

Studley Park Road Kew Retirement Living Development

Planning Application Report
6 April 2021



W-BTM
WOODS BAGOT

VMCH

OCULUS

It takes a village to create a community...



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Introduction

Project Vision

Project Team



1. Introduction

Project Vision

Studley Park Village captures the Art of Living through a site based approach. It aims to rekindle Creative spirit and Soulful connection to place embedded within its homes, its people and community spaces.

The subject site is unique in its scale, proportion and access. Its expansive street frontage to Studley Park Road and Fernhurst Grove lend itself to a sizeable development. Our proposal seeks to achieve this by way of breaking down the permissible mass into multiple buildings that respond appropriately to the surrounding context, topography and existing landscaping.

Under the guidance of the City of Boroondara planning department there is great opportunity to make a meaningful and long lasting contribution the local urban fabric.

Our contemporary interpretation of the Arts and Craft tradition seeks to further layer this response and make a valuable and enduring contribution to the rich vernacular architecture of Kew. In its architectural expression, the proposal offers amenity to both residents and the wider community whilst paying homage to the heritage buildings on site.



A CONSIDERED HOLISTIC APPROACH

The **heritage character** of one of the few places in Australia that demonstrate Arts and Craft in its built fabric.

The contemporary direction of retirement living that creates **wellness** and a true sense of **community**.

A belief in **landscape** the inherent beauty of the material, the importance of **nature** as inspiration, and the value of **simplicity**, and **utility**.

1. Introduction

Project Team

To design and deliver a project of this calibre it is pivotal that client and design team share the same vision and values. From the outset Woods Bagot, Oculus and the wider team have approached this opportunity in a collaborative manner – we operate in partnership. We value other people's skills and voices and believe that the built environment thrives on diversity and inclusion.

It takes a village....

For a full list of all consultants involved in developing our proposal please refer to the final page of this report.



Developer / Operator

VMCH
www.vmch.com.au



Architecture and Interiors

Woods Bagot
www.woodsbagot.com



Landscape

Oculus
www.oculus.info



Planning

Human Habitats
www.humanhabitats.com.au

2. Project Team Developer and Operator - VMCH

VMCH are a Catholic not-for-profit organisation, providing services to over 9,000 people across Victoria.

Here at VMCH, our services are as diverse as the people we support.

Our values underpin the work we do. As a Catholic not for profit organisation, compassion, respect and inclusion aren't just words to us, they guide us in everything we do.

While we've been around for over a century, we're always moving forward. We stay true to who we are by supporting people and families to live their best lives, providing a place to call home and spaces to learn and grow.

Our professional and compassionate teams are with you on your life journey. We provide a wide range of support from early learning and therapy, specialist education, disability services, affordable homes, residential aged care, retirement living and at-home aged care.

VMCH provides services across six areas.

- Residential Aged Care
- Retirement Living
- At-Home Aged Care
- Disability Services
- Affordable Homes
- Specialist Education

Our People



2,404
staff supported
9,000+
people

Mission

620 volunteers
25% of volunteers donated their time in **5 op shops** and a warehouse


15 pastoral care services supported people across **39 sites** with affordable housing, aged care and disability services

Retirement Living

555 retirement living apartments/units across **17 locations**

459 people living in our affordable homes across **21 locations**

Residential Aged Care



Provided homes for **934** people in aged care across **12 locations**

At-Home Aged Care

Supported **4,666** people across metropolitan Melbourne, regional Victoria and southern NSW with allied health, and in-home and carer support.

Disability Services



Supported **1,582** individuals, including **237** children at St Paul's College and in our Early Learning and Therapy programs

VMCH

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Business Application Report 2018

VMCH has had a major presence in Boroondara for generations – more that 60 years on this site alone. VMCH's history with this site began in 1957 when the Villa Maria Society purchased part of the site and established St Paul's School for the Blind.

The site is a local icon and many residents would recall the large iron gates with the sign "St Paul's School for the Blind". The school continued to provide special education and care for children with disabilities at the site up until 2019 when the school move to a new state-of-the-art facility in Balwyn.

VMCH has also completed projects in Hawthorn (St Joseph's Mew) and Camberwell (Athelstan), both located within the City or Boroondara.

As a proud, local, and not-for-profit organisation, VMCH is seeking to build on this positive legacy of allowing Boroondara residents to live out all stages of their lives with dignity and vitality.

Now the time is right to see this beautiful site come back to life; to restore the historic buildings that have stood for generations, create new places for the community to gather, along with places for people to once again call home.



A. St Joseph's Mews, Hawthorn
B. Athelstan, Camberwell
C. St Paul's School for the blind photo with young girl at front gates

2. Project Team

Architect - Woods Bagot

Woods Bagot places human experience at the centre of their design process to create great homes and communities. The practice is local and global simultaneously. Working from 16 studios in major cities around the world, their approach is intensely specific to each development. The power of place can't be underestimated and what excites Woods Bagot about residential development is working with each location to draw out and build upon the elements that will make it a place people love.

Woods Bagot designers work at the intersection of interiors and architecture with a considered, intelligent approach. The contemporary architectural visioning for Studley Park focuses on liveability and flexible functionality. Woods Bagot pioneers new thinking to integrate buildings with nature, obtain the best views, connect with the area's history, and address considerations of local community, culture, and access to transport.

Recent projects (refer opposite page):

- A. Garden House, Carlton
- B. Assembly Apartments, North Melbourne
- C. Elwood House, Elwood



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2. Project Team Landscape - Oculus

OCULUS is a cross disciplinary design studio committed to connecting people with their environment and each other.

Our projects contribute to the public life of cities and towns, combining high levels of amenity with ecological sustainability. We work across all scales, from the design of parks, gardens, streets, mixed-used precincts and infrastructural landscapes, through to architectural structures and furniture.

We have an open studio approach and encourage all staff to be creatively involved in all stages and processes of the design.

As designers concerned with public space, our work addresses the conditions that contribute to the ongoing success of a place: whether they be social, cultural, economic or environmental. Our work is as much about the way people inhabit space and engage with each other as it is about physical and environmental qualities.

Recent projects (refer opposite page):

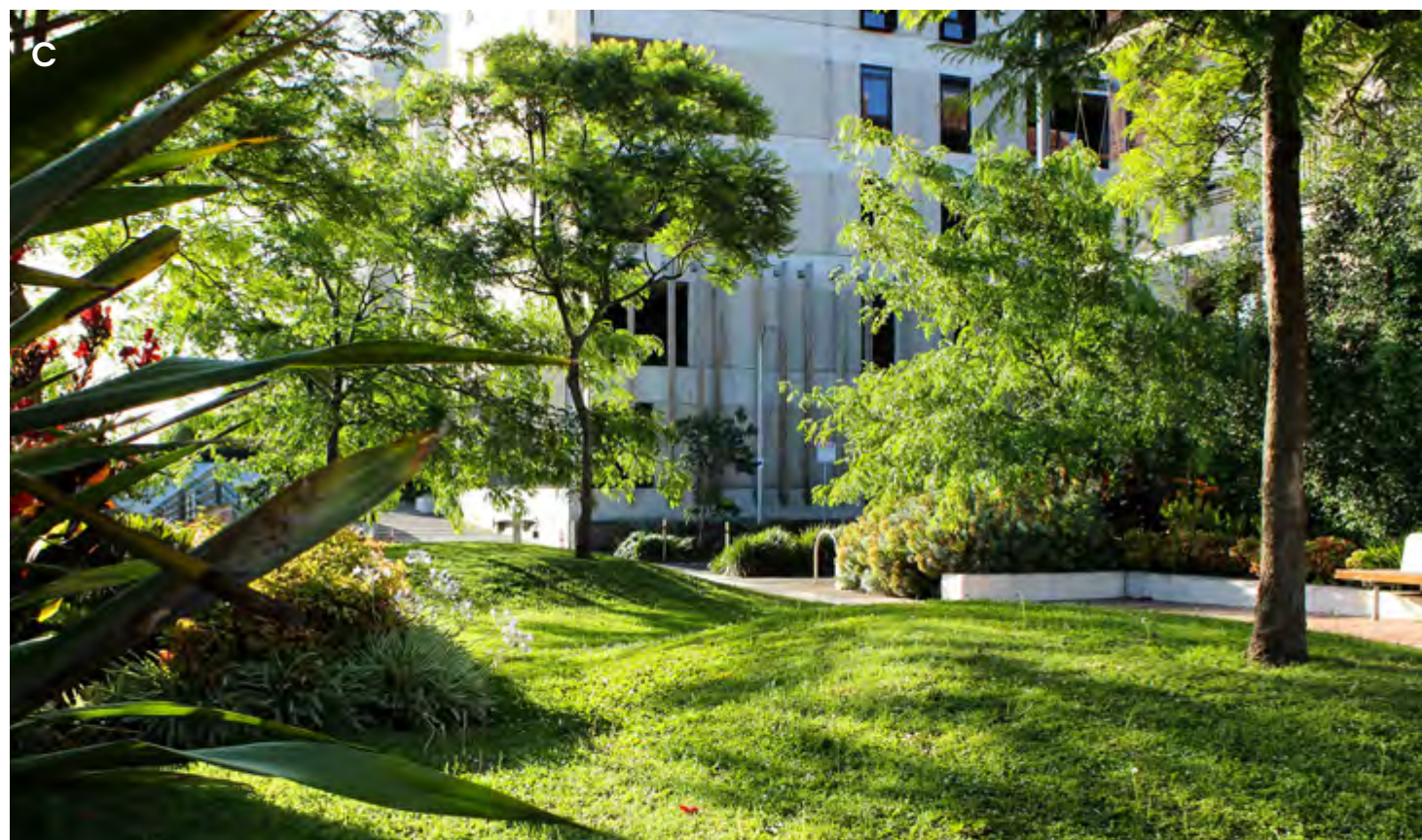
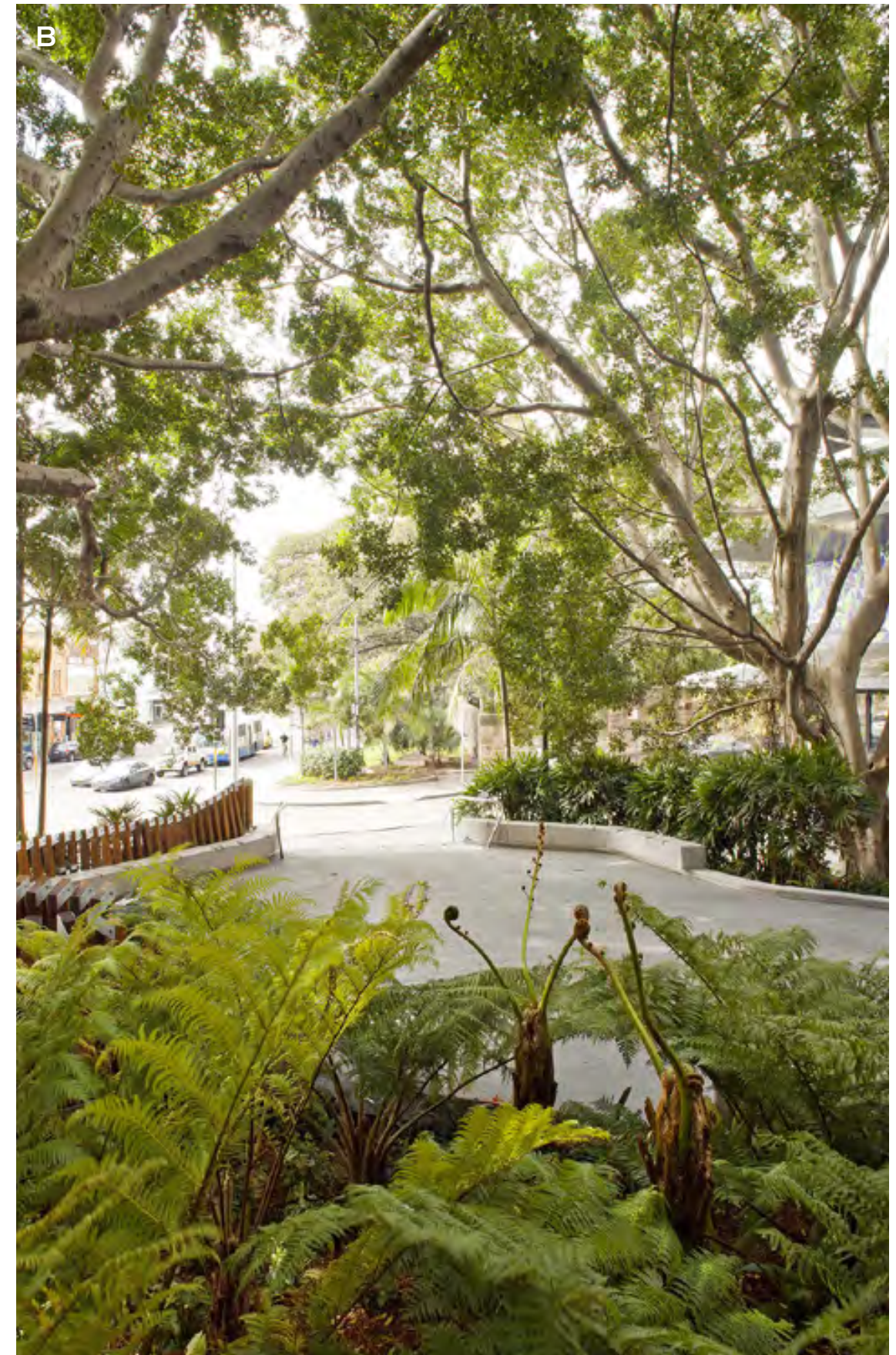
- A. GTV9 Redevelopment
- B. Napier Street Closure
- C. NewActon Precinct

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Site Context / Analysis

Context

Site

3. Context

A Place of White Gums

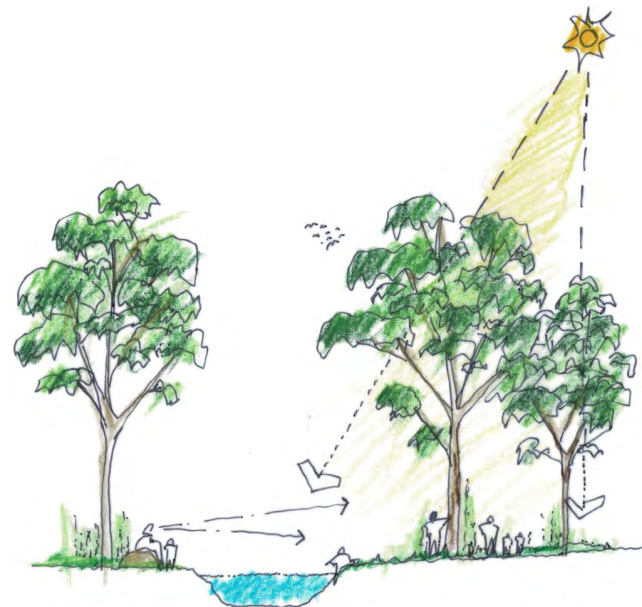
A Place of Community Delight

The proximity to Yarra Bend and the Yarra River, and smooth barked gum trees make the site a unique setting of native landscape that is deeply rooted in indigenous history. There is an onus on all to tread this land with empathy and care.

The white gums of the area provide deep connection to the Wurundjeri tribe, "wurun" meaning the mana gum (*Eucalyptus viminalis*) & "Djeri", the grub found in or near the tree. Robert Hoddle surveyed the area, and gave it the name Boroondara spoken by the Wurundjeri, meaning "where the ground is thickly shaded". A shared understanding of the landscape can lead to a more community minded future development.

"This site has the potential to be known as a place of white gums and shade – a place of community delight".

We acknowledge the Wurundjeri people of the Kulin Nation as the Traditional Owners of the lands on which this proposal is set and we pay our respects to Elders past and present.



A fertile bed

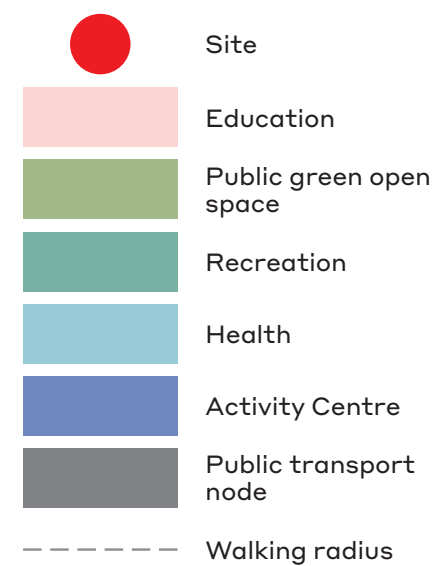
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A unique setting - rooted in the Green Grid, belonging to the Wurundjeri
Not to Scale

3. Context Overview

The site is uniquely located in the heart of Kew. The site benefits from a walk score of 90 and a range of amenities are located within close proximity including Kew Junction, the Yarra River and Studley Park Boathouse, St Vincents Hospital, several public and private golf courses, Kew Recreation Centre, public transport and a number of Melbournes best private schools

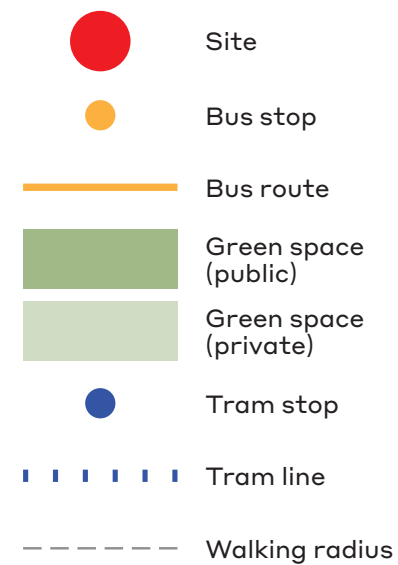


 Context diagram
Not to Scale

3. Context

Open Space and Public Transport

This is an overwhelming green neighbourhood, with generous gardens and tree lined streets. To the North West of the site, Yarra Bend and Studley Park offer expansive green spaces to local residents and the wider community alike. A number of additional green spaces associated to private institutions, such as schools, equally contribute the overall reading of the garden suburb.



Context diagram
Not to Scale

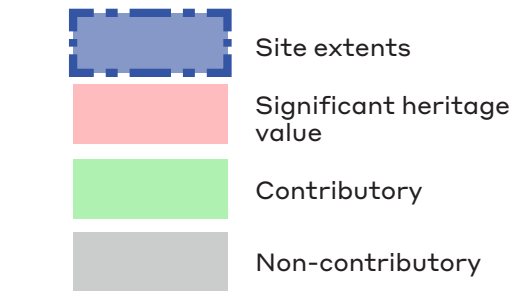
3. Context Heritage

Historically, a number of mansion estates dating back to the late 1800's and early 1900's existed in this part of Kew. Over time, and particularly during the interwar period, the grounds of these large estate were subdivided. Houses were built in quick succession, evidenced by the consistency in architectural style and repetition of detailing.

The Eastern section of the site is included within the Barry Street Precinct, which has a number of buildings with a 'Significant' heritage grading.

The Western section of the site is not included in a Heritage Overlay, although it abuts the Banool Avenue Precinct. The Banool Avenue Precinct has a high concentration of single-storey interwar brick bungalows, in a range of designs. The houses tend to be modest in scale and are generally identified as having 'Contributory' heritage value.

The Precinct's consistent interwar character is strengthened by the lightly planted character of the streetscape, mown nature strips and concrete footpaths, and bluestone kerbs and channelling.



