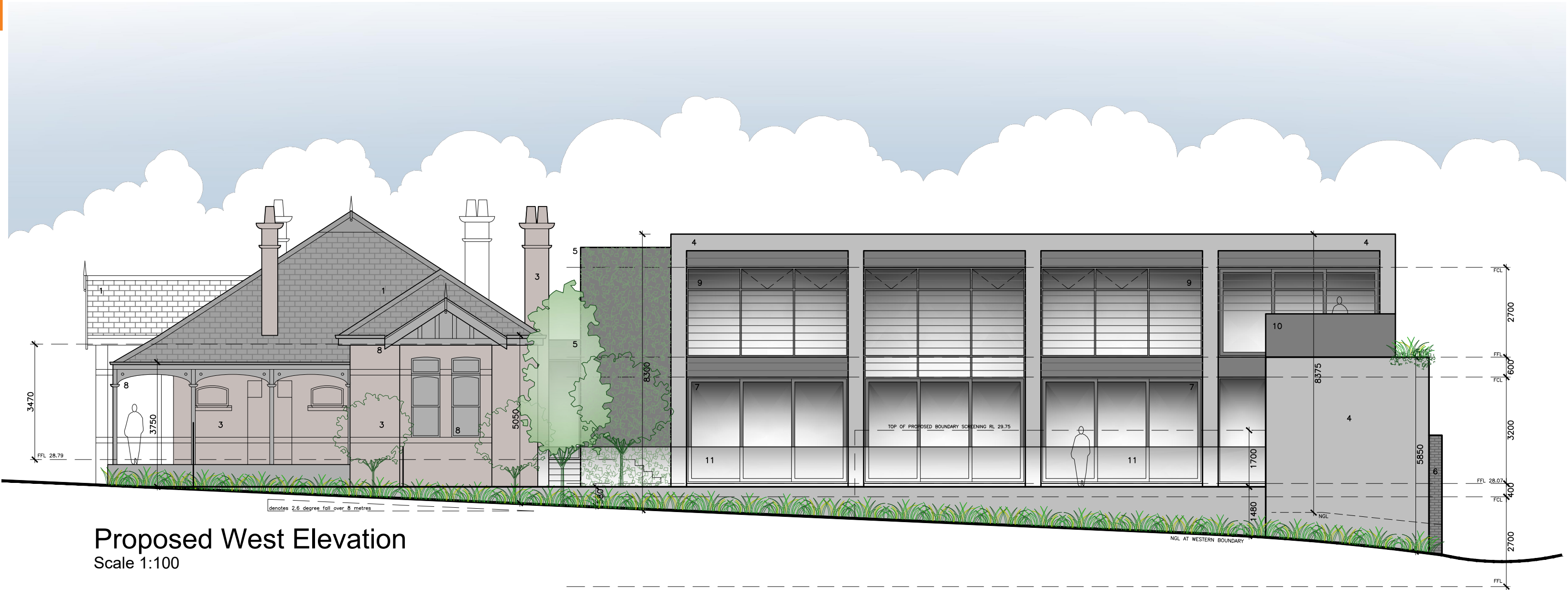
REVISIONS B: 7.9.2021 Section 57A Submission	<small>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES Pty.Ltd.</small>	REV. B SCALE As Shown		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING First floor	SHEET T6 6/11	HERBERT & HOWES <small>48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com</small>
--	---	---	--	---	-------------------------------	-----------------------------------	---



