

Home Victoria

Construction Management Plan

Bills St, Hawthorn – MAIN WORKS

Reference:

Version: Rev 1

Issued:



**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

**CONSENT UNDER CLAUSE 52.20
VPP2101334
ENDORSED PLAN
Sheet 1 of 21**

Signed: _____ for
MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE
Date: 5 Nov 2021

Document Control

Document Information

Document ID	Homes Victoria – Main Works – Construction Management Plan
Document Owner	Homes Victoria

Document History

Rev	Date	Revisions/ Issued to
1	27.9.21	Draft
2	27.9.21	Issued to DELWP

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 2 of 21

Signed:  for
**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**

Date: 5 Nov 2021

Signed:

for

**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE****Date: 5 Nov 2021**

Contents

1. Introduction	4
1.1 Homes Victoria - Big Housing Build	4
1.2 Bills Street, Hawthorn	4
1.3 Department of Families Fairness and Housing	5
1.4 Project and Consultant Team	5
2. Contractor Project Plans	6
2.1 Health and Safety Plan	6
2.2 Traffic Management Plan	7
2.3 Construction Management Plan	8
2.4 Environmental Management Plan	10
2.5 Quality Assurance Plan	11
2.6 Dilapidation Report	11
3. Site Particulars	12
3.1 Access and Use of the Site	12
3.2 Site Constraints	12
3.3 Facilities to be provided by the Contractor	12
3.4 Site Hoardings, Gates and Gantries	16
3.5 Temporary Fire Evacuation Plans	16
3.6 Ecological Site Protection	16
4. Execution of the works	17
4.1 Hours and Days of Working	17
4.2 Maintaining Access	17
4.3 Noise and Vibration	17
4.4 Dust Control	18
4.5 Protection of Property, Structures, Services and Other Property	18
4.6 Site Maintenance, Clean Up and Restoration	18
4.7 Asbestos/ Hazardous Materials	19
4.8 Existing Services	19
4.9 Rectification and Emergency Procedures	19
4.10 Disputes from Neighbours	20
4.11 Alcohol and Drugs	20
4.12 Construction Drainage	20
4.13 Water and Sewerage Mains Connections	20
4.14 Trees and Vegetation	20
4.15 Maintenance of all Paved Areas	21
4.16 Dust	21
4.17 Graffiti	21
4.18 Air Quality Monitoring	21

1. Introduction

1.1 Homes Victoria - Big Housing Build

The Director of Housing has identified some of the oldest public housing across metropolitan Melbourne to be transformed into vibrant, well-connected neighbourhoods with homes that are comfortable, modern and energy efficient as part of the Big Housing Build.

The aims of the Project will be to:

- Provide choice & affordability – enable low and moderate-income households to be able to access (or sustain) the housing they need, when they need it, at a price they can afford.
- Support diverse community needs - to enable disability access, create a safe environment for victim survivors of family violence, provide stable housing for Victorians experiencing mental illness and support Aboriginal Victorians to build and manage their own housing.
- Enabling prosperity and growth –recognise that housing is the key to social and economic prosperity for individuals, the community, and the State as a whole.
- Deliver value through partnerships –work creatively and combine strengths to get the best outcomes and value, in the most cost-effective way; and
- Operate sustainably –meet objectives in a financially sustainable way, over the long term, and with improved environmental performance.

1.2 Bills Street, Hawthorn

The design proposes an apartment typology. The yield presently achieves 206 dwellings, with a distribution of 103 social and 103 affordable dwellings. The site footprint is approximately 10,326m².

See Table 1 and 2 below:

Table 1 – Project Summary

Site	Suburb	Social Dwellings	Affordable Dwellings	Approx. Site Area (m2)
Bills St	Hawthorn	103	103	10,326m ²

Table 2 – Distribution of social and affordable dwellings

Building	Typology	Dwelling Description
A	Social	36 apartment dwellings
B	Affordable	26 apartment dwellings
C	Affordable	31 apartment dwellings
E	Social	9 apartment dwellings
F	Affordable	46 apartment dwellings

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

**CONSENT UNDER CLAUSE 52.20
VPP2101334
ENDORSED PLAN
Sheet 4 of 21**

Signed: _____ for
**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**
Date: 5 Nov 2021

G	Social	58 apartment dwellings
	Total	206

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 5 of 21

Signed:  for
**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**
Date: 5 Nov 2021

1.3 Department of Families Fairness and Housing

The Director of Housing who is represented by the Department of Families, Fairness and Housing will oversee a Main Works Contractor to deliver the Works. The Main Works Contractor will be bound by the requirements of this Construction Management Plan.