Context diagram showing neighbourhood heritage character
Not to Scale



A. 28 Studley Park Road
B. 2 Studley Avenue
C. 31 Studley Park Road
D. 8 Stawell Street
E. 20 Stawell Street
F. 14 Studley Avenue

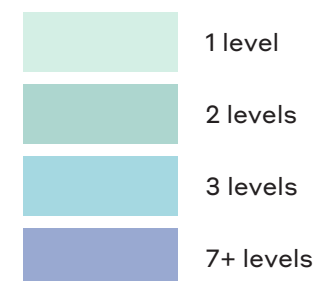
3. Context

Building Heights and Topography

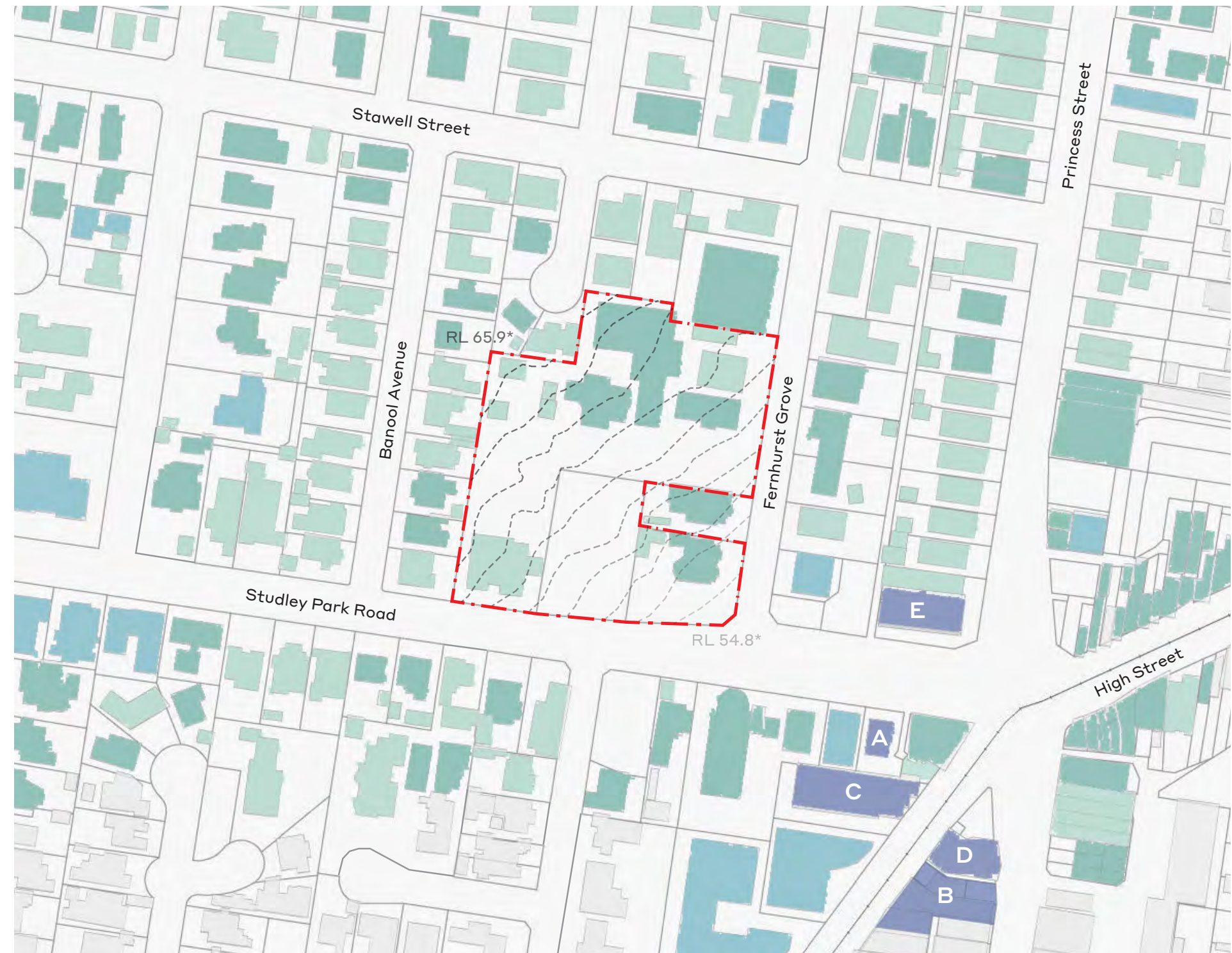
Set within an established area, the context of the site consists mainly of low-scale built form, between one and three storeys.

There is significantly taller built form along Studley Park Road and in Kew Junction, with buildings up to 12 storeys in height. A number of new high density projects are planned for the Junction.

The site is located at a high point and captures extraordinary views in all directions. The site slopes approximately 10 metres from the north-west to the south-east.



*Approximate only. Refer survey.



Context diagram showing building heights and topography on site
Not to Scale

3. Context

Nearby developments



1 Studley Park
Plus Architecture
9 floors
Approved



Denmark (112-114 High Street)
Chandler Architecture
10 floors
Under construction



**Caritas Christi Aged Care Redevelopment
(104 Studley Park Road)**
NA
3 floors
Under construction



89 High Street
NA
8 floors
Built



118 High Street
Rothelowman
13 floors
Built



1 Princess Street
NA
8 floors
Built

4. Site Aerial Views



Aerial of site and immediate context

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4. Site Street Views





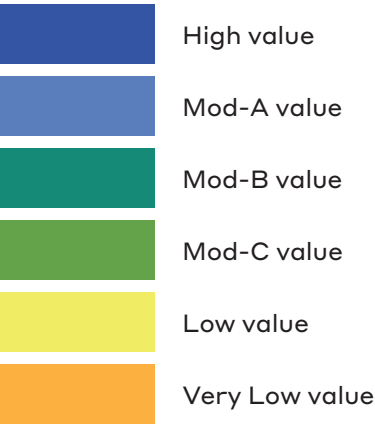
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4. Site Existing Trees

The site is home to a number of existing trees; many of which are protected by local law. An arboriculture report was prepared by Treelogic to identify the current condition of the trees and to subsequently ascertain their 'value'. Through their assessment it was determined that there were 3 trees of high value and a further 9 trees of moderately high value (Mod A). The retention of the existing high value trees, in addition to the retaining of as many further lower value trees as possible, became a key design driver for the site massing and situating of residential buildings.

Retention of trees will be important in shaping the neighbourhood character, creating a strong sense of place and preserving biodiversity values. Trees and green spaces will provide shade and form a refuge, facilitate physical activity and relaxation, produce oxygen and help filter air pollution.



Context diagram showing retention grading of existing trees on site
Not to Scale

Vision and Masterplan

VMCH Vision

Massing

Masterplan

Views in Context

5. VMCH Vision Precinct Design Principles

Prior to any redevelopment proposals commencing, VMCH engaged Urban Design Advocate, Andy Fergus, to establish a series of precinct design principles to underpin the design ethos and outline the vision for the future development of VMCH at the subject site. The 10 Precinct Design Principles were developed in consultation with Council and were developed to guide the approach to siting, circulation and landscape. These are referred to throughout the Woods Bagot vision and masterplan section. As illustrated in the following pages, we have repeatedly drawn on these principles to guide our masterplan approach.

Andy Fergus has remained involved in a review capacity at key milestones throughout the concept, schematic design and town planning stages ensuring the overall design accords with the placemaking framework established through the precinct design principle. Please refer to separate report prepared by Andy Fergus for further detail.



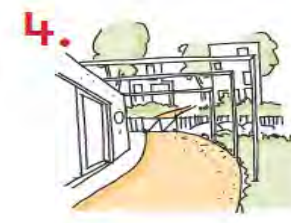
1. A village in a garden setting shaped by existing and new tree planting



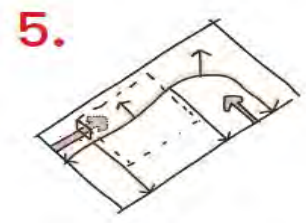
2. Public and communal uses in Whitty House and Esmonde House draw visitors into the site



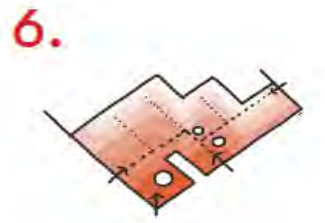
3. Universal access and opportunities for protection from inclement weather promotes walking for a range of abilities



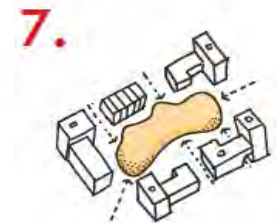
4. A strong sense of arrival for residents and visitors at each street frontage



5. Parking, services and waste collection is consolidated with vehicles kept to the edges to ensure a safe pedestrian precinct



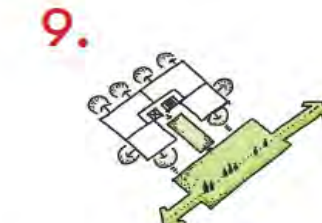
6. Resident safety and security is achieved through a clear hierarchy between public, communal and private areas of the site



7. A central semi-public landscape spine or village heart provides a central organising device for the precinct



8. Public and communal uses are collocated with key pedestrian routes to provide surveillance and activation



9. A range of public, communal and private landscape spaces support social interaction and spiritual wellbeing

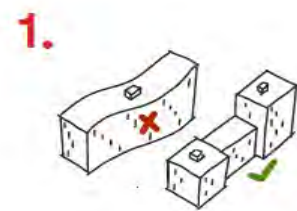


10. Landscape areas provide opportunities for residents to reflect and connect to natural processes

Precinct Design Principles
Andy Fergus

5. VMCH Vision Building Design Principles

At a more detailed scale than the Precinct Principles, the Building Design Principles speak to the vision for high quality architecture, both in response to the surrounding context, significant heritage assets and the look and feel of the future village. The Building Principles emphasise the desire for a neighbourhood environment which is characterised by buildings set within a landscape, with emphasis on architectural diversity, and connection between occupants and the exterior environment.



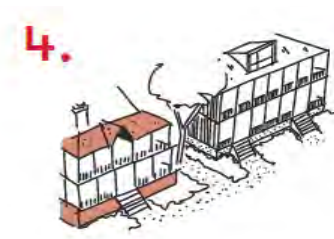
Buildings are broken into smaller components and avoid a monolithic institutional appearance



A diversity of architectural languages within a cohesive vision ensures the appearance of a precinct built over time



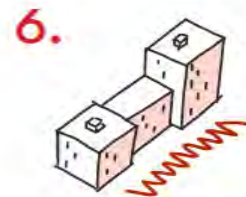
The height of infill buildings responds to the parapet or eave line of adjacent heritage structures with any higher levels set back to minimise prominence



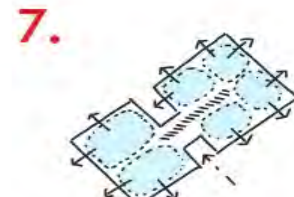
New buildings adjacent to heritage structures draw on the qualities of the site history in a contemporary way



New additions to heritage buildings are visually light and architecturally distinct to maintain the prominence of the primary structure.



Buildings are sited and designed to minimise the acoustic impact of vehicle noise from Studley Park Drive and Kew Junction



Small footprint pavilion buildings are designed to maximise interaction in small scale communities and ensure high dwelling amenity



A 'home' like quality is achieved with generous outdoor areas and a choice of garden entries where possible



Every dwelling should have an exceptional garden outlook, while maintaining a sense of privacy



Dwellings are climate responsive, providing winter sun, shade in the summer months and wind protection

Building Design Principles
Andy Fergus

5. VMCH Vision

The twenty Design Principles can be clustered into six key themes.

Drawing on the precinct and building design principles established by Andy Fergus, six key themes have been synthesized in the Woods Bagot vision and master plan as noted in the table adjacent. These drive our approach to the massing, building scale and the overall vision for a Garden village. The subsequent pages outline the themes in more detail and illustrate how these apply to master plan in an iterative manner.

Degrees of Privacy

2.



Public and communal uses in Whitty House and Esmonde House draw visitors into the site

4.



A strong sense of arrival for residents and visitors at each street frontage

6.



Resident safety and security is achieved through a clear hierarchy between public, communal and private areas of the site

7.



A central semi-public landscape spine or village heart provides a central organising device for the precinct


6.



Buildings are sited and designed to minimise the acoustic impact of vehicle noise from Studley Park Drive and Kew Junction

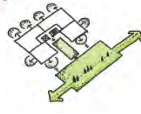
Communal Open Space

8.



Public and communal uses are collocated with key pedestrian routes to provide surveillance and activation


9.



A range of public, communal and private landscape spaces support social interaction and spiritual wellbeing


Hidden Garden

1.




A village in a garden setting shaped by existing and new tree planting

10.




Landscape areas provide opportunities for residents to reflect and connect to natural processes

8.



A 'home' like quality is achieved with generous outdoor areas and a choice of garden entries where possible

9.



Every dwelling should have an exceptional garden outlook, while maintaining a sense of privacy

Access and Entry

3.



Universal access and opportunities for protection from inclement weather promotes walking for a range of abilities

5.



Parking, services and waste collection is consolidated with vehicles kept to the edges to ensure a safe pedestrian precinct

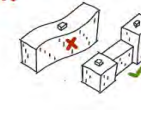
4.



A strong sense of arrival for residents and visitors at each street frontage


Neighbourhood Scale

1.




Buildings are broken into smaller components and avoid a monolithic institutional appearance

2.



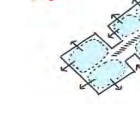
A diversity of architectural languages within a cohesive vision ensures the appearance of a precinct built over time

3.




The height of infill buildings responds to the parapet or eave line of adjacent heritage structures with any higher levels set back to minimise prominence

7.



Small footprint pavilion buildings are designed to maximise interaction in small scale communities and ensure high dwelling amenity


10.



Dwellings are climate responsive, providing winter sun, shade in the summer months and wind protection


Celebrating the Past

4.




New buildings adjacent to heritage structures draw on the qualities of the site history in a contemporary way

5.



New additions to heritage buildings are visually light and architecturally distinct to maintain the prominence of the primary structure.

2.



Public and communal uses in Whitty House and Esmonde House draw visitors into the site



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6. Massing Approach



1. Site

- Relatively large site with varying topography
- Existing significant heritage buildings and trees



2. Potential maximum building envelope

- Planning Scheme does not identify a mandatory maximum building height for a Retirement Village use so a site responsive approach is required
- Preferred Character Objective for the GRZ4 zone is to 'allow for development to occur at a greater height and density than the surrounding area without detrimentally impacting on the preferred character of the precinct'
- The significant land area of the site and the preferred character objective for the zone allow for buildings of a greater height and density than those in the surrounding area



3. A series of building forms

- Generous setback to neighbouring context
- Retention of existing significant trees
- New buildings to utilise the footprint of existing buildings and car park
- Maintain low-rise condition along Fernhurst Grove
- A series of smaller building footprints as opposed to a single large mass



4. Articulation of building massing

- Articulation in plan to define residences as a series of 'pavilions'
- Variation in massing height, responding to topography and adjacent neighbours
- Tonal colour variation to create finer grain scale and individual expression



5. Mansard roof form massing

- Mansard roof form echoes neighbouring building form, creating a series of 'mansionettes'
- Reducing scale and massing of form
- Assists with greater daylight penetration



6. A 'village' and a 'soulful community'

- Creation of a landscape setting
- Scale and materiality borne from its neighbouring residences, drawing inspiration from the Arts & Crafts Movement
- Low-scale built forms respectfully integrate with existing heritage buildings

6. Massing The Village



Site coverage: 38%
Garden area: 54%
Deep soil: 20%



New residential
buildings: 4
Apartments: 108
1Bed+: 8 (8%)
2Bed: 29 (27%)
2Bed+: 36 (33%)
3Bed: 35 (32%)



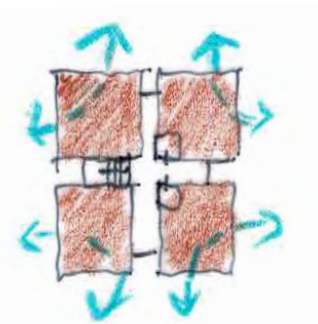
Car Parks (total): 201
Residents: 178
Staff: 8
Visitors: 15

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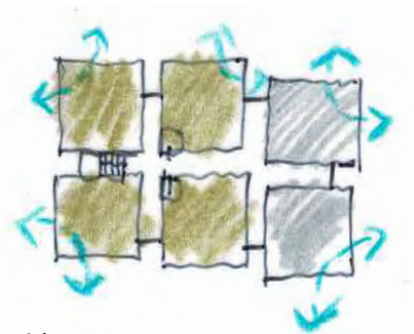


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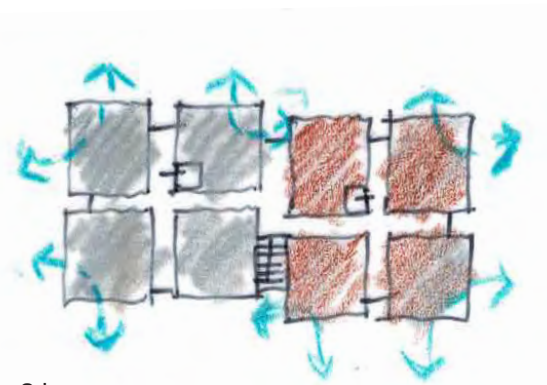
6. Massing Building Scale



4 homes



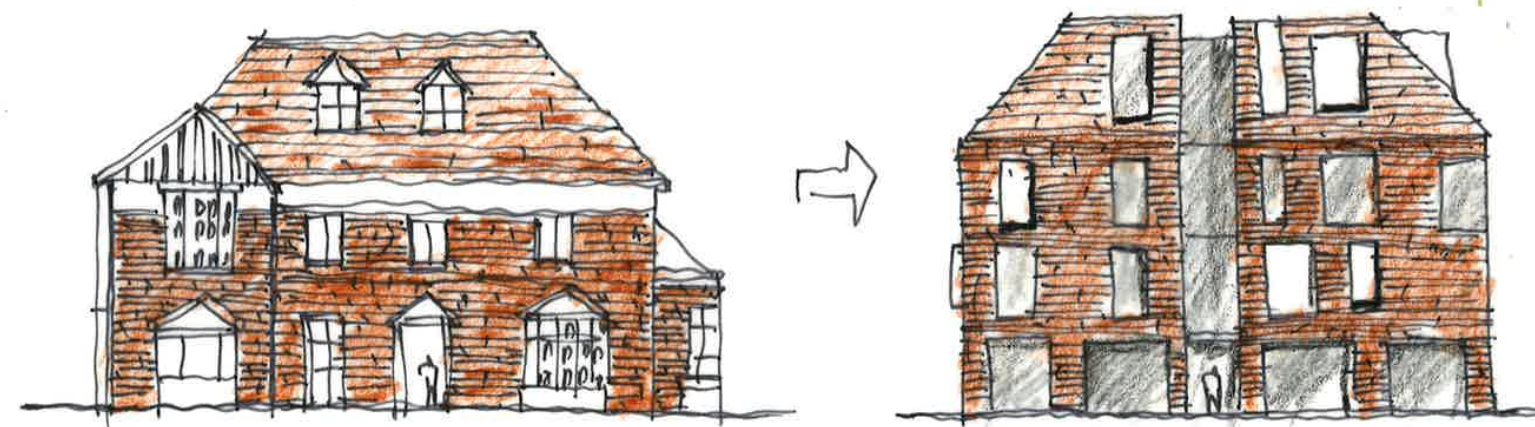
6 homes



8 homes

Plan Diagrams

Overall building footprints composed as a series of smaller modules; providing a finer grain, an individualised expression, and promoting day-light and cross-ventilation



Contextualising form and materials

Drawing on the inherent values of the arts and craft movement, our buildings seek to be in conversation with the existing neighbouring context. The use of authentic and time-tested materials, such as brickwork, as well references to the mansard roof form, dormer and bay windows ensure a complementary dialogue between new and old.

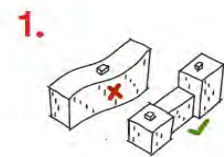


Diagram illustrating relationship to neighbouring context and daylight penetration

Rooflines are moulded to respond to sensitive interfaces

7. Masterplan Neighbourhood Scale

Our buildings are born from the residential context in which they will reside and respectfully respond to form and scale.



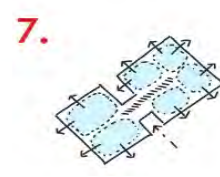
Buildings are broken into smaller components and avoid a monolithic institutional appearance



A diversity of architectural languages within a cohesive vision ensures the appearance of a precinct built over time



The height of infill buildings responds to the parapet or eave line of adjacent heritage structures with any higher levels set back to minimise prominence



Small footprint pavilion buildings are designed to maximise interaction in small scale communities and ensure high dwelling amenity



Dwellings are climate responsive, providing winter sun, shade in the summer months and wind protection

WOODS BAGOT

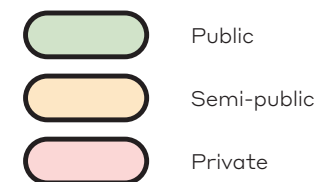


Masterplan Diagram
Not to Scale

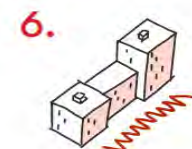
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7. Masterplan Degrees of Privacy

Our community needs to feel safe and protected as well as connected.