Proposed Roof Plan

Scale 1:100

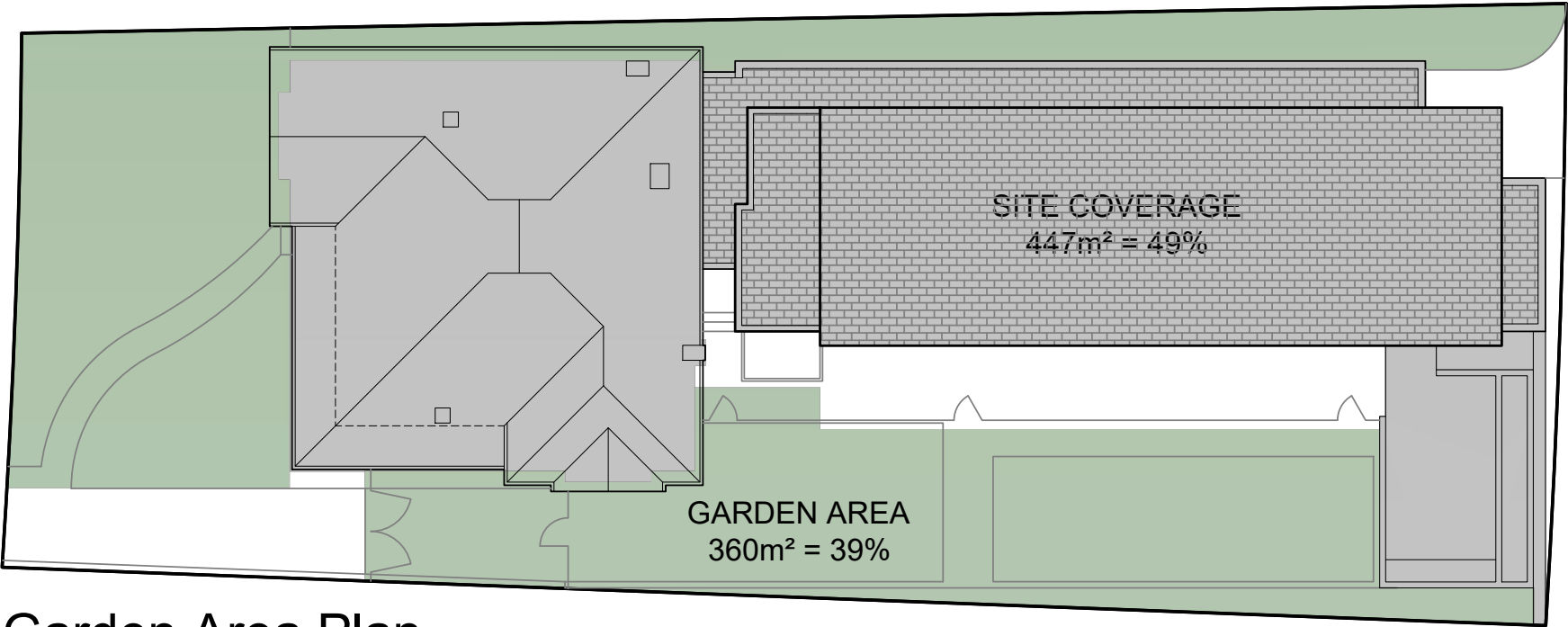
<div>REVISIONS</div> <div>B: 7.9.2021 Section 57A Submission</div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES PTY LTD</div>	<div>REV. B</div>	<div></div>	<div>PROJECT</div> <div>MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122</div>	<div>DRAWING</div> <div>Roof plan</div>	<div>SHEET</div> <div>T7</div> <div>7/11</div>	<div>HERBERT & HOWES</div> <div>48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com</div>
<div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>JOB No.</div> <div>1071-20</div>	<div>SCALE</div> <div>As Shown</div>					