1.4 Project and Consultant Team

For this document, the following terms shall have the meanings adjacent:

Role:	Organisation/ Person
Principal	Director of Housing, unless otherwise stated in the Contract
Project Manager	DFFH
Main Works Contractor	TBC
Superintendent	Chief Development Officer, DFFH, unless otherwise stated or replaced under the Contract
Relevant Building Surveyor	PLP Building Surveyors & Consultants
Quantity Surveyor	MBM
Architect	Hayball
Structural & Civil Engineer	Mordue Engineering
Traffic Engineer	Ratio
Services and ESD	Stantec
Landscape	Tract
DDA	Access and Disability
Project Building Surveyor	RBS
Town Planning	Three Thirds Group
Fire Engineer	Stantec
Acoustic Engineer	Arup

2. Contractor Project Plans

The Contractor shall submit detailed Project Plans for the Works to the Superintendent.

2.1 Health and Safety Plan

The Contractor shall prepare and submit a site-specific Health and Safety Plan (HSP) according to the requirements below.

The Contractor shall incorporate the site-specific induction of all contractors and subcontractors in their HSP (including any procedures and requirements under COVID-19 health and safety regulations).

The HSP shall ensure compliance with the requirements of the OHS Law and those Codes which are relevant to the Works being executed under the Contract.

The methodology must clearly state not only the specific health and safety requirements pertaining to the physical work, that is within the Site, but also what measures shall be taken to ensure the operating environment of local residents beyond the Site is duly recognised.

The Contractors shall monitor, maintain and kept up to date the HSP during the course of the Works through to the Date of Practical Completion.

2.1.1 Site Hazard Identification and Risk Assessment

The HSP shall include a Site Hazard Identification and Risk Assessment. A Risk Assessment Form shall be used to record the risk assessment and risk control methods to be employed by the Contractor.

2.1.2 Legislative Compliance

The Contractor must comply with and ensure that its employees, Subcontractors and agents comply with any Acts, regulations, local laws and by-laws, Codes of Practice, Australian Standards and the Principal's OHS policy and procedures which are in any way applicable to this Contract or the performance of the services under this Contract. The Contractor shall comply with the OHS Law and any other relevant statutory requirements dealing with occupational health and safety.

2.1.3 Incident Notification

The Contractor is required to notify WorkSafe Incident Notification Unit in the event of a notifiable incident as defined by Section 38(3) of the Occupational Health and Safety Act 2004 (Vic). The Contractor shall at the same time notify the Superintendent thereafter as soon as possible in the circumstances and give a written copy of the notice to the Superintendent and Principal.

The Contractor must promptly notify the Superintendent and Principal of any accident, injury, property or environmental damage which occurs during the carrying out of the Works. All lost time incidents shall be immediately notified to the Superintendent. The Contractor must provide a report within 3 working days of any such incident giving complete details of the incident, including results of investigations into its cause, and any recommendations or strategies for prevention in the future.

2.1.4 Independent Audits of Occupational Health and Safety

The Contractor shall include for and organise for a series of independent audits to be undertaken by an independent third-party holding auditor accreditation (RAB QSA or equivalent) on its Health and Safety Co-ordination Plan.

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME****CONSENT UNDER CLAUSE 52.20****VPP2101334****ENDORSED PLAN****Shem 7 of 21****Signed:****for****MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE****Date: 5 Nov 2021**

2.2 Traffic Management Plan

The Contractor shall prepare and submit a Traffic Management Plan (TMP) which shall comply with the requirements of the Planning Permit, all approvals relevant to the Works and the minimum requirements below.

The TMP shall:

- Be prepared by a qualified traffic engineer;
- Detail how vehicular, cyclist and pedestrian traffic combined with the construction vehicular traffic to and from site will be safely managed for all main entries to the site. This includes the public transport (tram and buses) that operate in the area; and,
- Include the earliest and latest times for vehicle access to site, to minimise congestion from construction traffic on the surrounding transport network in peak times.

Specific TMP provisions for the safety of pedestrian and cyclist traffic (non-motorised road users) shall include:

- Provision for the safe movement of pedestrians and cyclists around / adjacent to the Site.
- Temporary obstructions (including hoardings and barriers), signs and lighting to public footpaths and cycle facilities (where present).