Public and communal uses in Whitty House and Esmonde House draw visitors into the site



Buildings are sited and designed to minimise the acoustic impact of vehicle noise from Studley Park Drive and Kew Junction

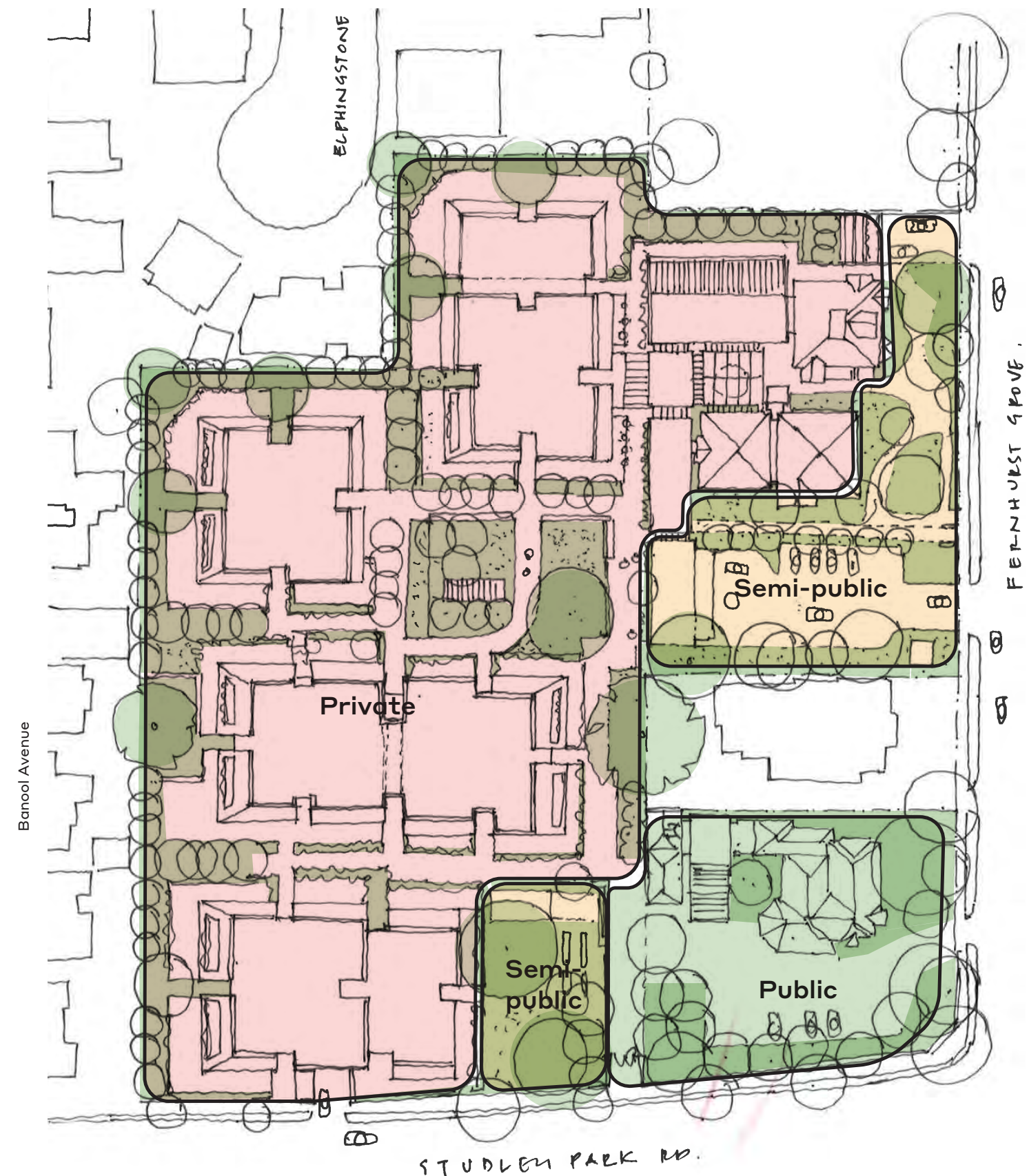


Resident safety and security is achieved through a clear hierarchy between public, communal and private areas of the site



A central semi-public landscape spine or village heart provides a central organising device for the precinct

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Masterplan Diagram
Not to Scale

Planning Application Report / 37

7. Masterplan Communal Open Space

Clear moments of openness and space to encourage the community to thrive.

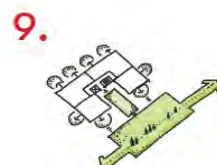


Curation of open space

Early concept sketch:
Legibility of building form

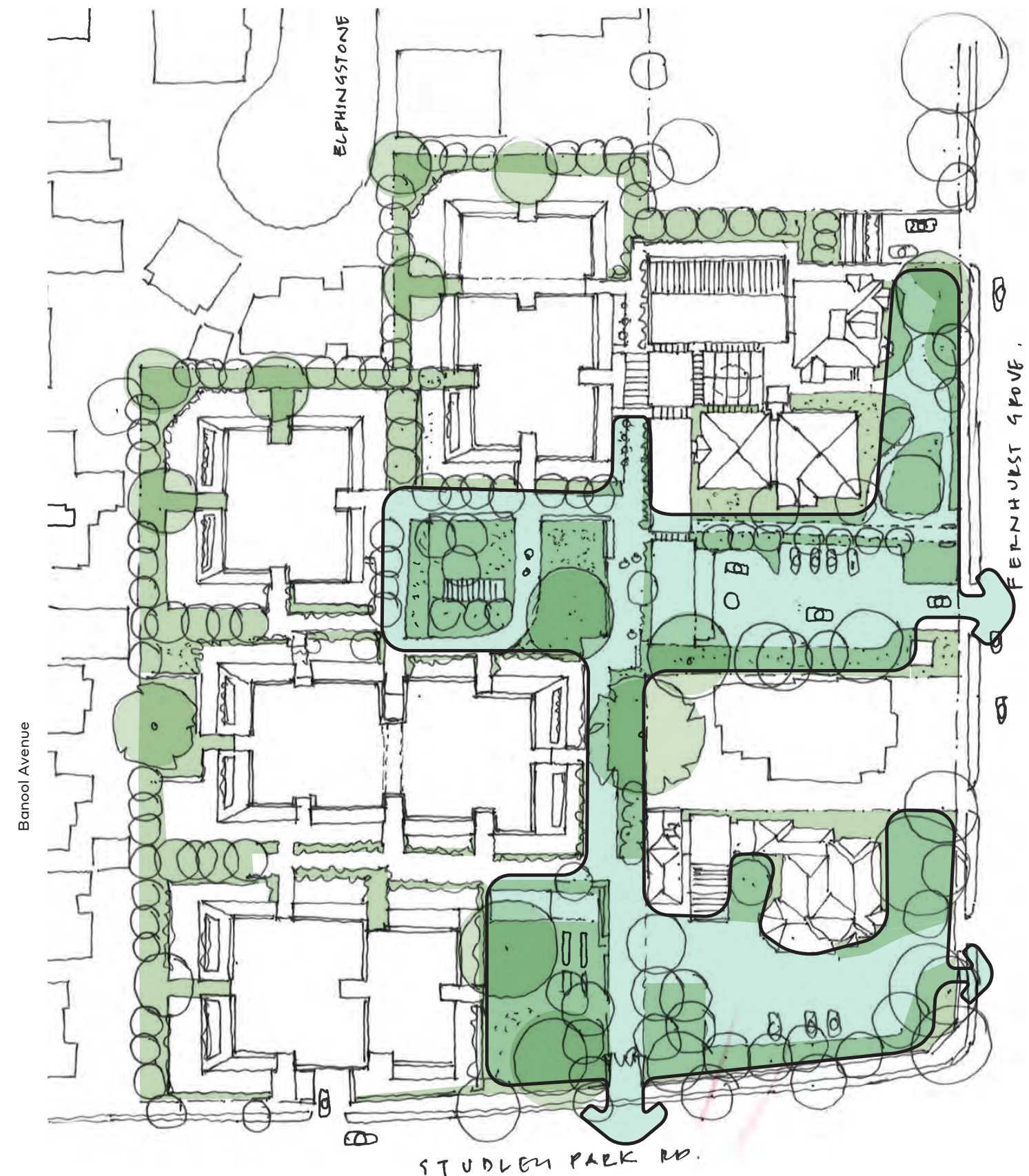


8. Public and communal uses are collocated with key pedestrian routes to provide surveillance and activation



9. A range of public, communal and private landscape spaces support social interaction and spiritual wellbeing

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Masterplan Diagram
Not to Scale

Planning Application Report / 38

7. Masterplan Hidden Garden

Our buildings are nestled into a garden of discovery and delight.



Tree to be retained



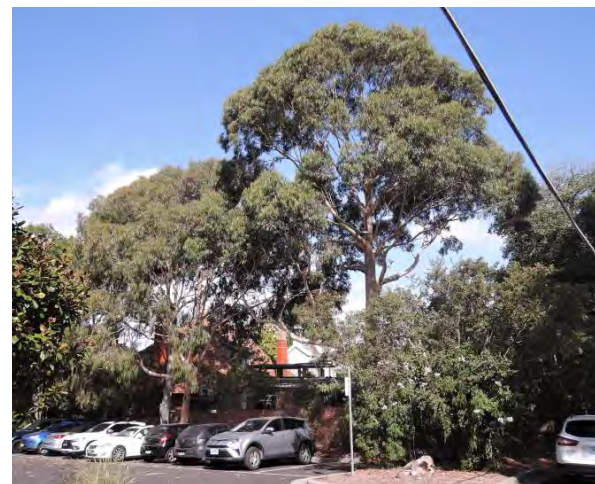
Tree 42 (*Ulmus x hollandica*)
Moderate B-rated tree



Tree 17
(*Corymbia maculata*)
High-rated tree



Tree 44
(*Corymbia citriodora*)
High-rated tree



Tree 46 (left, *Corymbia citriodora*)
Moderate A-rate tree
Tree 45 (right, *Corymbia citriodora*)
High rated tree



1.
A village in a garden setting shaped by existing and new tree planting



10.
Landscape areas provide opportunities for residents to reflect and connect to natural processes



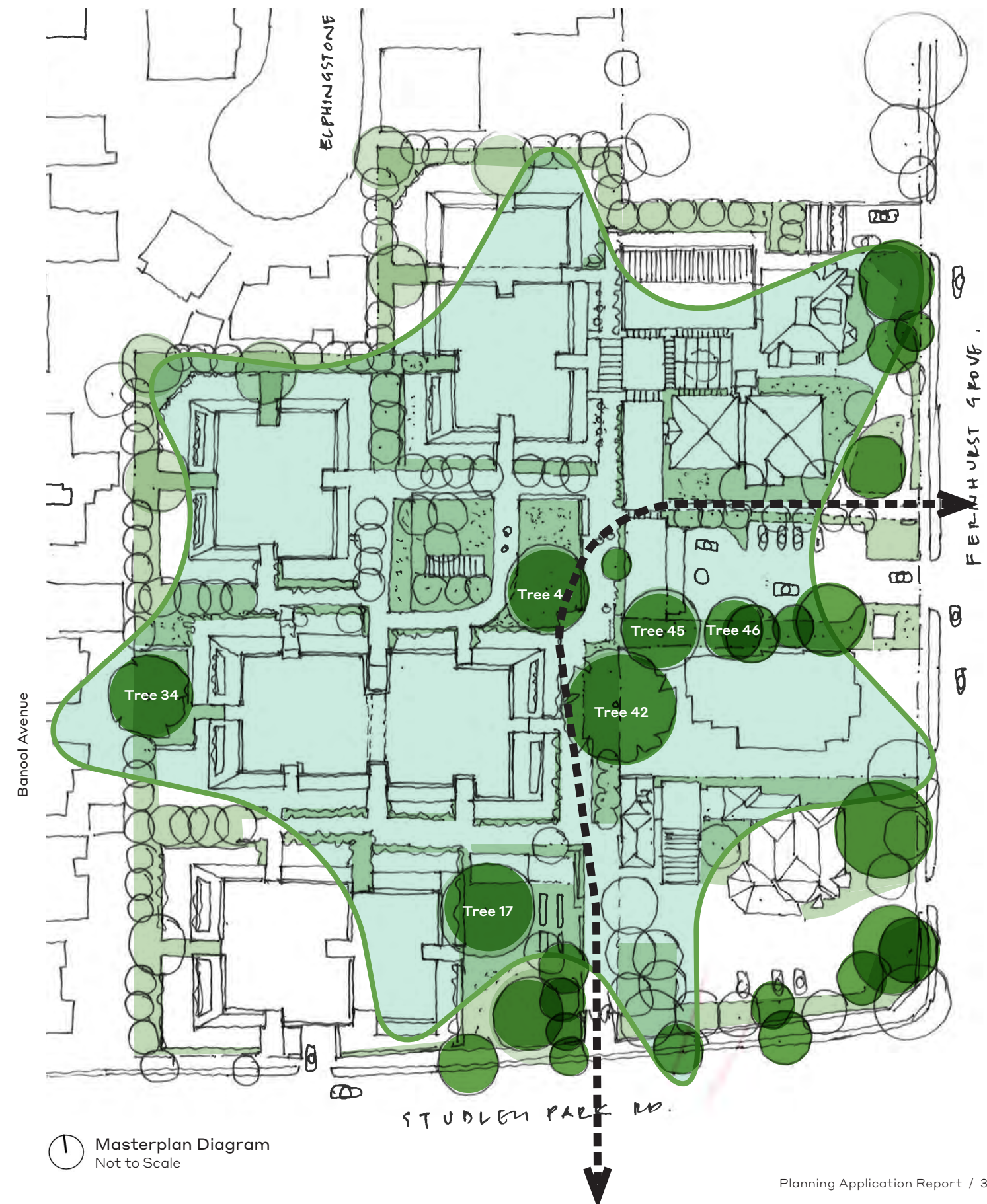
8.
A 'home' like quality is achieved with generous outdoor areas and a choice of garden entries where possible



9.
Every dwelling should have an exceptional garden outlook, while maintaining a sense of privacy

Note:
For further information on tree retention refer to landscape report.

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7. Masterplan Access and Entry

The diagram opposite illustrates the vehicle and pedestrian entries to the site, namely from Studley Park Road and Fernhurst Grove. Noting that there are no private roads through the site and as depicted in the basement diagram opposite; the majority of vehicle movements are underground.

Additionally each of the primary and secondary building access points are noted, illustrating how for each residential building there is effectively a front door and back door. This provides ease of transition and high permeability through buildings and the overall masterplan.







3. Universal access and opportunities for protection from inclement weather promotes walking for a range of abilities



4. A strong sense of arrival for residents and visitors at each street frontage



5. Parking, services and waste collection is consolidated with vehicles kept to the edges to ensure a safe pedestrian precinct

-  Primary building entry/exit
-  Secondary building exit
-  Private residences
-  Communal space

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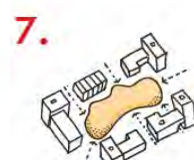
7. Masterplan

Access and Entry (Basement below)

Access to the basement carpark is via both Studley Park Road (at the south) and Fernhurst Grove (at the north-east). This combination of access points is intended to ease circulation in the basement and provide for a distribution of traffic on local streets. For further details on the basement layout please refer to the architectural drawings within Appendix A.



Parking, services and waste collection is consolidated with vehicles kept to the edges to ensure a safe pedestrian precinct



A central semi-public landscape spine or village heart provides a central organising device for the precinct



Public and communal uses are collocated with key pedestrian routes to provide surveillance and activation

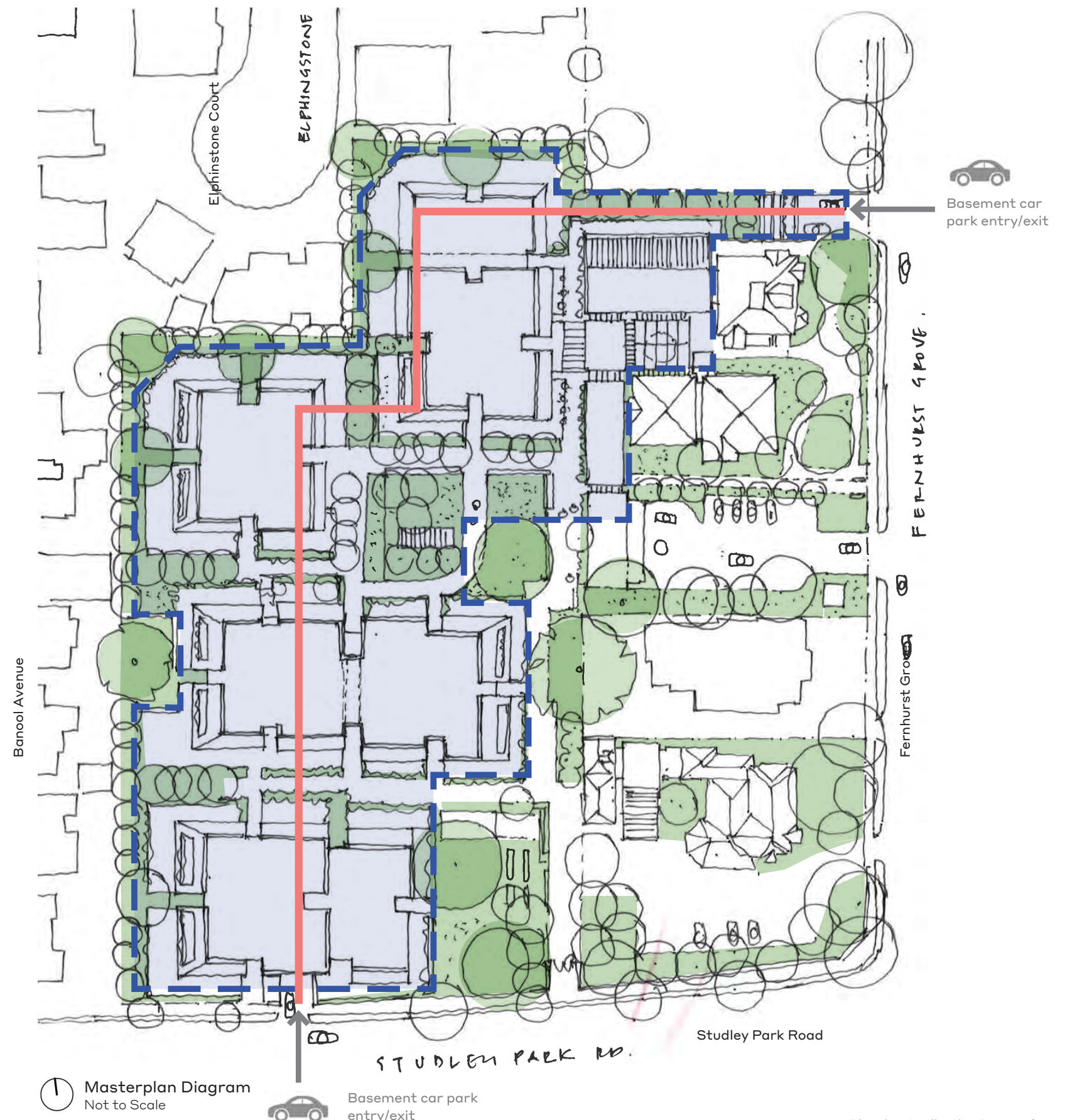


Extent of basement below



Basement circulation below

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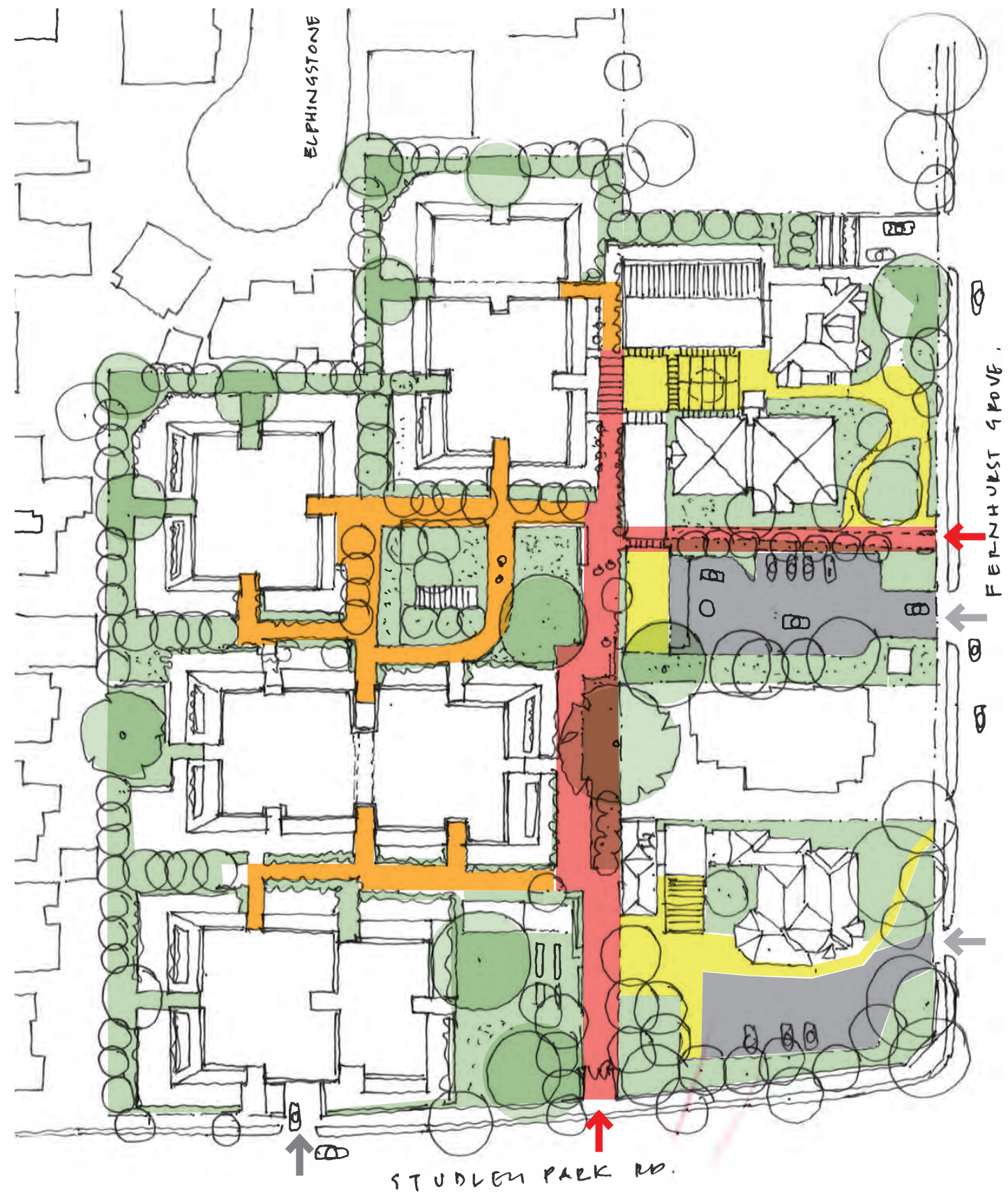
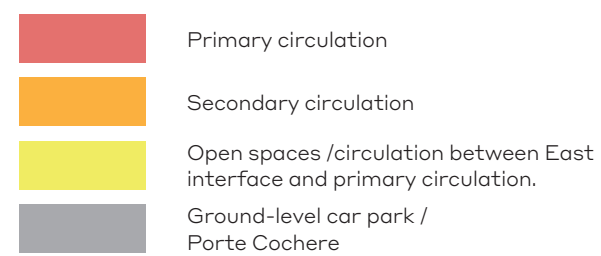
 Masterplan Diagram
Not to Scale

Basement car park
entry/exit

Planning Application Report / 41

7. Masterplan An Active Spine

An intuitive zone of activity anchored by communal activities and natural daylight.