Proposed West Elevation
Scale 1:100

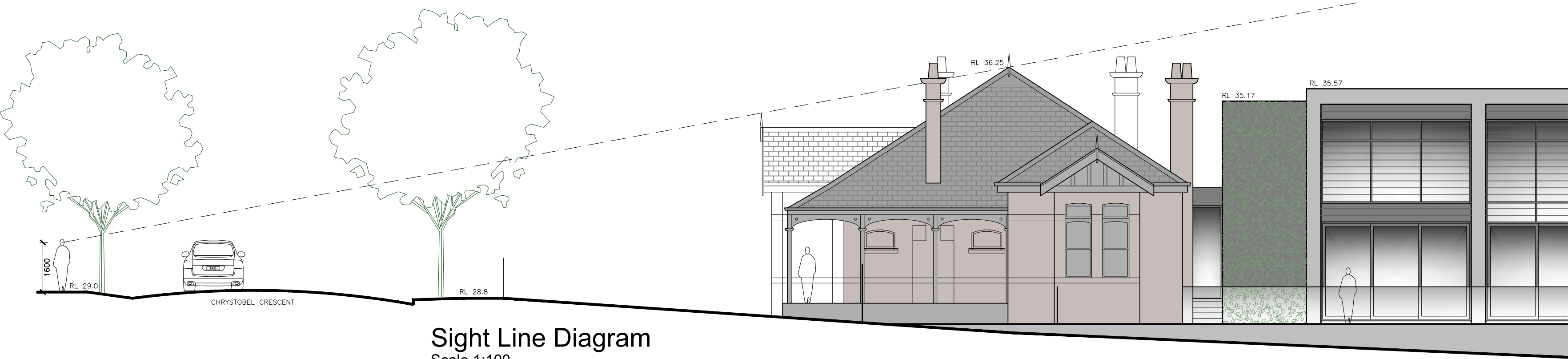


Proposed North Elevation
Scale 1:100



Garden Area Plan
Scale 1:200

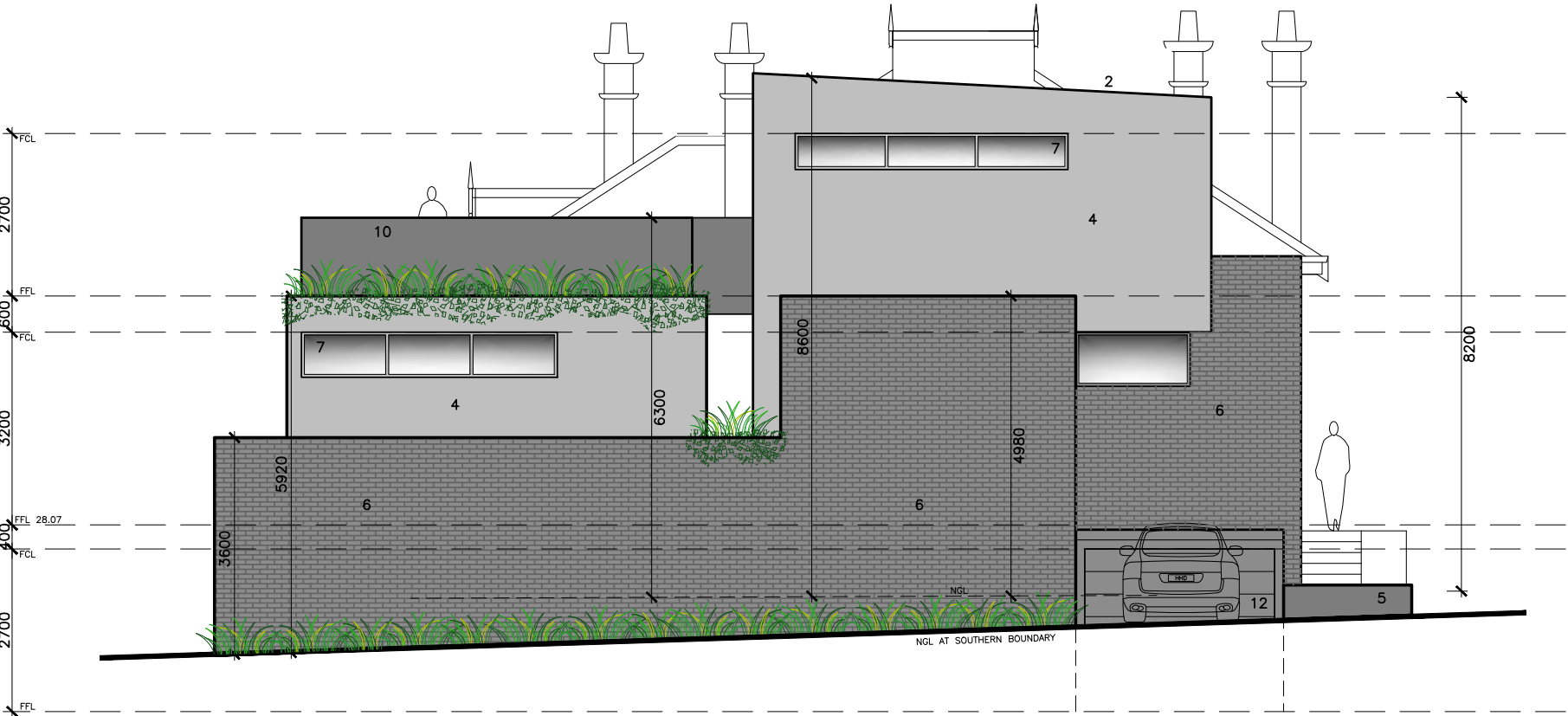
REVISIONS B: 7.9.2021 Section 57A Submission	THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES Pty Ltd.	REV. B SCALE As Shown		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING Elevations	SHEET T8 8/11	HERBERT & HOWES 48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com