Specific TMP provisions for the safe and efficient movement of vehicular traffic (including buses and trams) shall include:

- Ensure that the impact is no more than minor for the roads and vehicular traffic adjacent to the Site and to adjacent properties.
- Temporary obstructions (including hoardings and barriers), signs and lighting to such roads.
- Temporary traffic controls, lights and personnel to operate such equipment if required.
- Provisions for non-standard deliveries or events that may require a temporary closure of any surrounding roads. A layout for Manual Traffic Control will be required with stop/go paddles and signs.
- The TMP shall explain the induction procedure so that all construction traffic travelling to and from the site inducted to ensure that they take the correct route and observe the specific requirements on campus.
- The TMP shall detail procedures to avoid mud tracking on the existing Council and VicRoads roads.
- With all temporary control layouts, it is expected that the Contractor will include active and inactive layouts as well as contingency plans at all times for reduction in confusion and to comply with best practice application. While all controls should where practicable and appropriate comply with authority requirements, the key requirement is that they are safe at all times under all conditions and demands.

The Contractor shall:

- Allow for and provide qualified personnel to implement and comply with the traffic management plan for the duration of the Works. A qualified Site Traffic Management Supervisor is to be present on site at all times with support from qualified Traffic Controllers.
- Allow for all costs to comply with requirements of the local Council, VicRoads, and immediate neighbours.
- Allow for and provide clearly display appropriate speed limits within the Site and ensure that they are obeyed.
- Allow for and ensure that deliveries to the Site are only be made during the hours as nominated and accepted in the TMP.
- Ensure that there is no disruption to traffic in the vicinity of the Site and ensure access to roads driveways, escape routes from adjacent buildings and fire protection equipment.
- Survey all existing internal site roads, footpaths and kerbs surrounding the Site and provide signs, temporary roads, crossovers, paved areas and other appropriate means to assist the movement of

vehicles, plant and persons on the site as necessary to facilitate the Works and to maintain access to neighbouring buildings.

- Be responsible for the protection of existing private road system, kerbing and grass verges within the campus used during the construction period.
- At the end of the construction period, the Contractor shall be responsible for the removal of any protection methods/systems used on these roads, kerbing and grass verges and the remediation of any alteration or damage caused.
- Undertake regular internal Traffic Management Audits which are to be available at all times for review by the Superintendent.

The Contractor shall record details of regular inspections/audits of temporary traffic management measures reporting of any crashes due to the temporary traffic management is requested.

2.3 Construction Management Plan

The Contractor shall prepare and submit a site-specific Construction Management Plan as per the minimum requirements below.

The Construction Management Plan will be prepared in accordance with Boroondara City Council requirements.

The site-specific Construction Management Plan (CMP) shall have direct reference to all authority requirements, including all the relevant the local Council Construction Management requirement and contractor to manage the submission to Council. The CMP must include:

- 1) pre-conditions survey (dilapidation report) of the land and all adjacent Council roads frontages and nearby road infrastructure;
- 2) RISC Process and the process for the management of interface with existing services;
- 3) works necessary to protect road and other infrastructure;
- 4) works necessary to protect surrounding environmental assets and to ensure no environmental degradation and contamination of the stormwater system;
- 5) remediation of any damage to road and other infrastructure;
- 6) containment of dust, dirt and mud within the land and method and frequency of clean up procedures to prevent the accumulation of dust, dirt and mud outside the land;
- 7) facilities for vehicle washing, which must be located on the land;
- 8) the location of loading zones, site sheds, materials, cranes and crane/hoisting zones, gantries and any other construction related items or equipment to be located in any street;
- 9) site security;
- 10) management of any environmental hazards including, but not limited to:
 - a) contaminated soil and site remediation
 - b) materials and waste;
 - c) dust;
 - d) stormwater contamination from run-off and wash-waters;
 - e) sediment from the land on roads;
 - f) washing of concrete trucks and other vehicles and machinery; and
 - g) spillage from refuelling cranes and other vehicles and machinery;
- 11) the Contractor's program;

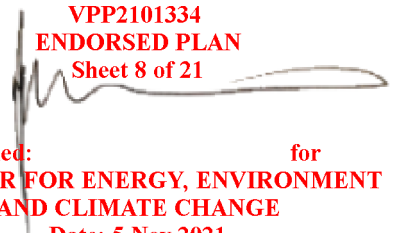
**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 8 of 21

Signed:  **for**
**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**
Date: 5 Nov 2021

- 12) parking facilities for construction workers including consideration of amenity impacts on nearby residences .
- 13) an outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
- 14) an emergency contact that is available for 24 hours per day for residents and the Responsible Authority in the event of relevant queries or problems experienced;
- 15) the provision of a traffic management plan;
- 16) stormwater drainage system protection measures to be installed as required to ensure that no solid waste, sediment, sand, soil, clay or stones from the land enters the stormwater drainage system;

The CMP shall also detail the Contractor's proposed methodology for performing site activities associated with the project and include as a minimum:

- Site security arrangements cross referenced to the Site Control Drawings showing external and internal hoardings, temporary and permanent fences, screens, gates and protection gantries;
- Hoarding to existing structures to weatherproof opening created as part of the demolition;
- Site de-watering methodology (including treatment);
- Means of complying with requirements for environmental and waste management;
- Construction stormwater treatment and control including detailed erosion and sediment control;
- Measure to mitigate and measure dust and air quality;
- Measures to mitigate and measure noise and vibration;
- Tree protection zone and measures;
- Control of earthworks operations and land disturbance;
- Materials handling processes;
- Management of stockpiles and batters;
- Control of debris and mud from vehicles leaving site;
- Protection and / or removal of existing trees in accordance with the Arborist's Specification;
- Disposal of contaminants; and
- Management of other impacts of the Works.

The CMP shall include a Site Control Plan for each phase / stage of the Works.

Site Control Plan

The Contractor shall prepare and submit a scaled Site Control Plan for each stage showing proposed location(s) and details for the following items:

Site vicinity:

- a) Protection gantries
- b) Temporary crossings and / or occupation of roadways or pedestrian footpaths.
- c) Areas where public access affected (streets, and within the housing facility, where beyond the site perimeter).
- d) No go zones (e.g. due to overhead HV cabling etc)

Site extent and perimeter:

- Temporary fences and external hoarding
- Internal hoardings (partitions) to create exclusion zones where required
- Protection gantries and decks
- Exclusion / No go zones

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 9 of 21

Signed: _____ for
**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**
Date: 5 Nov 2021

- Gates, security points and controls, including after-hours access arrangements, including keys
- Temporary crossings
- Dedicated contractor access and egress paths.
- Shared contractor access and egress paths.

Waste management area:

- For sorting and segregating waste.
- For waste and recycling skips and bins.

Materials and storage areas (including on gantries and protection decks):

- Deliveries access
- Cranes and crane / hoisting zones
- Loading and unloading areas.
- Materials lay down areas (for storing material away from the immediate / active construction zone).
- Other materials handling areas / zones
- Other storage areas

Contractor's site compound / accommodation:

- Site and project offices.
- Site amenities including toilets, lunch rooms, first aid and amenities, as applicable.
- Storage areas, as applicable.

The locations of the above shall be shown on a drawing, at a minimum, as an accurate mark-up of the Architect's plan.

Where the location of any items listed above may change from time to time during the construction period the Contractor shall revise the Site Control Plan to reflect this and seek approval by the Superintendent.

2.4 Environmental Management Plan

The Environmental Management Plan shall conform with ISO14001. The Contractor shall implement the EMP during the Works and update as required where there are changes in site conditions.

The Environment Management Plan shall include a Waste Management Plan for the works for all employees and Subcontractors to reuse or recycle construction, demolition and land-clearing waste.

The WMP shall include the following:

- Description of the type of waste, estimated quantity of waste material and method of disposal (reuse on site/off site, resale, recycle, landfill);
- Disposal of Contaminants - The Contractor and any Subcontractors shall properly dispose of all solid, liquid and gaseous contaminants in accordance with statutory requirements;
- Disposal of Refuse - The Contractor shall remove from Site all refuse, including food scraps and the like, resulting from work under the Contract. Refuse which is dropped from upper floors shall be discharged in hoppers, shutters, chutes or refuse buckets which are covered or designed to confine the material completely and prevent dust emission;
- Establishment of a waste management area on site for sorting and segregating waste;
- Identification of appropriate waste Subcontractors for recycling;
- Participation in waste minimisation training for employees and Subcontractors;
- Published waste minimisation plan

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 10 of 21

Signed:

for

**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**

Date: 5 Nov 2021

2.5 Quality Assurance Plan

The contractor is required to prepare a Quality Assurance Plan accredited to ISO 9000 / 1, prior to the commencement of works.

2.6 Dilapidation Report

Prior to commencing work on the Site, the Contractor shall carry out a comprehensive survey of the existing Site, adjacent buildings at the interface of the Site, adjacent roads, driveways, cross overs and access paths and footpaths around the Site. The survey shall also include a comprehensive photographic record of existing conditions prior or having access to the Site and the locations of each photograph including direction. Two copies of the photographic record and report is to be handed to the Superintendent and an electronic copy issued via Aconex at the time stated in the Contract.

The survey shall include the recording by adequate means as necessary to accurately show the existing condition of these adjacent buildings (internal and external), roads, footpaths, landscaping and services. If so requested the Superintendent shall attend the survey.

Failure by the Contractor to take such action will be deemed acceptance by the Contractor that there are no defects or damage.