 Masterplan Diagram
Not to Scale

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7. Masterplan Celebrating the Past

Drawing in the wider community into our village.



Primary public interface



New communal space adjacent to Heritage building



Plumstead House



Esmonde House



Whitty House



Public and communal uses in Whitty House and Esmonde House draw visitors into the site

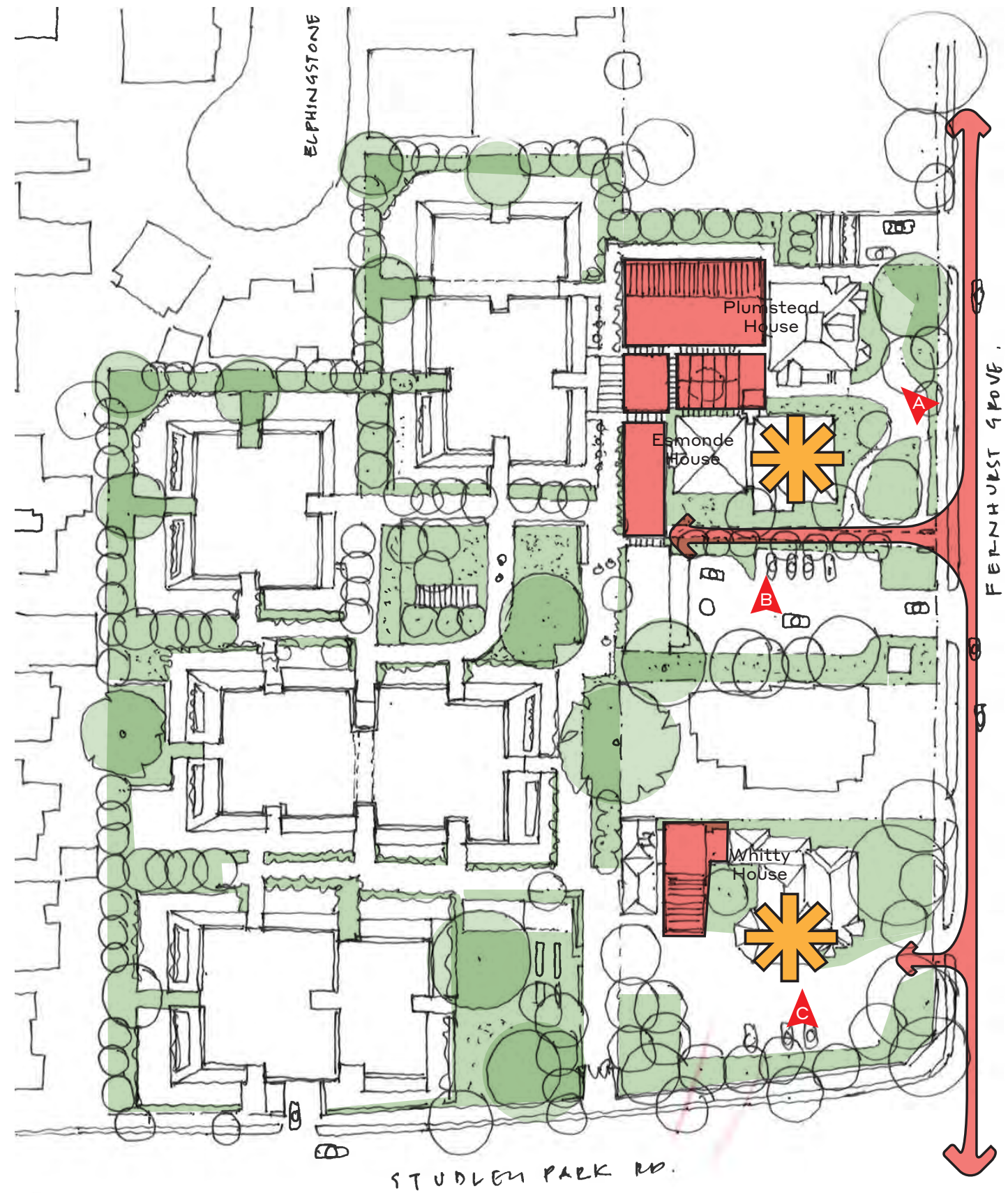


New buildings adjacent to heritage structures draw on the qualities of the site history in a contemporary way



New additions to heritage buildings are visually light and architecturally distinct to maintain the prominence of the primary structure.

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Masterplan Diagram
Not to Scale

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8. Views in Context

Approach from corner of Studley Park Road and Fernhurst Grove



N
Key Plan
Not to Scale



Artists' Impression: View of proposal from corner of Studley Park Road and Fernhurst Grove

8. Views in Context Approach from Studley Park Road



N
Key Plan
Not to Scale



Artists' Impression: View of proposal from Studley Park Road

8. Views in Context

View from Elphinstone Court



N
Key Plan
Not to Scale



Artists' Impression: View of proposal from Elphinstone Court

8. Views in Context

View from Fernhurst Grove



N
Key Plan
Not to Scale

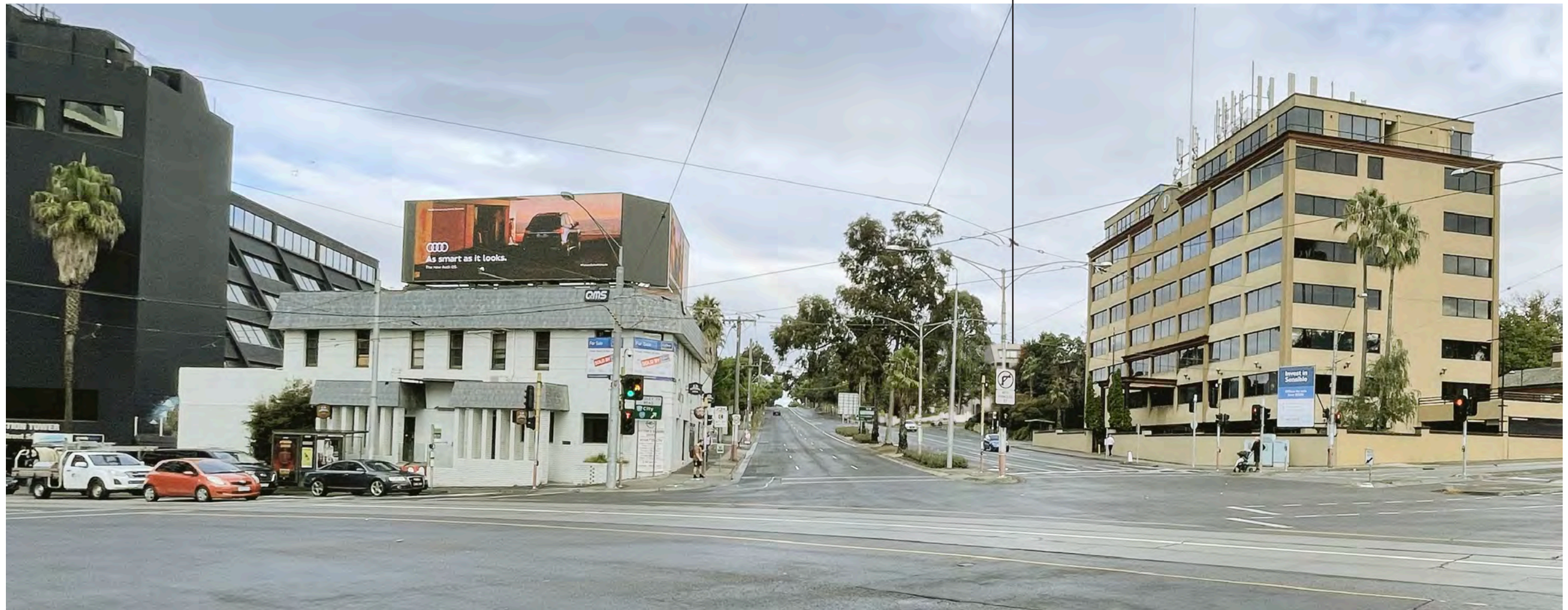


Artists' Impression: View of proposal from Fernhurst Grove

8. Views in Context

View from Kew Junction

PROPOSAL



Artists' Impression: View of proposal from Kew Junction

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Architectural Response

Residential Buildings

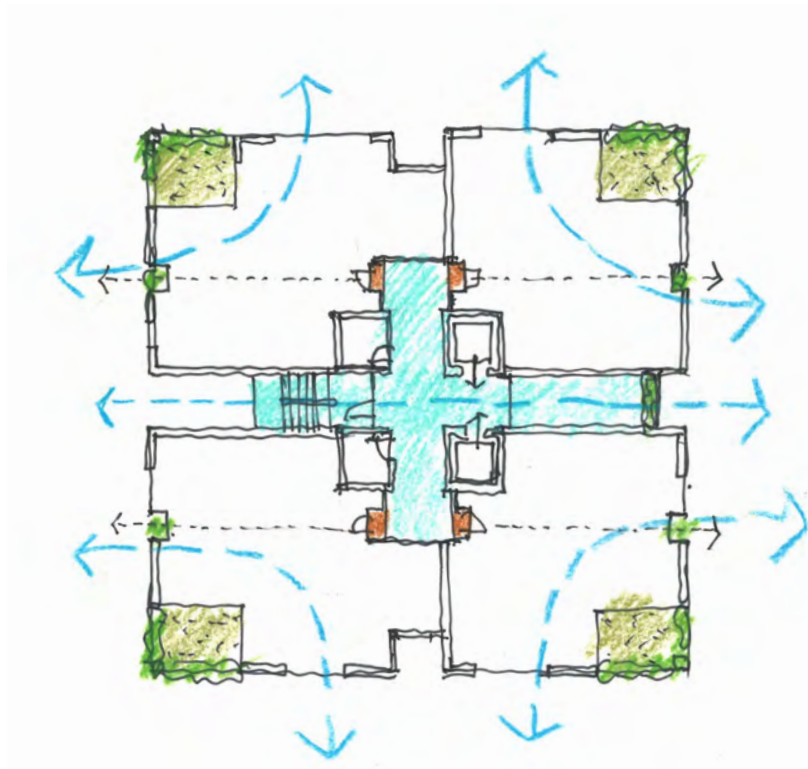
Architectural Expression

The Residences

9. Residential Buildings

Floor plate principles

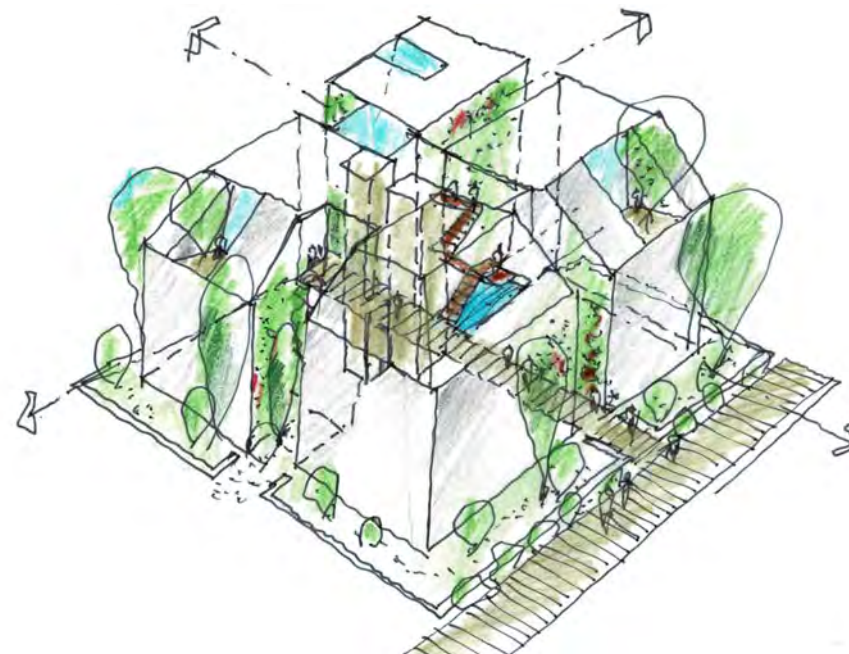
- Homes are designed to promote greater amenity of cross ventilation and views, with most homes benefiting from corner aspect.
- Articulation of floor plate promotes natural light, ventilation and connection to nature
- Entry alcoves provide private arrival 'porch'
- 46% of apartments are north-facing
- 68% of apartments are min. double-aspect



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Integrated into the environment

- Fusing interior with exterior
- Complete sensory experience
- Legibility of residence
- Articulation of mass



Diversity of Scale and Privacy between Buildings

Varying building footprints

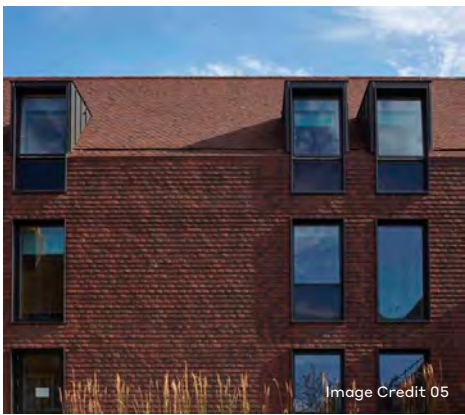
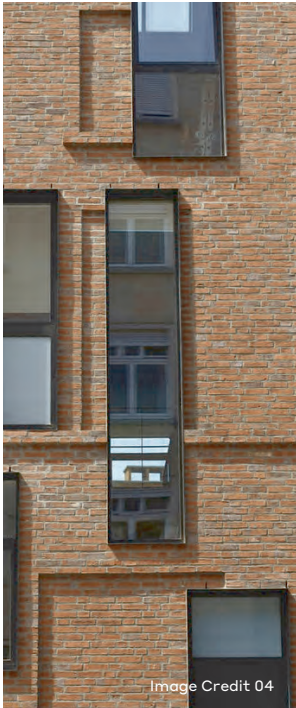


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10. Architectural Expression Materiality and Form

It is from the rich vernacular architecture of Kew and its tradition of brick homes with pitched slate roofs that we draw our initial inspiration from.

Looking further afield to international exemplars we establish contemporary benchmarks for bay windows, quality masonry techniques and mansard roof forms.





Artists' Impression: Building A viewed from Studley Park Road

10. Architectural Expression Materiality and Form

The predominant material throughout the proposal is masonry brickwork of varying tones and mortar colours to offer variety and identity to individual buildings. The choice of primary material is based on contextual reference as well as a clear intention to ensure longevity, robustness of maintenance and offer residents a sense of home.

Window frames, balustrades and planters are composed of metal work in contrasting colours to allow openings to provide articulation to the building forms and façades.



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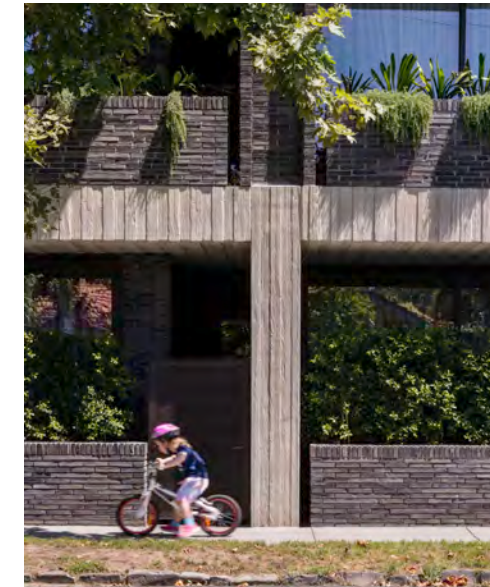


Image Credit 08



Image Credit 09



Image Credit 10

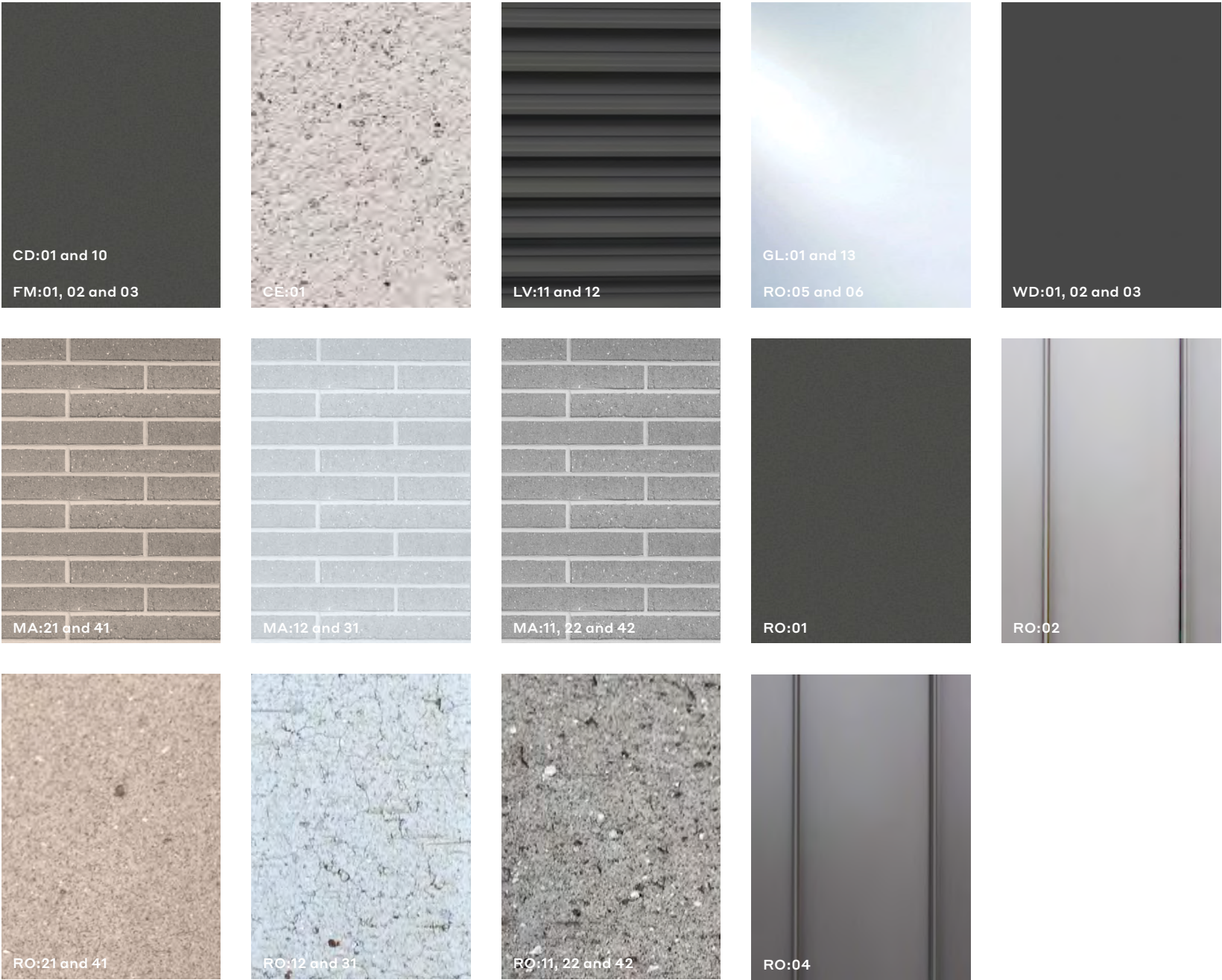


Materials and Finishes Legend

- CD:01 and 10 Metal cladding (Dark grey/bronze)
- CD:11 Metal batten cladding
- CE:01 Concrete/Masonry banding
- FM:01, 02 & 03 Fabricated metalwork (Dark grey/bronze)
- GL:01 & 13 Clear glass
- LV:11 & 12 Horizontal banded louvres (Dark grey/bronze)
- MA:21 & 41 Masonry brick cladding (Brown) (Brick gauge TBC)
- MA:12 & 31 Masonry brick cladding (Cream) (Brick gauge TBC)
- MA:11, 22 & 42 Masonry brick cladding (Grey) (Brick gauge TBC)
- RO:01 Folded metal canopy (Dark grey/bronze)
- RO:02 Metal roof (Light grey)
- RO:04 Standing seam roof (Dark grey/bronze)
- RO:05 Glazed roof (Neutral)
- RO:06 Glazed roof (Neutral) with integrated solar shading
- RO:21 & 41 Masonry roof (Colour to match MA:21)
- RO:12 & 31 Masonry roof (Colour to match MA:12)
- RO:11, 22 & 42 Masonry roof (Colour to match MA:11)
- WD:01, 02, 03 & 11 Aluminium window framing (Dark grey/bronze) (maximum reflectivity of 20%)



Key Plan
Not to Scale



10. Architectural Expression The Residential Entry Experience

All the buildings have been designed with a traditional home in mind, with a front door and back door. A generous central corridor links entrances and provides access to apartments and cores. The primary entrance is celebrated by way of a double storey void on entry. Whereas the secondary entry is a little more discreet but visible on entry to maximise intuitive way finding, inclement weather protection and a connection to the landscape at all times. Materially, the external architectural expression is drawn into the communal circulation spaces through select use of floor and wall finishes.