Sight Line Diagram
Scale 1:100



Proposed East Elevation
Scale 1:100



Proposed South Elevation
Scale 1:100

FINISHES SCHEDULE			
ITEM	#	MATERIAL	COLOUR
ROOFING	1	Existing natural slate roof	Grey/brown
	2	Natural Slate roof over waterproof membrane	Natural
EXTERNAL WALLS	3	Existing face brickwork	Red
	4	Medium Grey Brickwork Flush Raked with slurry over	medium grey
	5	Dark Grey Brickwork Flush Raked with slurry over	Charcoal
	6	Selected face brickwork	Charcoal
WINDOWS	7	Powder coated AWS aluminium framed	Monument Matt
EXTERNAL TRIM	8	Painted trim, windows and guttering	Grey
	9	Selected external louvres	Black
	10	Powdercoated steel balustrade	Monument Matt
	11	Frameless glass pool fencing	Clear
	12	Garage door	Charcoal

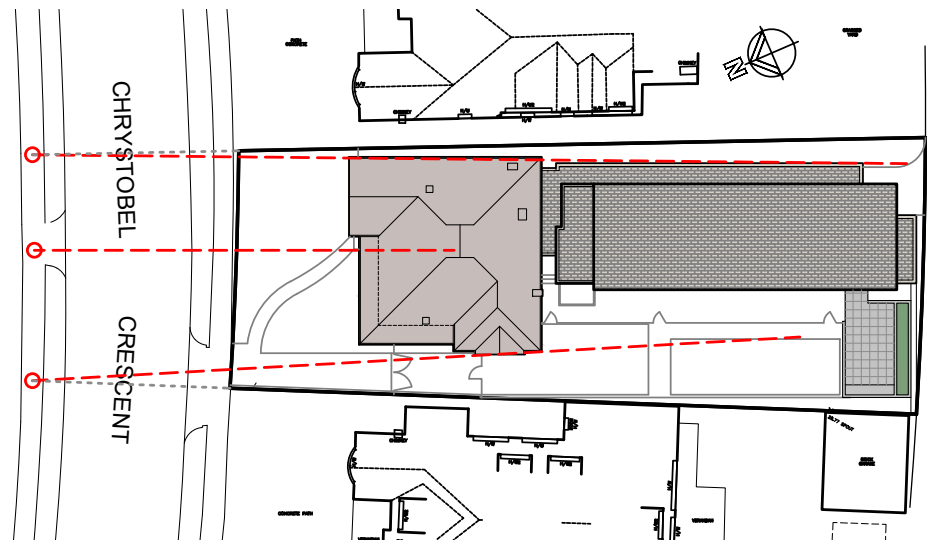
REVISIONS B: 7.9.2021 Section 57A Submission	THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES Pty.Ltd.		REV. B		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING Elevations	SHEET T9 9/11	HERBERT & HOWES 48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com
	JOB No.		SCALE					
	1071-20		As Shown					



Oblique View East
Scale NTS

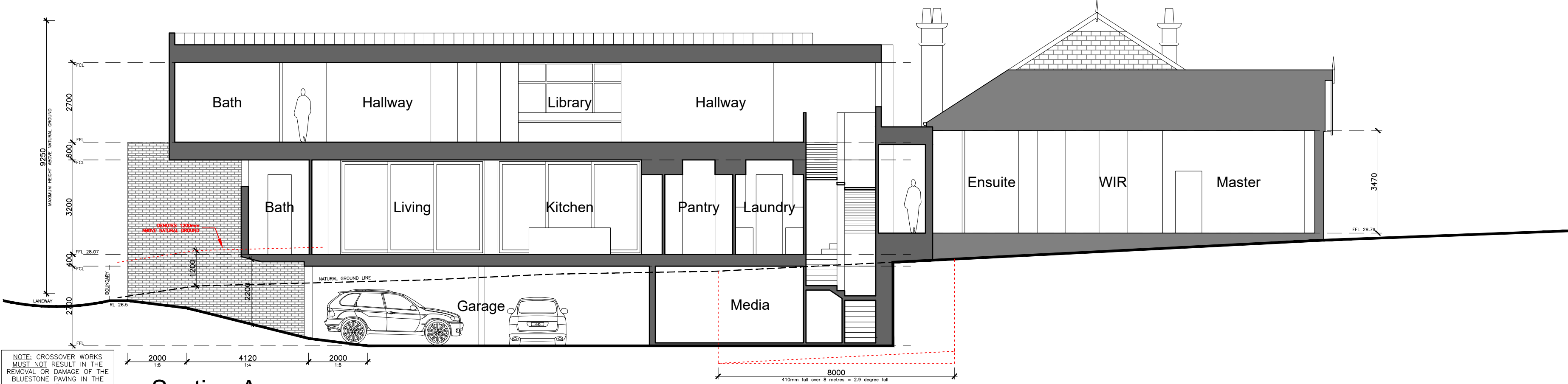


Oblique View West
Scale NTS

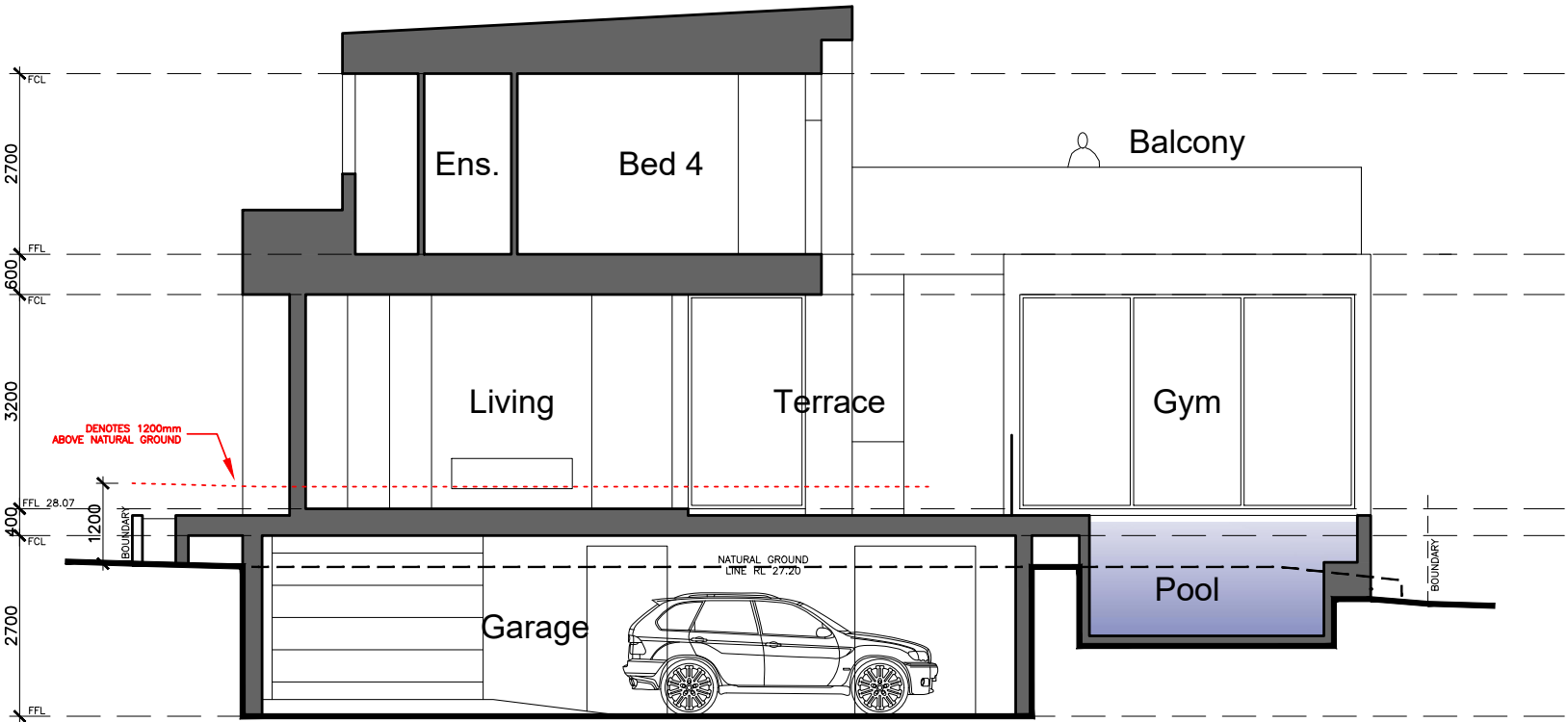


View Square On
Scale NTS

REVISIONS		THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES Pty.Ltd.	REV. B		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING Oblique views	SHEET T10 10/11	HERBERT & HOWES 48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com
B: 7.9.2021 Section 57A Submission								
		JOB No. 1071-20	SCALE As Shown					