Image Credit 11



Image Credit 12



Image Credit 13



Image Credit 14

WOODS BAGOT



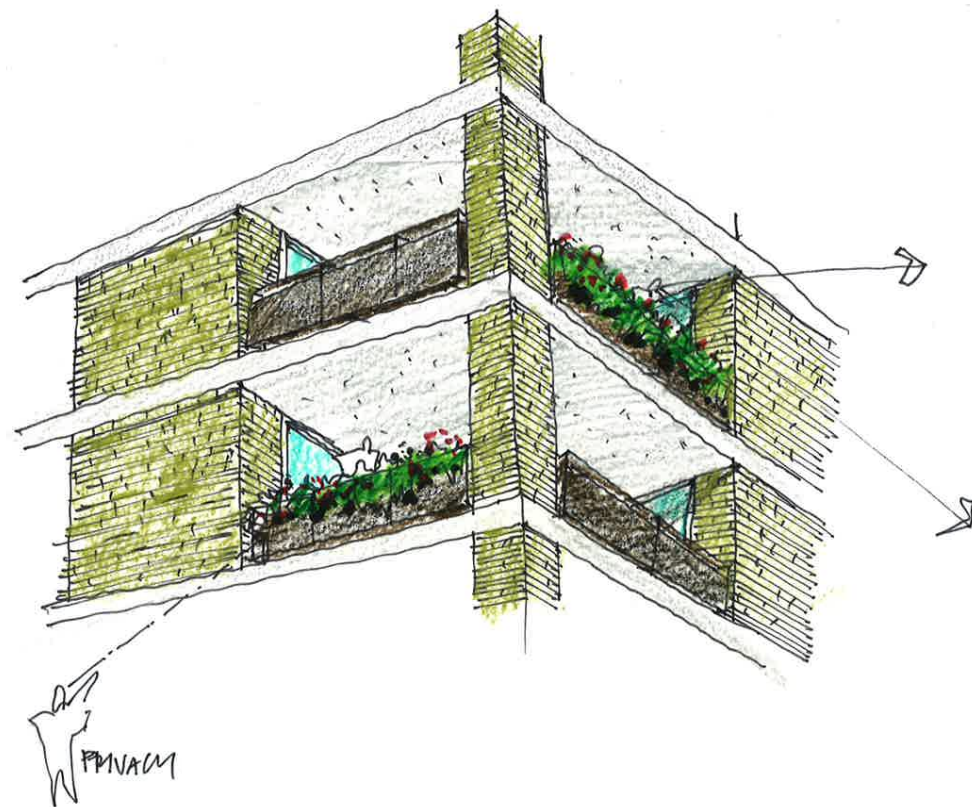
Artists' Impression

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10. Architectural Expression The Terraces

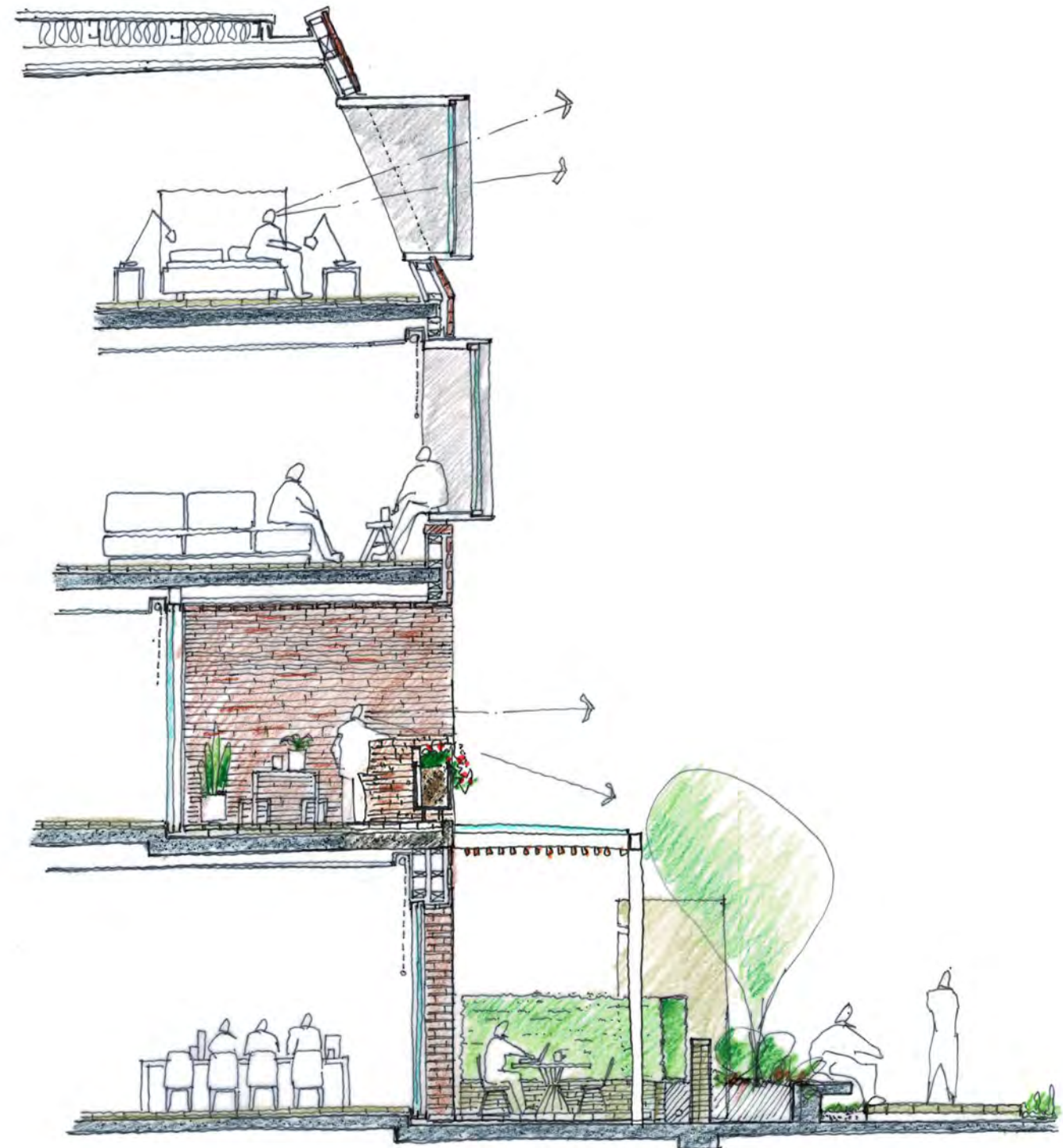
Great care and consideration have been given to the location, size and configuration of private open spaces to each of the residences. The proposal acknowledges that for a large number of residents their private open space will become increasingly a primary means to enjoy their surroundings. With this in mind the balconies are largely located on corner, offer residents dual aspect and the benefits of daylight from different directions.

A combination of planters and solid balustrades maximise the balcony areas and ensure privacy to residents. For residence at ground levels, pergolas have been included both as shading devices as well as privacy measures. These are located off primary living spaces where they will be most utilised.



Balcony Detail Sketch

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Facade Section Sketch
Not to Scale

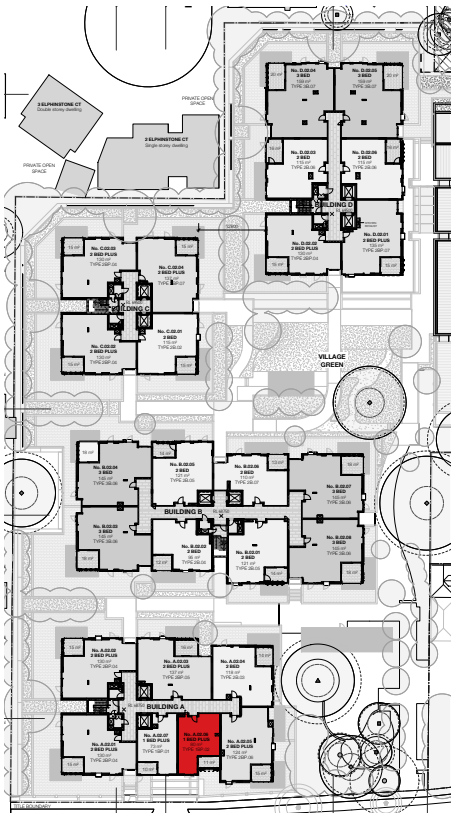
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11. The Residences

1 Bedroom Plus Unit

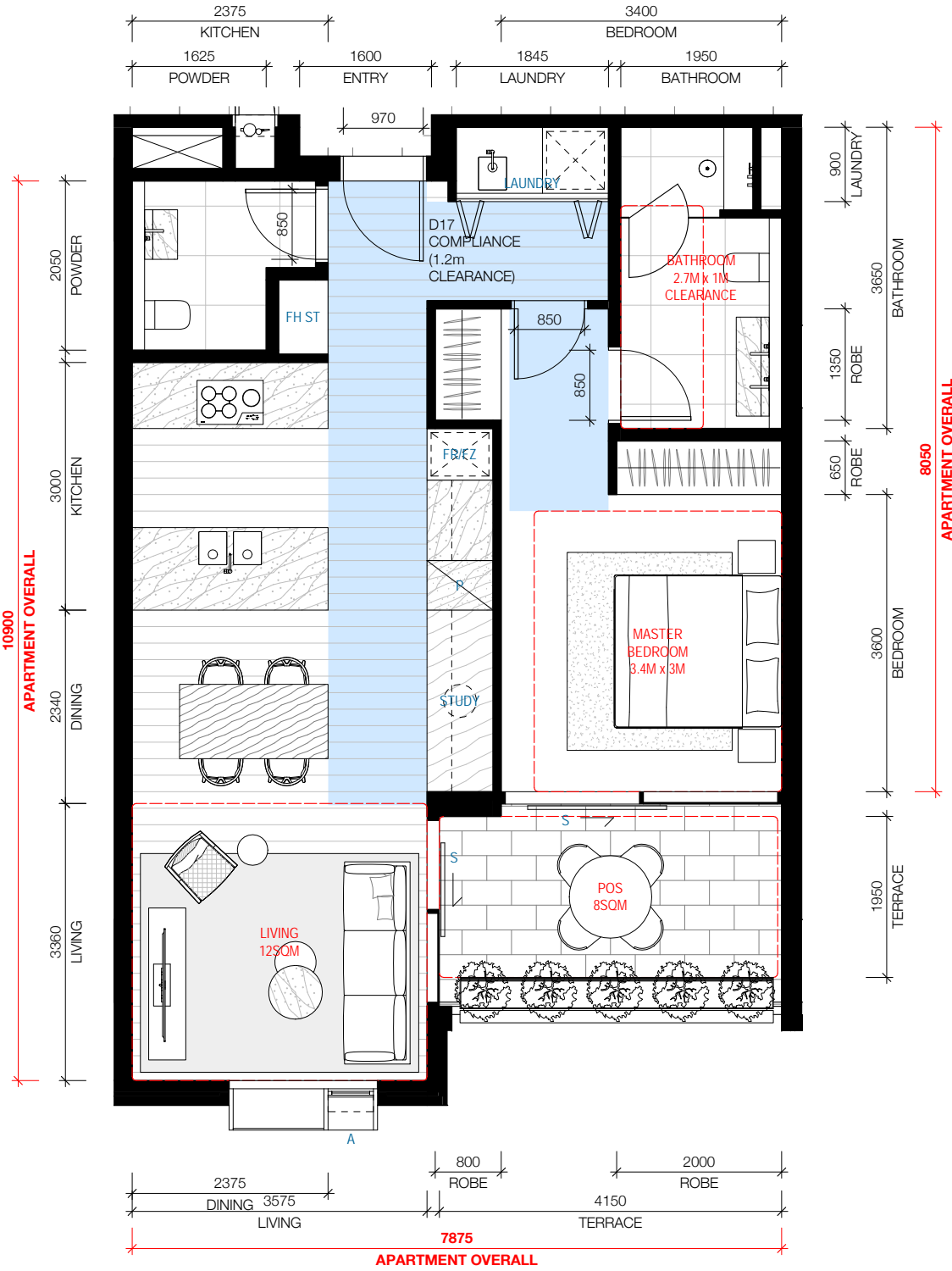
The following pages select typical layouts for each of the residential types, namely 1 Bed, 2 Bed, 2 Bed Plus, 3 Bed and Penthouse residences and illustrate the principles and qualities that consistently underpin our design for the residences as a whole. Aside from complying with the Better Apartment Design Standards (BADs) we have also adopted a number of the guidelines from the Liveable Housing Design Guidelines (LHDG) in order to enhance the comfort of retirement living. Where relevant we have highlighted these instance in the subsequent pages.

The layout on this page illustrated a one bedroom residence of which there are 8no. in the masterplan. These all exceed minimum requirements in terms of BADs (better apartment standards) and include many of the features applicable to the larger units, such study nooks, powder rooms and pantries.



Key Plan
Not to Scale

WOODS BAGOT



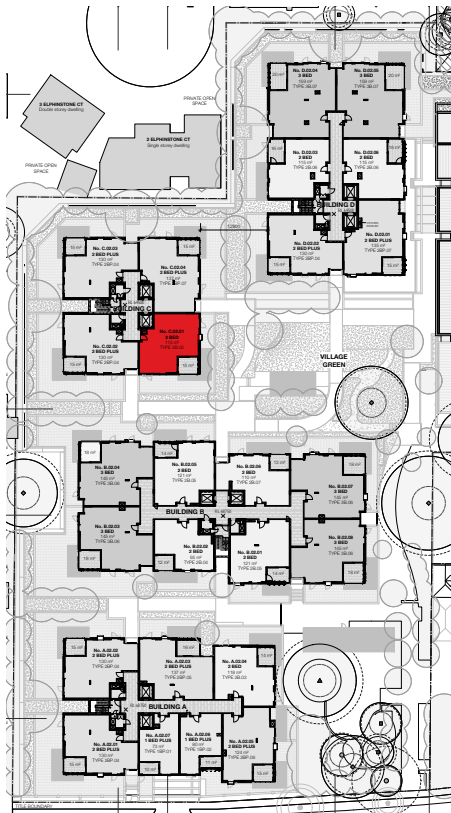
1BP Floor Plan
Not to Scale

Planning Application Report / 58

11. The Residences

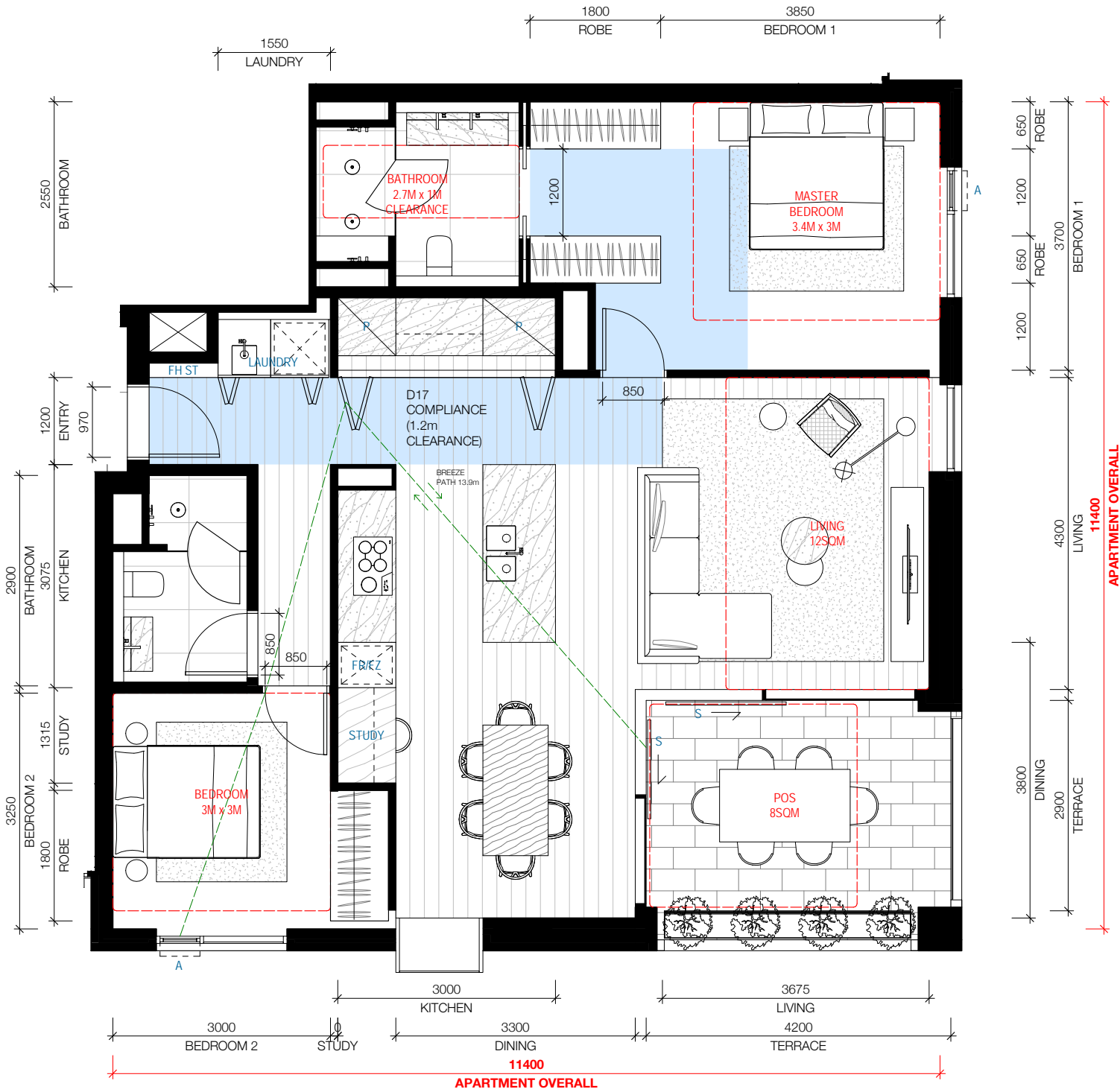
2 Bedroom Unit

The small building footprints maximise the number of double aspect residences and the ability for cross ventilation. In each case a generous hallway provides a view on arrival. External glazing has been carefully located to correspond to entries and maximise daylight and functionality. Master and secondary bedrooms are intentionally separated with an open plan living and dining arrangement at the heart of the residence with access onto generous balconies. Circulation to and around the master bedroom and bathroom exceed BADS requirements and ensure compliance with LHDG Gold Standard.



Key Plan
Not to Scale

WOODS BAGOT



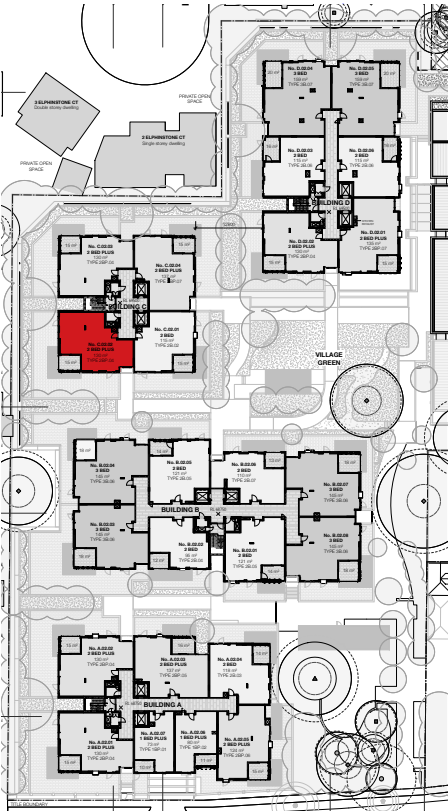
2B Floor Plan
Not to Scale

Planning Application Report / 59

11. The Residences

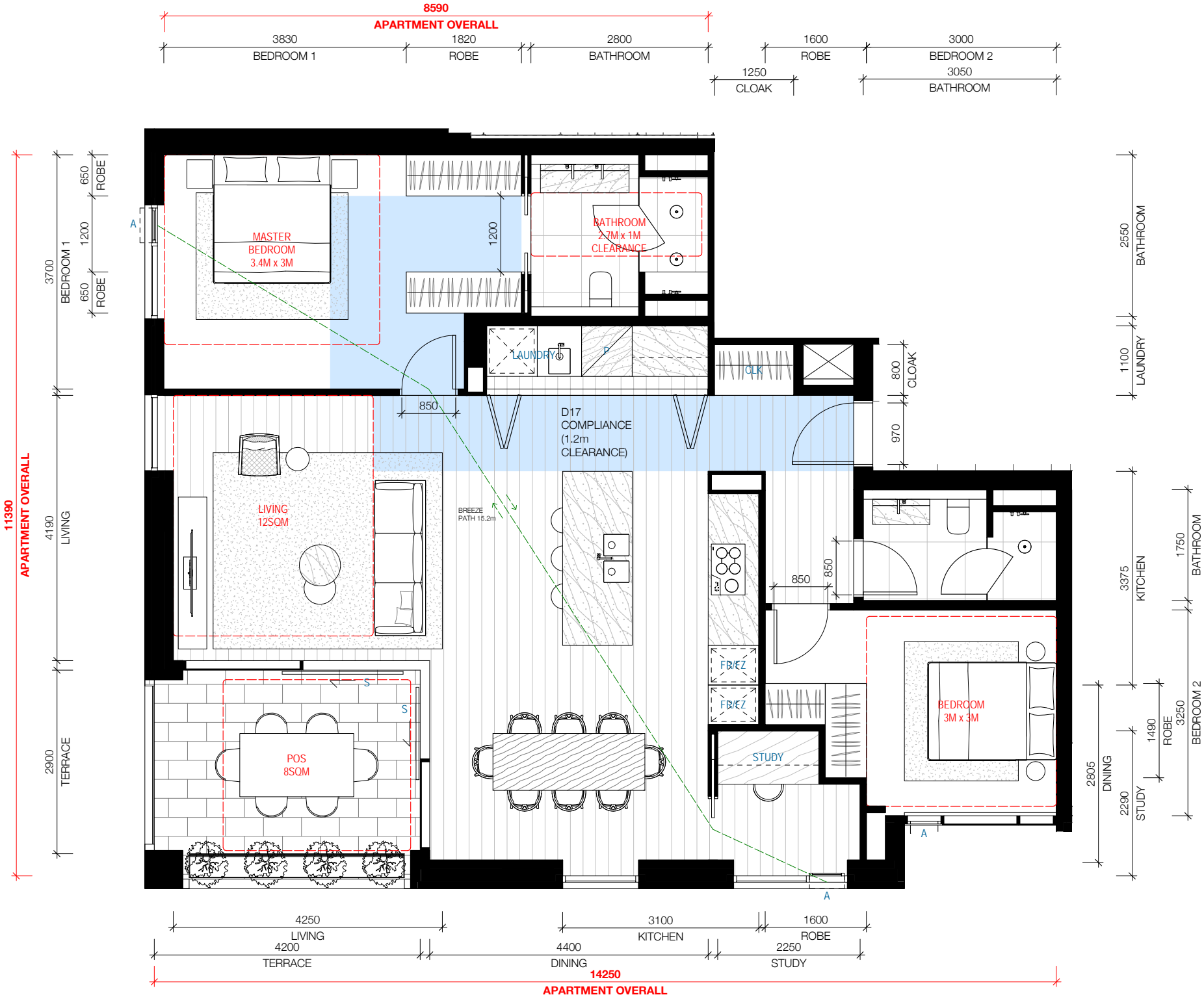
2 Bedroom Plus Unit

The overarching layout principles continue to apply in the 2 Bedroom Plus residence with additional offerings such as walk-in study with natural light, cloak storage on entry and pantry. The overall floor plan is more generous in particular to the living and dining spaces. A secondary bathroom is co-located near the entry and secondary bathroom to double as powder or effectively an ensuite. The master ensuite offers a double vanity as well as a double shower with seating.



Key Plan
Not to Scale

WOODS BAGOT

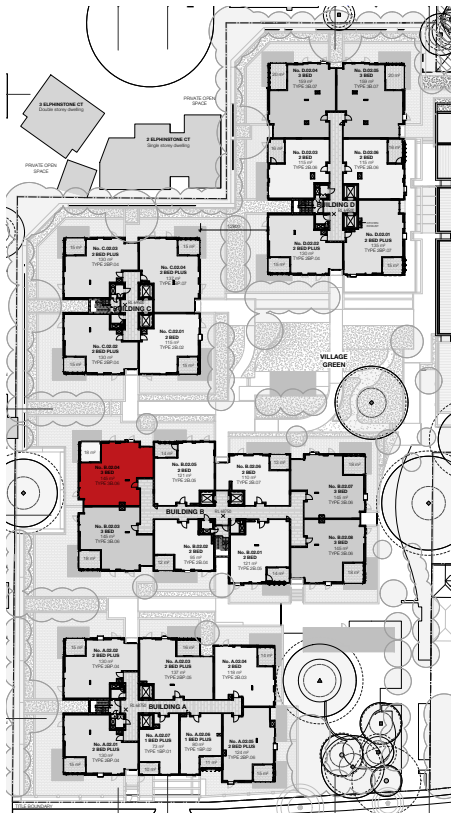


2BP Floor Plan
Not to Scale

11. The Residences

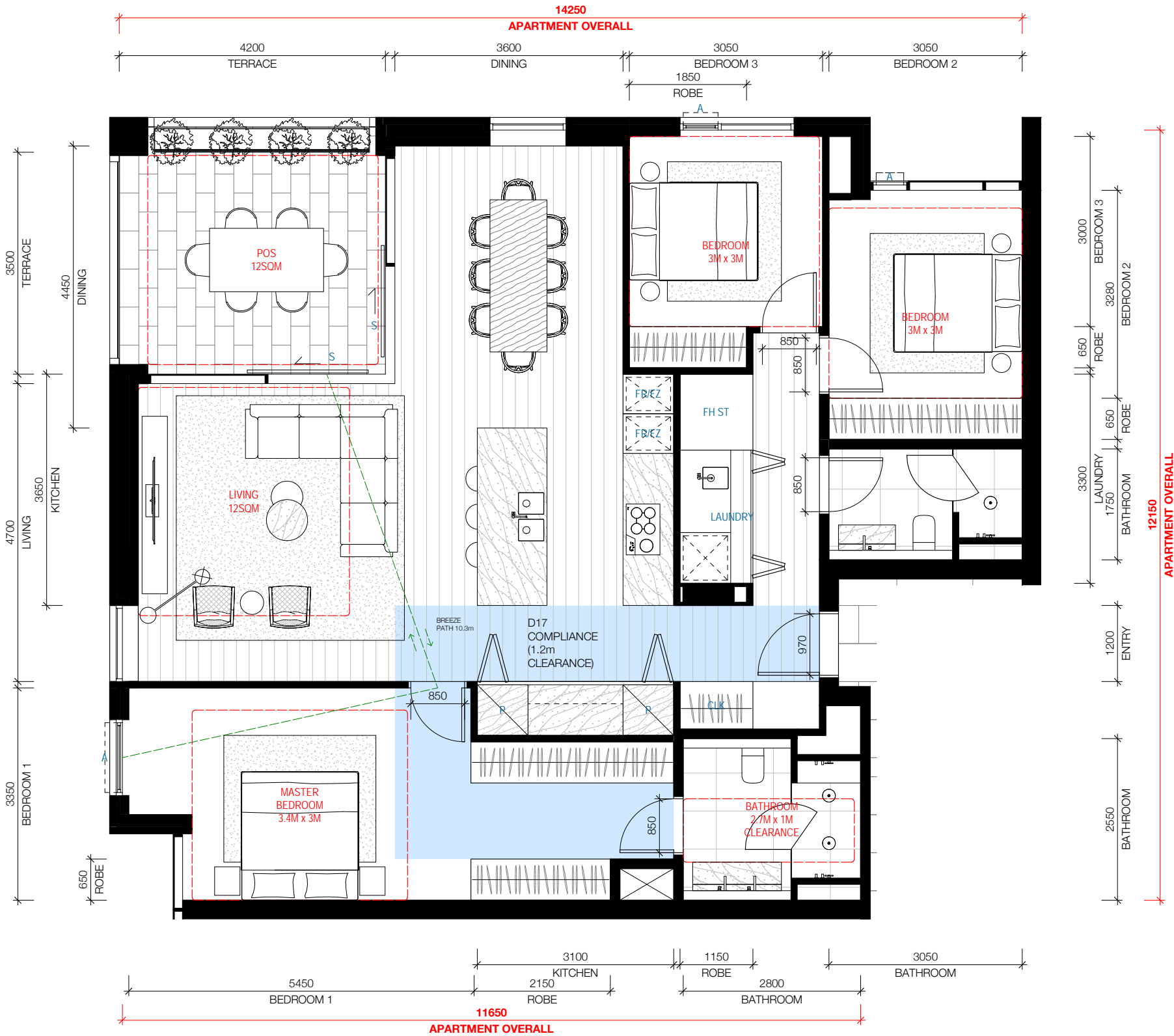
3 Bedroom Unit

The typical 3 bedroom residence continue to build on the principles established for the smaller residence, however with an greater emphasis on the master – offer for instance a larger room and additional linear metres of robe. Laundry and pantry are separated and storage spaces is maximised. Acknowledging the likely low occupancy rates of these residence given the demographics, secondary bedrooms are compact and instead the generosity of the floor plan lies in the living and dining spaces.



Key Plan
Not to Scale

WOODS BAGOT



3B Floor Plan
Not to Scale

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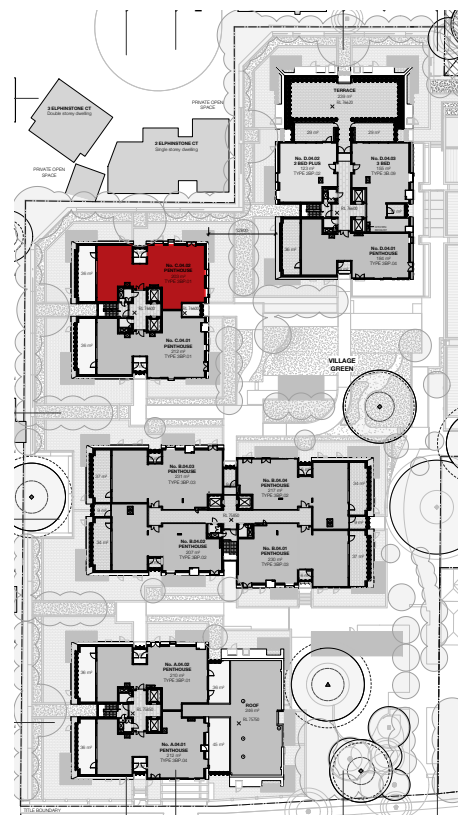
11. The Residences Penthouse

The penthouses offer an opportunity for true generosity of space, daylight and ventilation.

A vestibule, powder room and cloak cupboard on arrival ensure a sense of grandeur and lead to views of an open courtyard with dining adjacent. The courtyard acts as a dividing mechanism between the living wing and sleeping wing.

A central axis corridor links to the bedroom wing - where again the master bedroom is separate from the secondary bedrooms. The secondary bedrooms share a bathroom with. Ample storage and a walk in laundry ensure the residence meets buyers expectations of a single family home.

Finally the living space and open plan kitchen feed onto an extensive balcony set within the mansard roof to ensure maximum privacy and frame views.



 Key Plan
Not to Scale

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Artists' Impression: View of open living space and terrace (early concept design) - note this view is mirrored to plan opposite

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Proposal in Context

Building Heights, Setbacks and Separation

Neighbouring Interfaces

12. Building Heights, Setbacks and Separation

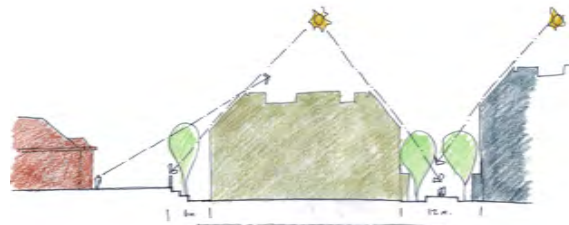
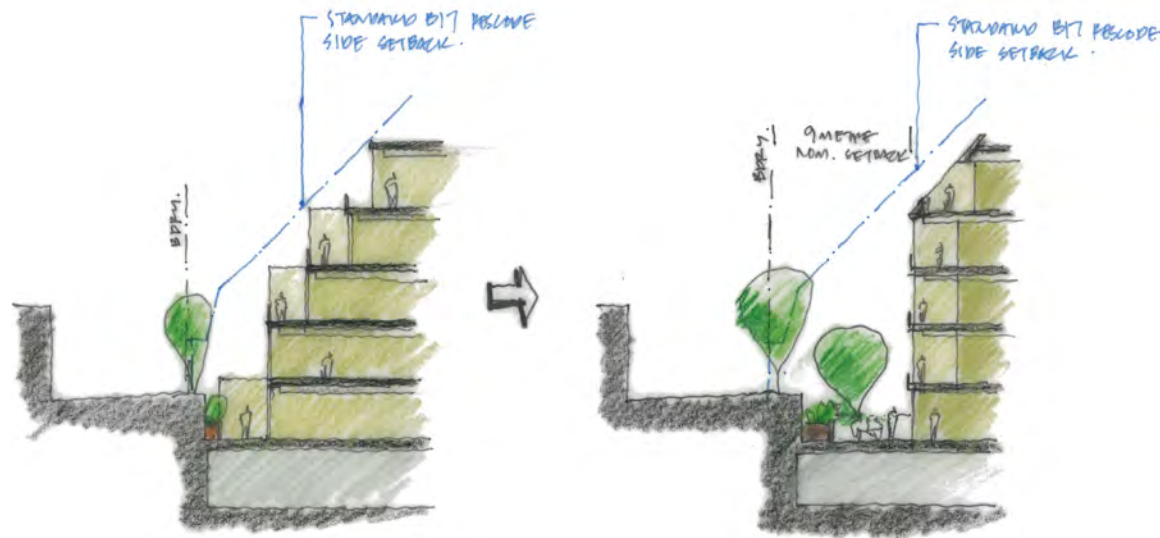


Diagram illustrating relationship to neighbouring context & daylight penetration
Rooflines are moulded to respond to sensitive interfaces



Tiered Setback
Not to Scale

- compliance driven
- maximise building footprint
- narrow setbacks
- limited opportunities for new planting
- poor apartment amenity

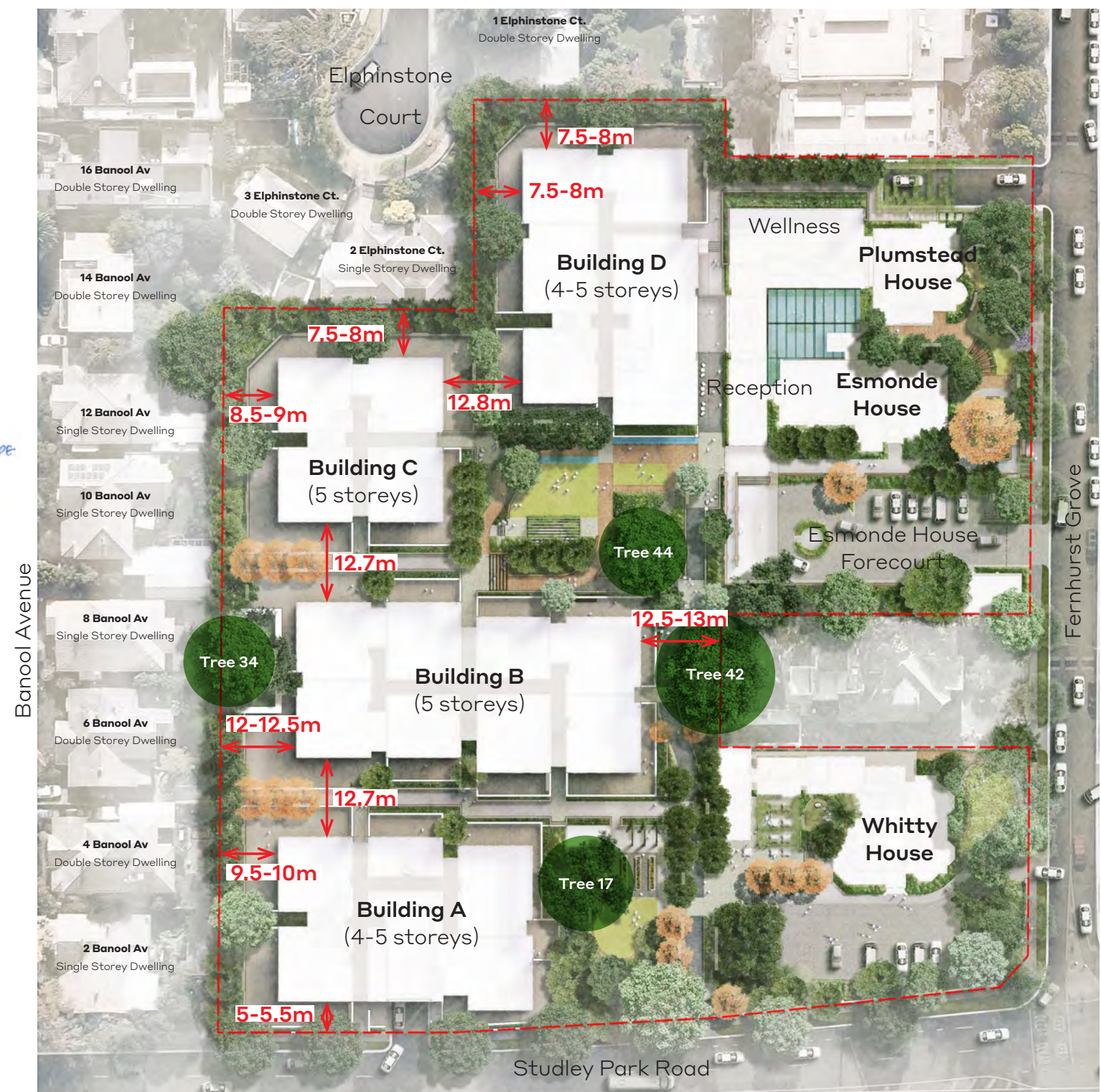


Proposed Setback
Not to Scale

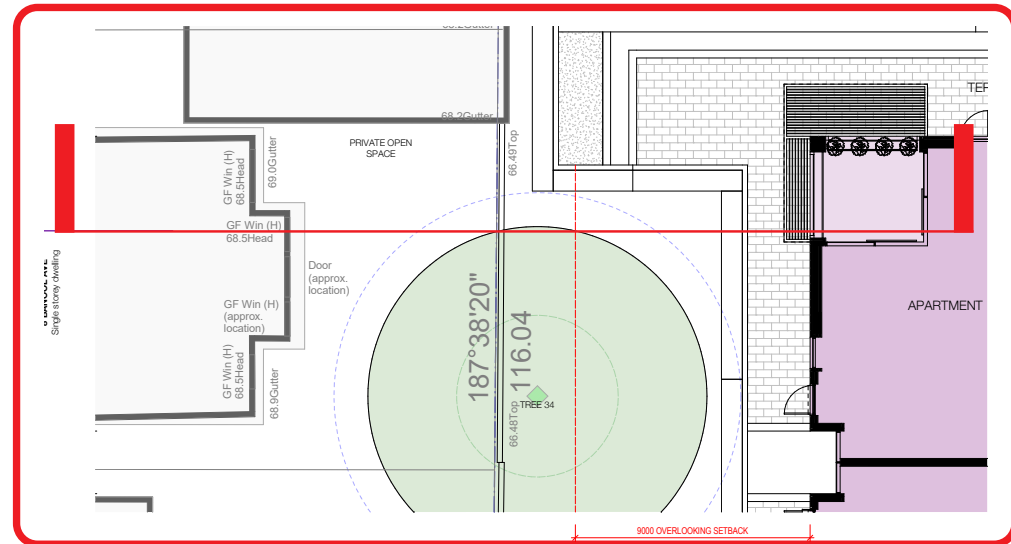
- outcome driven
- increased "breathing" room
- better separation between new and existing dwellings
- generous landscape opportunities
- better apartment amenity

Diagrams illustrating Building Profile / Setback from Neighbouring Boundary

The proposal establishes generous setbacks to its western and northern neighbours beyond what could be normally contemplated. These setbacks allow for deep planting of landscape to occur to these interfaces and also reduces visual building mass, in addition to a number of other benefits as highlighted