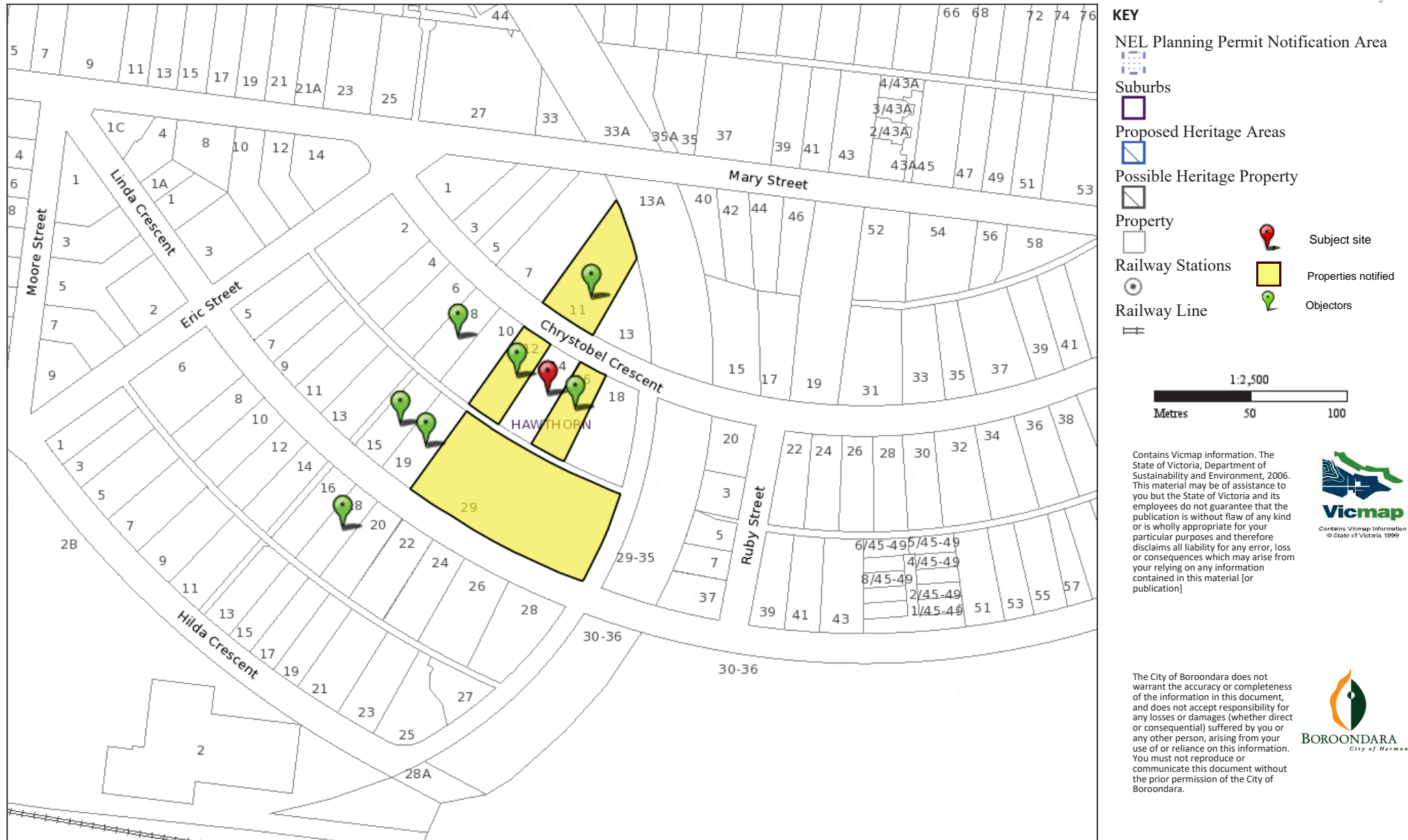
Section A
Scale 1:100



Section B
Scale 1:100

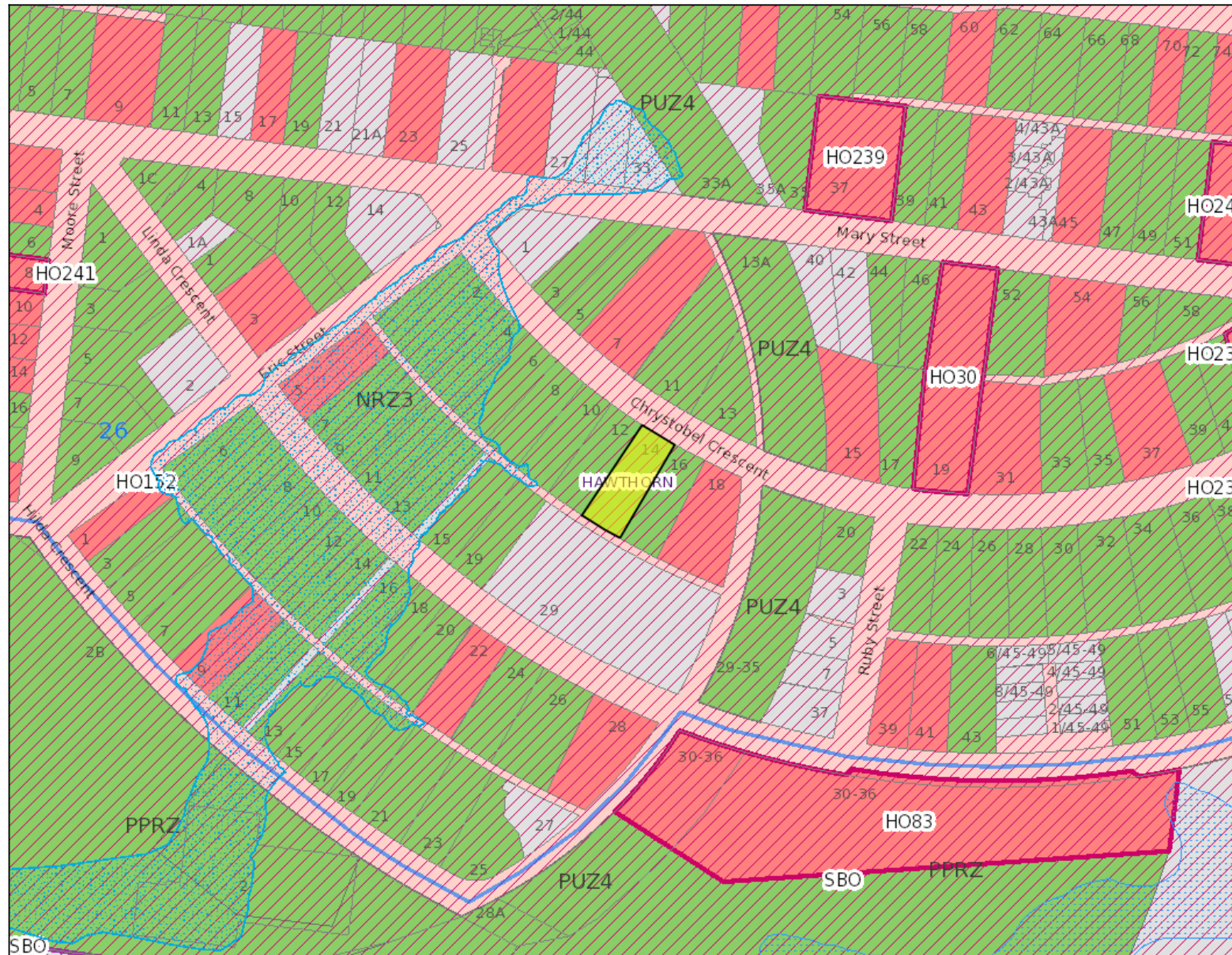
REVISIONS B: 7.9.2021 Section 57A Submission	THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE SOLE PROPERTY OF HERBERT & HOWES Pty.Ltd.	REV. B SCALE As Shown		PROJECT MIRAMS HOUSE 14 Chrystobel Cres Hawthorn Vic 3122	DRAWING Sections	SHEET T11 11/11	HERBERT & HOWES 48 Rochester Road Canterbury 3126 9888 6700 herberthowes.com