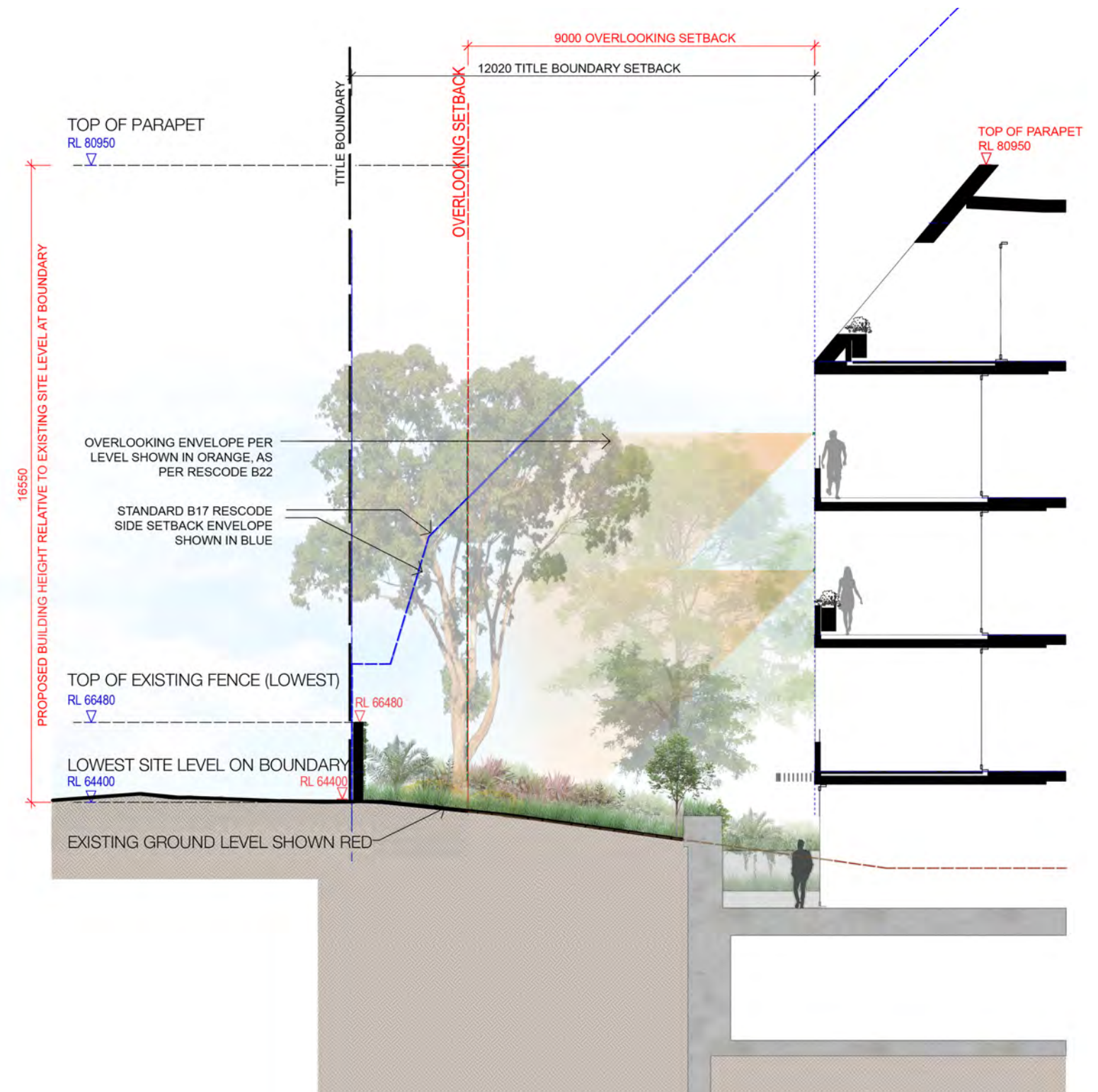


13. Neighbouring Interfaces Western Boundary



N
Key Plan
Not to Scale

WOODS BAGOT

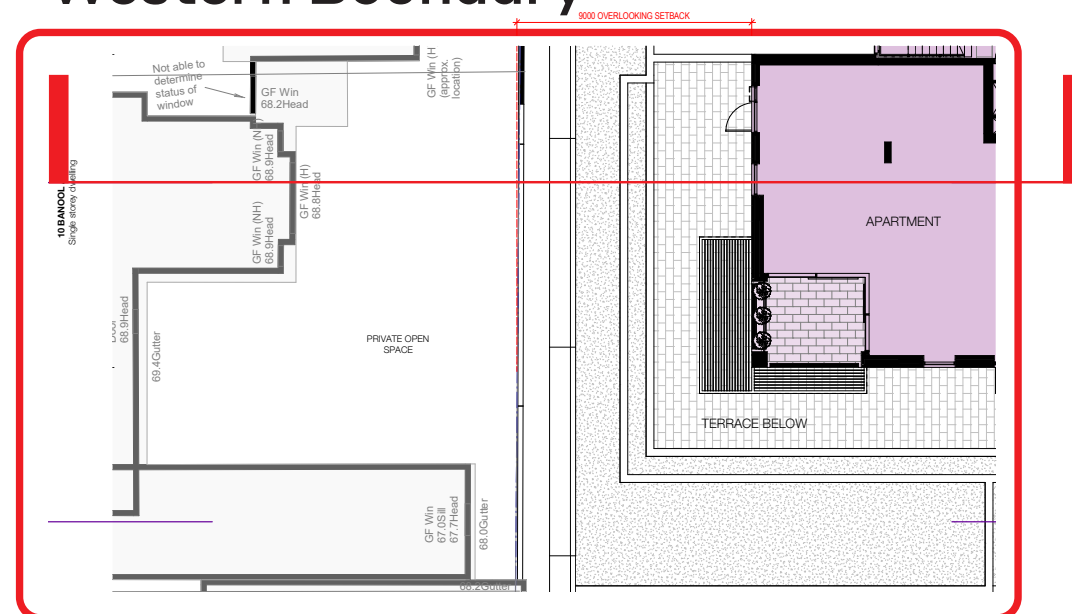


Section
Not to Scale

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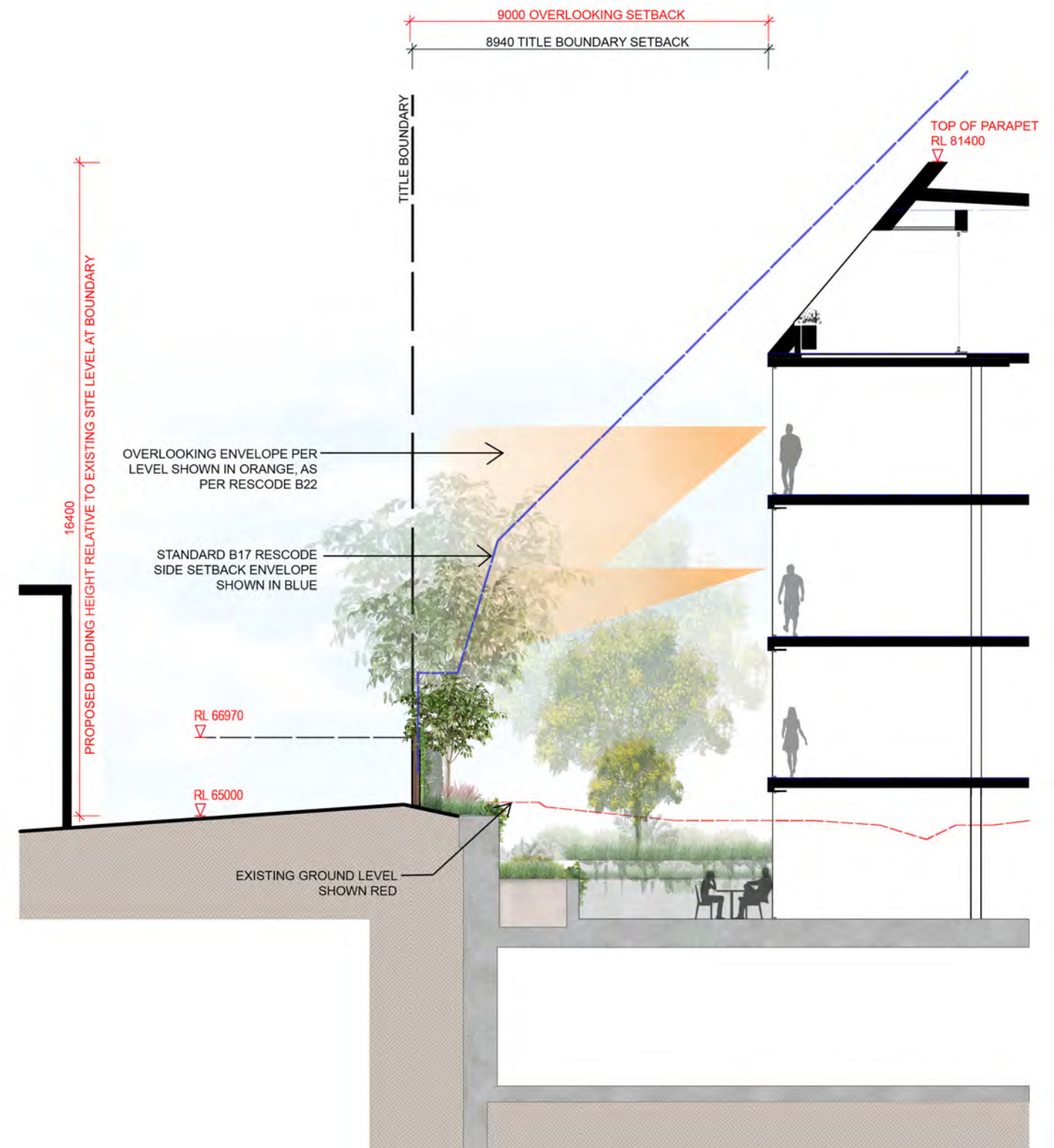
13. Neighbouring Interfaces

Western Boundary



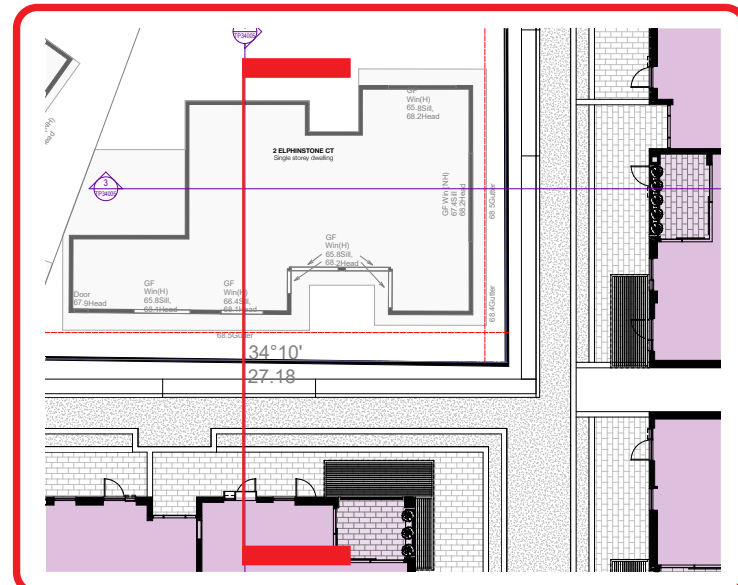
N
Key Plan
Not to Scale

WOODS BAGOT



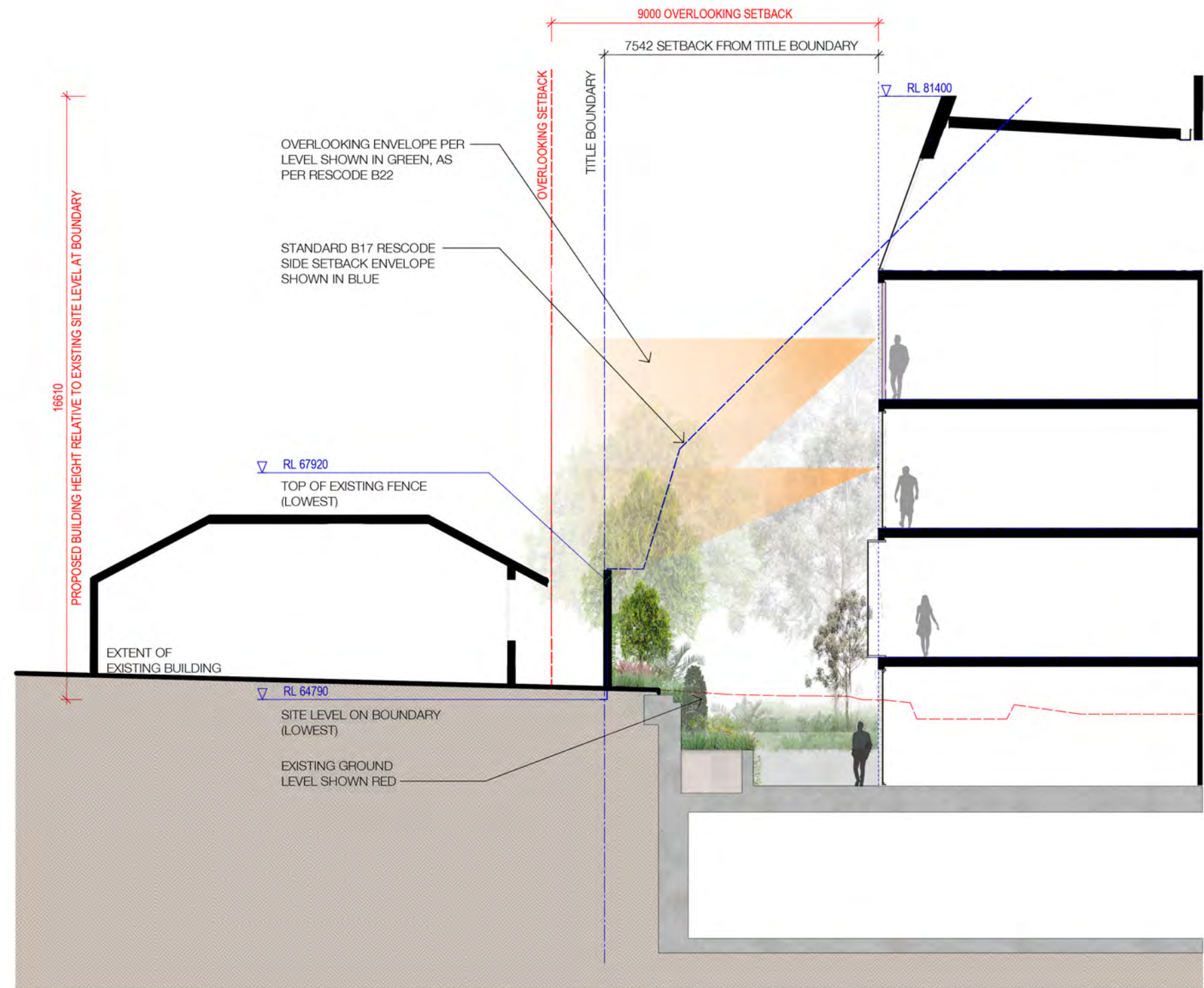
Section
Not to Scale

13. Neighbouring Interfaces Northern Boundary



N
Key Plan
Not to Scale

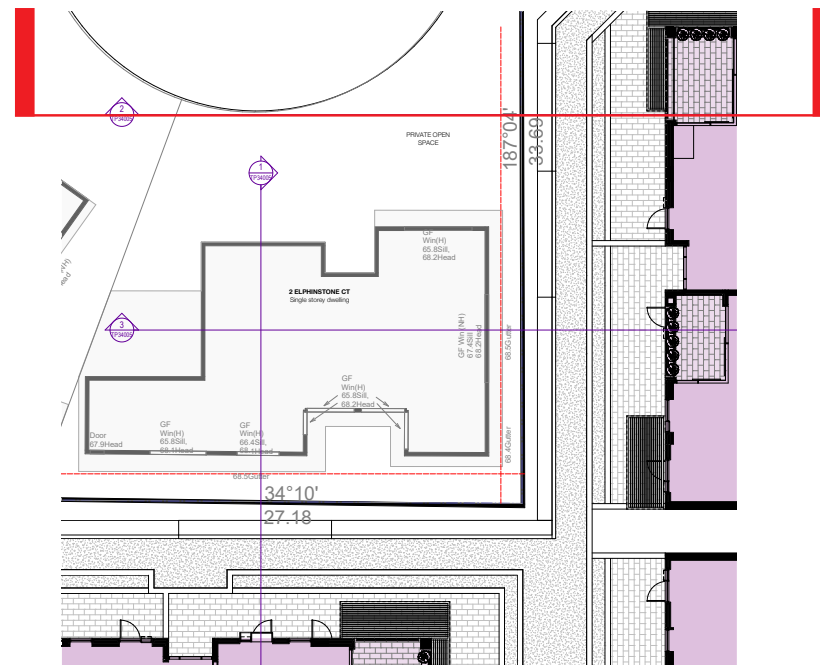
WOODS BAGOT



Section
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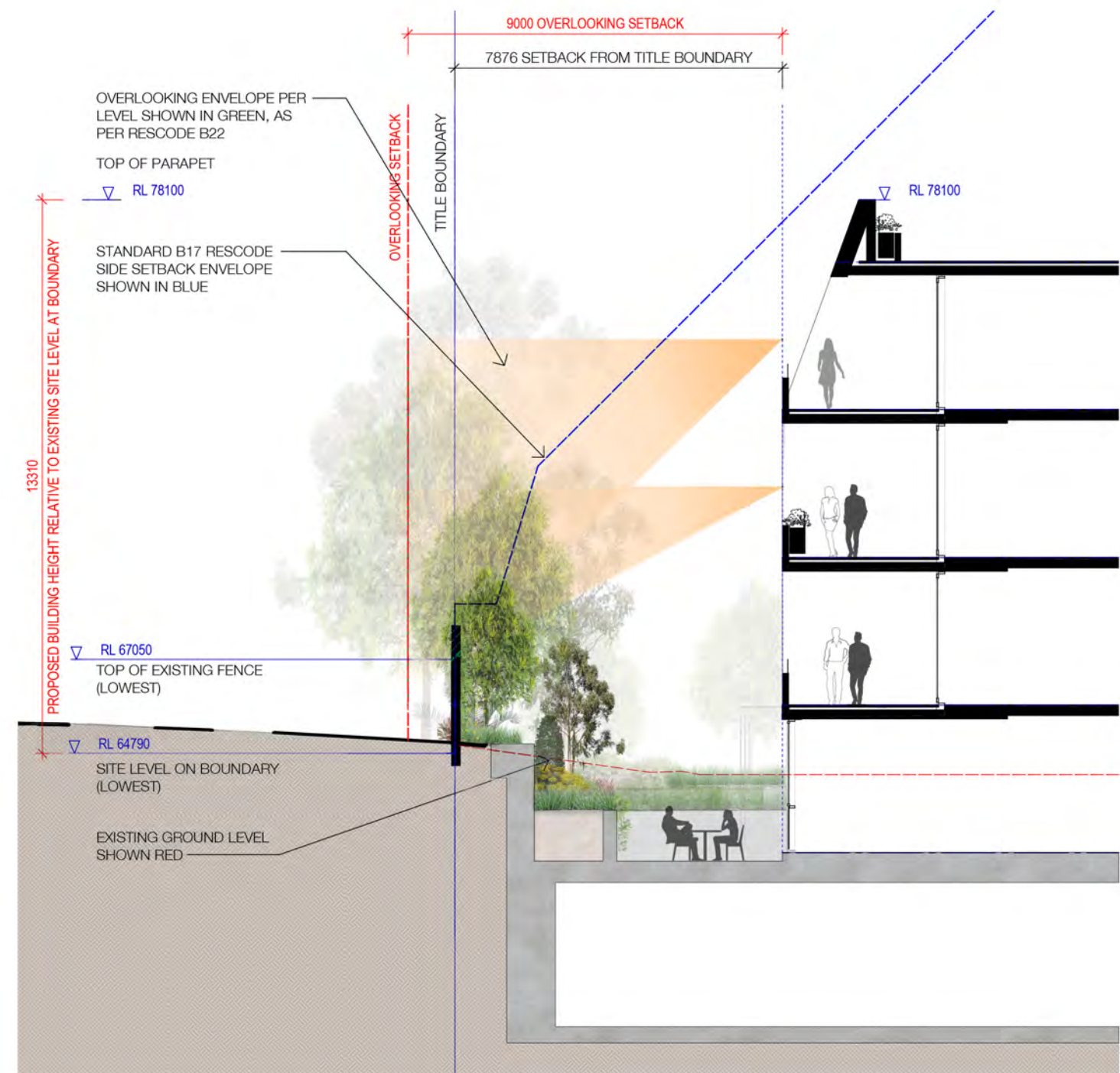
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13. Neighbouring Interfaces Western Boundary



N
Key Plan
Not to Scale

WOODS BAGOT



Section
Not to Scale

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Artists' Impression: Fernhurst Grove entry

Celebrating the Past and Enhancing the Future

Heritage Context

Esmonde and Plumstead House

North-South Pedestrian Link

Whitty House and Stables

A Garden Village

14. Heritage Context

Three Heritage Gems

The three heritage gems on the subject site – Esmonde, Plumstead and Whitty House present an invitation to return the precinct to some of its former grandeur.

In line with the masterplan principles (refer Vision and Masterplan) they form the principle public interface and therefore it is fitting that they should house the community amenity spaces.

The subsequent pages outline the existing conditions as well as the proposed improvements and extensions to integrate the three heritage buildings within the overall masterplan.







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Significant Heritage Buildings

	Plumstead House
	Esmonde House
	Whitty House
	Stables



① Context diagram showing retention grading of existing trees on site
Not to Scale

15. Esmonde House Existing Conditions

The building is a large and intact example of the Federation Domestic Queen Anne Revival.

The double-height verandah facing Fernhurst Grove is a significant feature and has been augmented and infilled.

The ballroom is located in the rear section at the upper floors and retains its original fabric such as leadlight windows, door and window joinery and tuckpointed red bricks, although it has been altered with new service infrastructure and a fire escape stair.

A two storey linking addition on the north side provides access to Plumstead House.

- A. Esmonde House - Rear (West)
- B. Esmonde House - Side (South)
- C. Esmonde House - Front (East)



15. Plumstead House Existing Conditions

The building is a relatively intact attic storeyed Federation villa.

The front part of the building retains significant features including an usual balconette on the ground floor and entry porch to the south side.

The rear single storey envelope, while original or early, is of modest scale and interest, and is heavily compromised by alterations and additions, including:

This rear envelope retains one chimney that is relatively low in height and not visible from the street – several other chimneys from this rear structure, visible in early aerial photographs, have already been removed.

Various windows to each of the three sides of the rear envelope are non-original, including larger, obviously modern window types. One window to the north side has been removed (bricked-in).

A brick lean-to has been added on the north side.

A two storey link addition on the south side provides access to Esmonde House

The hipped roof has dormer type additions in weatherboard.

An enclosure for services is attached to northwest corner of the rear envelope (refer image opposite)

- A. Plumstead House - Front (East)
- B. Plumstead House - Rear (West)
- C. Plumstead House - Side (North)
- D. Plumstead House - Adjacent, existing services



15. Esmonde and Plumstead House Existing Conditions

An existing two storey link between Esmonde and Plumstead house provides a clumsy way to connect the buildings and facilitate their former uses. The intention now is to remove this link, allowing the two buildings to breathe and sit separately as originally intended. Similarly the veranda infills to Esmonde House are to be removed and the open verandas reinstated. Finally, additions at roof level, such as the timber clad hipped roof volume, are to be removed.



Esmonde & Plumstead roof forms



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15. Esmonde and Plumstead House Design Response

The key design principles to our heritage approach are as follows;

- The buildings are being retained and restored, and given new use by the proposed development
- The proposed uses will contribute to the ongoing preservation of the heritage buildings
- The open landscape setting is maintained to the primary (south) side of Esmonde House and will provide a grand entrance to the site with high pedestrian amenity.
- Preservation and enhancement of primary elevations of both buildings
- Improved streetscape outcome
- Deletion of the linking structure will improve separation between the buildings so that they present to Fernhurst Grove as individual buildings (as originally intended)
- No new built form proposed to the north of Plumstead House (basement access with landscape arbour)
- All new built form is located to the rear of Esmonde House and Plumstead House. New buildings are low single storey height (except for the new lift shaft) and lightweight so that heritage buildings have precedence and retain prominence.
- Deletion of the low value rear envelope of Plumstead House.



Key Plan
Not to Scale

WOODS BAGOT

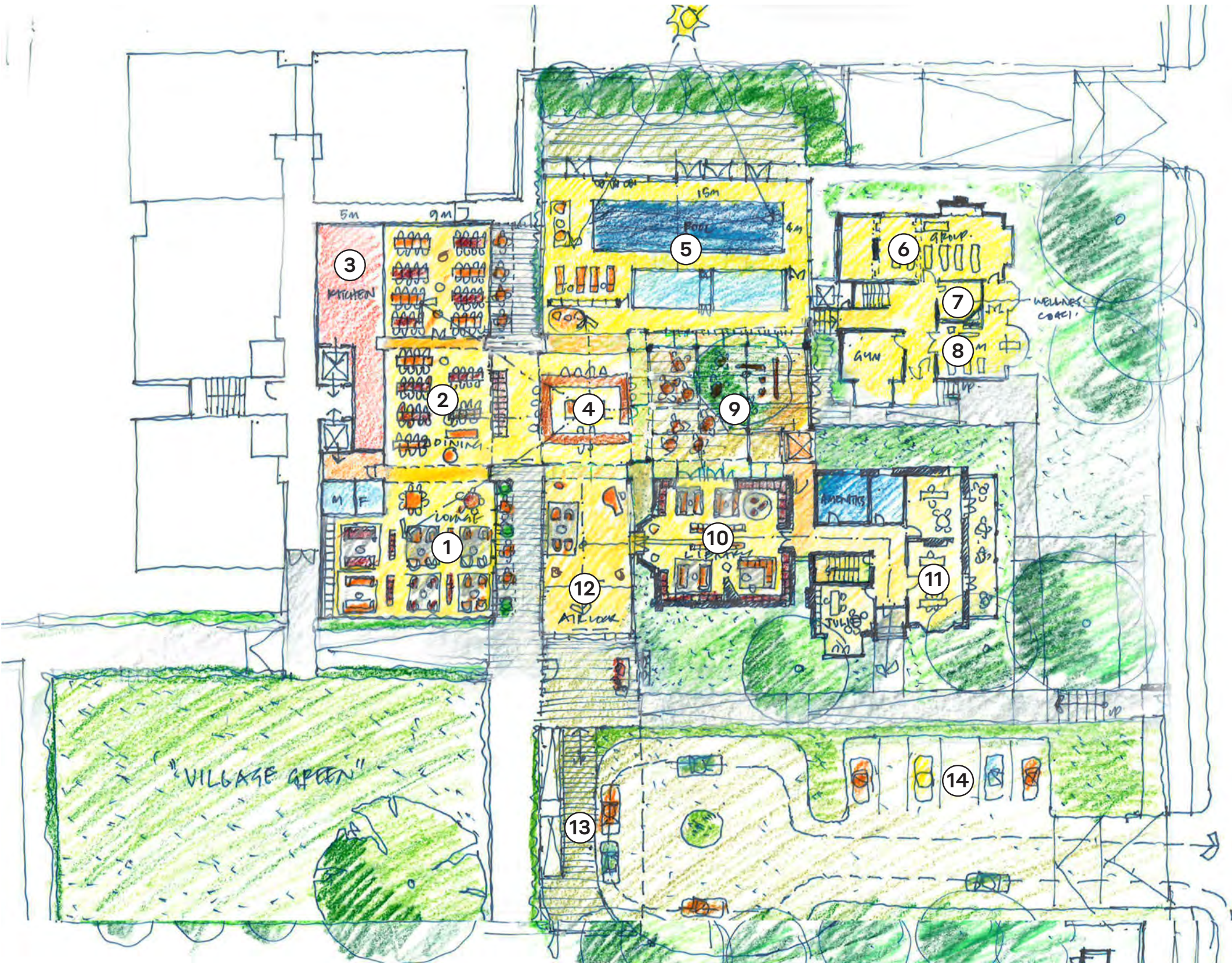


A. Aerial view of Fernhurst Grove entry, Plumstead House, Esmonde House and associated communal spaces

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Legend

- 1. Lounge
- 2. Dining
- 3. Kitchen
- 4. Reception / Cafe
- 5. Pool / Change
- 6. Flexi Space / Group Fitness
- 7. Wellness Coach
- 8. Gym
- 9. Atrium / Courtyard
- 10. Library
- 11. Staff
- 12. Airlock
- 13. Porte Cochere Drop off
- 14. Visitor Carpark



Plumstead and Esmonde House - Ground Plan (Sketch)
Not to Scale

15. Esmonde and Plumstead House Existing vs Proposed Fernhurst Grove Interface

Images on this spread illustrate the “before and after” scenario for Esmonde House, highlighting the value of opening up the verandas at ground and first floor for the benefit of uses and equally the wider community looking onto these heritage buildings from Fernhurst Grove. Equally reinstating the gap between the two buildings further encourages a sense of access and permeability through the site whilst preserving the intactness of the heritage buildings.

The East facing garden to the front of both Esmonde and Plumstead house has been designed to be open and visible from the street and footpath. The intention is for the wider community of Kew to benefit and engage with both the heritage buildings and community village being established here.

- A. Esmonde House - Fernhurst Grove (East) Existing Interface
- B. Esmonde House - Fernhurst Grove (East) Proposed Interface
- C. Esmonde & Plumstead House - Fernhurst Grove (East) Existing Interface
- D. Esmonde & Plumstead House - Fernhurst Grove (East) Proposed Interface



15. Esmonde and Plumstead House Proposed Fernhurst Grove Interface



15. Esmonde and Plumstead House Design Response

The community amenities, consisting of the port cochere, reception, and wellness buildings, are annexed to the rear of Plumstead and Esmonde house.

These are intentionally low scale and recessive, allowing the Heritage buildings to stand proud and be the primary interface to Fernhurst Grove. In contrast to the heritage fabric and the masonry language of the new build residential buildings, the amenity annexes are expressed as light weight contemporary pavilions of predominantly steel and glass. The intention is for these to be open, perceived as permeable and inviting.

The aerial sketch on this page illustrates how the amenity pavilions sit behind the heritage fabric and along side the Village High Street which provides the primary north south link throughout the masterplan. These amenities form the destination at the end of Village High Street.



Key Plan
Not to Scale

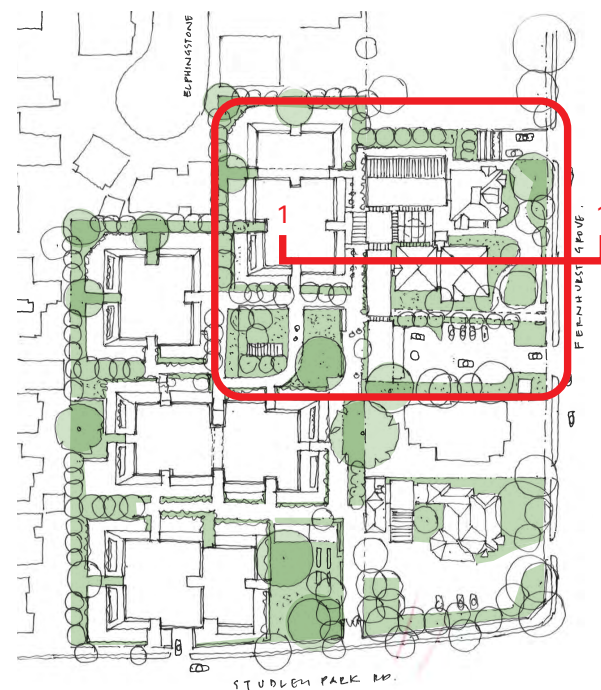
WOODS BAGOT



A. Aerial view of Plumstead and Esmonde House communal amenities

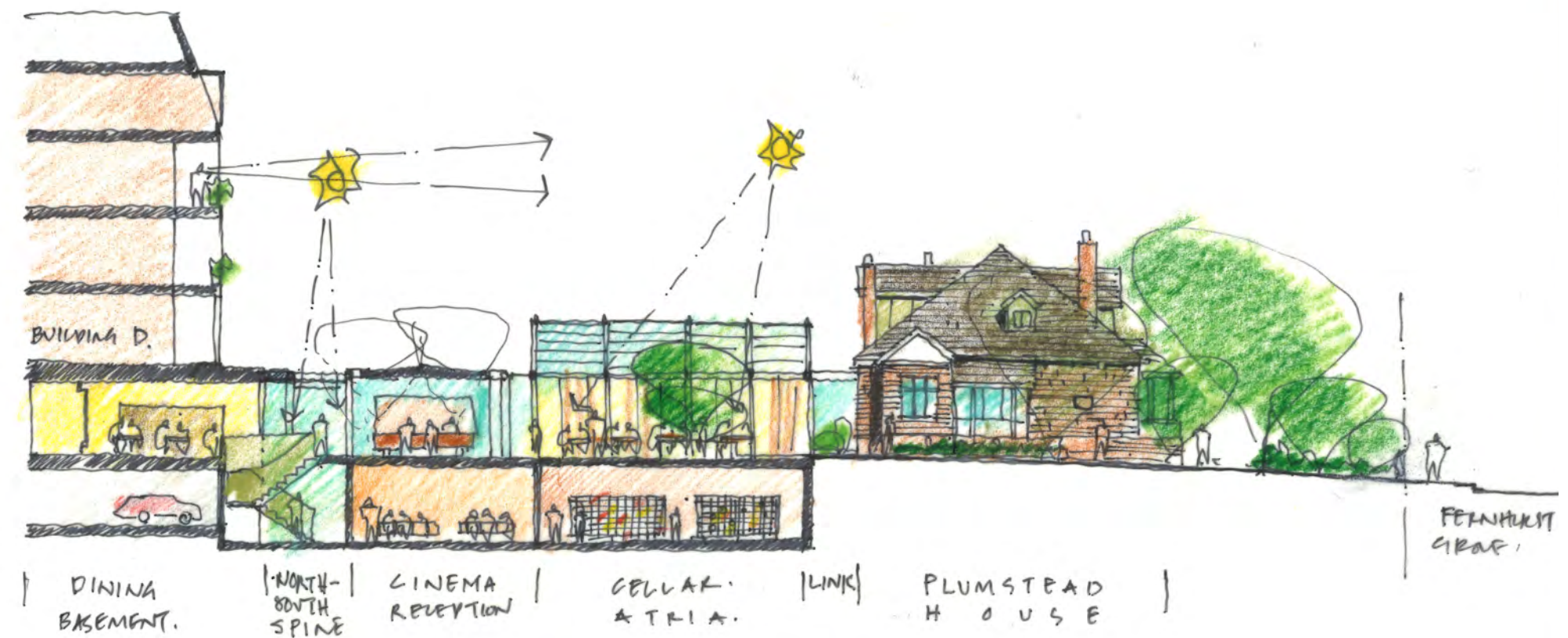
15. Esmonde and Plumstead House Design Response

Together with the aerial view, the sketch section on this page illustrates how the gap in between Plumstead and Esmonde, to the rear of the buildings is envisaged as a covered piazza for residents. The amenity spaces further link via an open stair to basement facilities including a cinema and wine cellar.



Key Plan
Not to Scale

WOODS BAGOT




1. Section through Building D and Communal Amenity looking North
Not to Scale

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15. Esmonde and Plumstead House Design Response

The reception and entry pavilion links to Esmonde House via an existing arched opening which is reinstated as the primary entry to the residents library. The west façade of Esmonde House remains intact and legible from within the reception and entry pavilion.



 Key Plan
Not to Scale

WOODS BAGOT



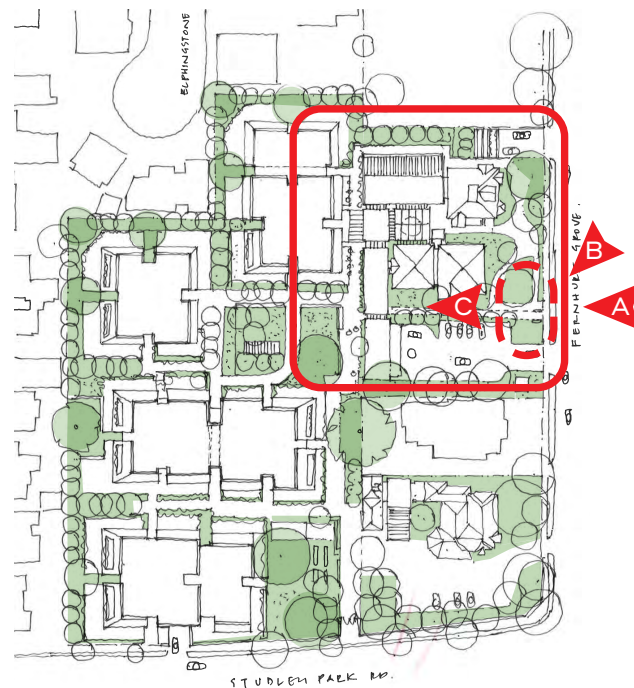
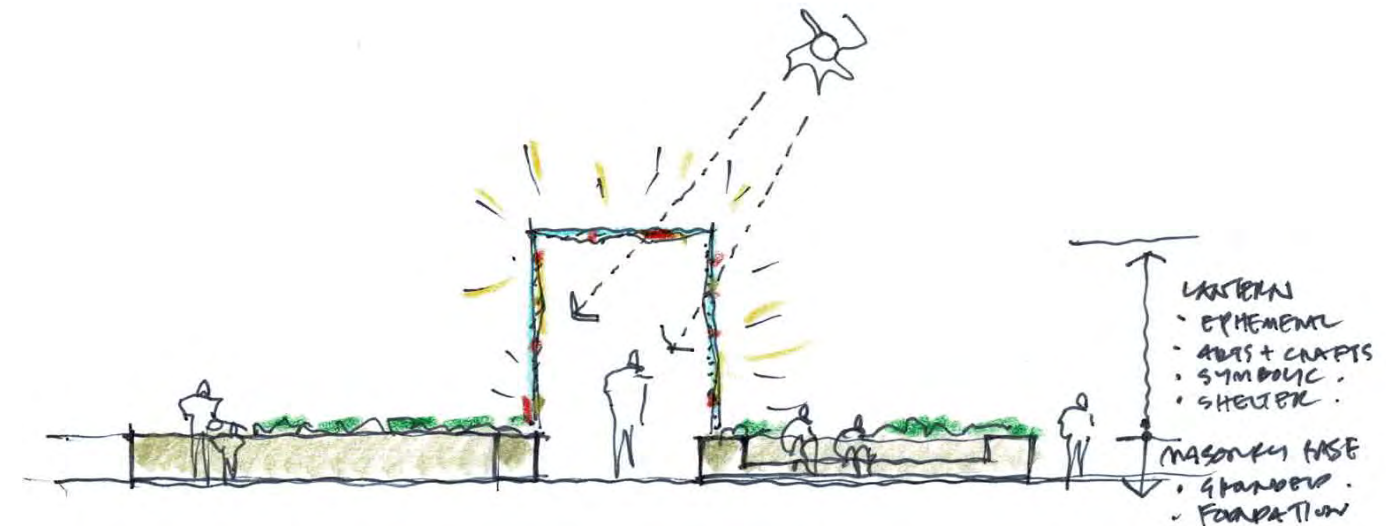
A. Artists' Impression: Reception and entry pavilion with a view of the rear of Esmonde and access to library


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Reference imagery of sensitive insertions into heritage fabric

15. Esmonde and Plumstead House Fernhurst Grove Portico Entrance



 **Key Plan**
Not to Scale

WOODS BAGOT



A. Elevation from Fernhurst Grove

A small humble entry portico to Fernhurst Grove provides pedestrian amenity at the street interface, providing shelter and an opportunity to sit and rest

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B. View of Fernhurst Grove Portico Entrance from Fernhurst Grove

15. Esmonde and Plumstead House Fernhurst Grove Portico Entrance



C. Early concept sketch: View of Porte Cochere and Reception Entry from Fernhurst Grove Portico



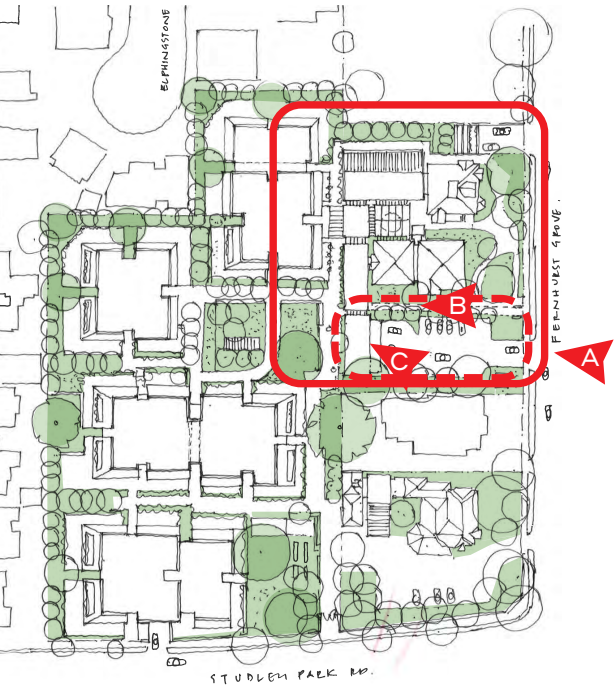
Artists' Impression: View of Esmonde House from Portico Entry

15. Esmonde and Plumstead House Fernhurst Grove Porte Cochere

Vehicle access to basement for residents is via a separate ramp located at the top of Fernhurst Grove or Studley Park Rd.

Visitors arriving by car make use of the vehicle cross over adjacent to Esmonde House that leads to a landscaped Porte Cochère and canopy with visitor car parking.

The primary pedestrian entrance runs alongside Esmonde House, celebrating the southern façade of the heritage buildings. The reception building site behinds Esmonde House and is connected to the pedestrian walk way and Port Cochère canopy. The low scale built form of the Port Cochère affords views beyond to the Village Green enhancing a sense of openness and a providing a welcoming arrival.



Key Plan
Not to Scale

WOODS BAGOT

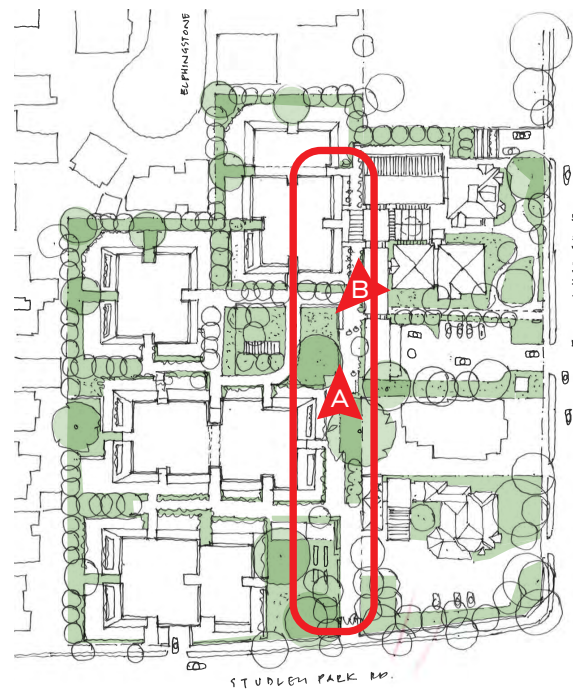





Artists' Impression: Porte Cochere

16. North-South Pedestrian Link Overview

The Village High Street provides the main axis and pedestrian link through the site in a north south direction. All the amenity facilities such as the stables café, community garden, the reception, lounge, and wellness facilities feed off this spine. The pedestrian entry on Fernhurst Grove and the Port Cohere intersect with the Village High Street. Finally the spine spills out on the Village Green, forming the very heart of the scheme, holding in place one of the largest existing Gum trees on the site.



 Key Plan
Not to Scale

WOODS BAGOT



A. Early concept sketch: View of North-South Pedestrian Link

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B. Artists' Impression: View of Village Green from North-South Pedestrian Link