Appendix B - Locality Plan - Location of Subject Site, Notified Properties and Objectors



Map Produced: 15 November, 2021 15:45:14

Appendix C - Zoning Plan



Map Produced: 15 November, 2021 15:48:49

KEY

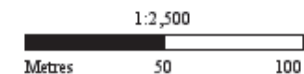
ZONES

- ACZ - Activity Centre
- B1Z - Commercial 1
- B2Z - Commercial 2
- B3Z - Commercial 3
- B4Z - Commercial 4
- B5Z - Commercial 5
- C1Z - Commercial 1
- C2Z - Commercial 2
- CA - Commonwealth Land
- CCZ - Capital City
- CDZ - Comprehensive Development
- DZ - Dockland
- ERZ - Environmental Rural
- FZ - Farming
- GRZ - General Residential
- GWAZ - Green Wedge A
- GWZ - Green Wedge
- IN1Z - Industrial 1
- IN2Z - Industrial 2
- IN3Z - Industrial 3
- LDKZ - Low Density Residential
- MLZ - Mixed Use
- NRZ - Neighbourhood Residential
- PCRZ - Public Conservation & Resource
- PDZ - Priority Development
- PPRZ - Public Park & Recreation
- PUZ1 - Public Use - Service & Utility
- PUZ2 - Public Use - Education
- PUZ3 - Public Use - Health Community
- PUZ4 - Public Use - Transport
- PUZ5 - Public Use - Cemetery/Crematorium
- PUZ6 - Public Use - Local Government
- PUZ7 - Public Use - Other Public Use
- PZ - Port
- R1Z - General Residential
- R2Z - General Residential
- R3Z - General Residential
- RAZ - Rural Activity
- RCZ - Rural Conservation
- RDZ1 - Road - Category 1
- RDZ2 - Road - Category 2
- RGZ - Residential Growth
- RLZ - Rural Living
- RUZ - Rural
- SUZ - Special Use
- TZ - Township
- UFZ - Urban Floodway
- UGZ - Urban Growth

OVERLAYS

- AEO - Airport Environs
- BMO - Built-up Management
- CLPO - City Link Project
- DCPO - Development Contributions Plan
- DDO - Design & Development
- DDOFT - Design & Development Part
- DPO - Development Plan
- EAO - Environmental Audit
- EMO - Erosion Management
- ESD - Environmental Significance
- FD - Floodway
- HO - Heritage
- ICPO - Infrastructure Contributions Plan
- IPD - Incorporated Plan
- LSIO - Land Subject to Inundation
- MAED1 - Melbourne Airport Environs 1
- MAED2 - Melbourne Airport Environs 2
- NCD - Neighbourhood Character
- PD - Parking
- PAD - Public Acquisition
- RD - Road Closure
- RCD - Road Closure
- SBO - Special Building
- SLO - Significant Landscape
- SMD - Salinity Management
- SRO - State Resource
- VPO - Vegetation Protection

Contains Vicmap information. The State of Victoria, Department of Sustainability and Environment, 2006. This material may be of assistance to you but the State of Victoria and its employees do not guarantee that the publication is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or consequences which may arise from your relying on any information contained in this material [or publication]



The City of Boroondara does not warrant the accuracy or completeness of the information in this document, and does not accept responsibility for any losses or damages (whether direct or consequential) suffered by you or any other person, arising from your use of or reliance on this information. You must not reproduce or communicate this document without the prior permission of the City of Boroondara.