Council Asset Protection

Prior to the commencement of works the Contractor shall also contact the local Council Asset Protection Officer and arrange for an inspection of the adjacent roads and footpaths. If the Works commence before this inspection the Contractor shall be liable for all work required by the local Council Asset Protection Officer.

Maintenance

The Contractor shall provide and maintain all temporary roads, temporary pavement crossovers, hard standings and protection to permanent pavements, cross overs and roads as required for access and carrying out the works of this Contract.

Damage and Make Good

All damage caused by any operations of this Contract shall be made good by the Contractor at its own cost.

Should the Contractor notice damage done by others, the Contractor must immediately notify the Superintendent.

All existing roads, crossovers and footpaths can be used for access but it is done so at the Contractor's risk. Any rectification or upgrade costs of damage by vehicles/weather to bring the road to a design level as specified in this Contract shall be the responsibility of the Contractor.

The Contractor shall remove temporary roads, paths and crossovers at Practical Completion, or when no longer required, and make good all permanent pavements, roads, kerbs, crossovers, footpaths and other surfaces to the satisfaction of the Superintendent and the relevant Authorities.

The Contractor shall ensure that any access roads or crossovers that are damaged from traffic related to these works are reinstated to the satisfaction of the Superintendent.

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 11 of 21

Signed: _____ for
**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**
Date: 5 Nov 2021

Signed:

for

MINISTER FOR ENERGY, ENVIRONMENT

AND CLIMATE CHANGE

Date: 3 Nov 2021

3. Site Particulars

3.1 Access and Use of the Site

The Contractor shall confine its activities associated with the actual construction of the Works at the Site and shall comply with any restrictions on access required by this document and the relevant authorities.

The site is a non-smoking site. The Contractor's personnel must adhere to this policy whilst on the site.

Site boundaries shall be delineated according to the drawings and described as the "Contractors Site". Such delineation must include all necessary hoardings, barricades, warning signs and /or lights, locked gates, witches hats, total enclosure of the work site or other approved methods. The Contractor shall ensure that all gates are locked outside normal Working Hours.

Works areas, which are designated as restricted, shall display notices in accordance with the applicable Australian Standards for warning signs.

3.2 Site Constraints

3.2.1 Parking on Site

There is no designated carparking available on site for the Contractor, Site personnel or visitors.

Discussion is ongoing with the University of Melbourne (UoM) with a view to making available car parking spaces within the UoM facility adjacent to the site for both public and site-specific car parking.

Where there is insufficient parking available arrange additional carparking as necessary at the Contractor's cost as applicable. The impact of carparking on adjoining properties, including Council land shall be kept to an absolute minimum. If using local roads for parking, make sure all Site personnel are advised at induction to comply with local carparking sign restrictions at all times.

3.3 Facilities to be provided by the Contractor

The Contractor shall provide all site facilities necessary to undertake the work including services to facilities and covered walkways. All facilities must be adequate to meet any OH&S and industrial relations standards.

All facilities (including sheds, materials laydown, etc) must be established within the site boundaries.

3.3.1 Contractor's Area

The Contractor shall make good all damage outside this area caused by or due to the works. The Contractor shall ensure that the area is securely fenced off or otherwise secured.

The Contractor shall be responsible for the proper drainage of the Contractor's Area and shall provide sufficient materials, labour, pumps and other equipment to keep the Contractor's Area dewatered and protected.

3.3.2 Site Accommodation and Facilities

The Contractor and its Sub-contractors shall confine their activities including use of equipment, storage of materials and the activities of its workmen and Sub-contractors to within areas of the sites, or other areas outside the compound, as agreed with the Superintendent.

The site accommodation and facilities provided by the Contractor shall include, but not be limited to:

- Secure site office including all required services in a location to the Superintendent's approval; and
- A sick bay equipped in accordance with the requirements of the Specification.

The Contractor must provide, in addition to the Site office and other amenities, a room suitable for use as a meeting room suitable to accommodate all site meetings.

Provide all the necessary signage, barriers, scaffolding, lighting for safety and traffic control.

Maintain all scheduled facilities in good condition for the duration of the Main Works and remove all traces of the same on completion.

3.3.3 COVID-19 Requirements

The Contractor shall include all additional cleaning, social distancing and legislative requirements for the continuation of work during COVID-19. This includes any additional sheds required to adhere to the COVID-19 social distancing requirements.

The Contractor must include all cleaning, provision of hand sanitiser and other requirements to operate in the COVID-19 environment. This includes all current government advice and legislative requirements in relation to Covid-19. The Contractor must allow for the management of COVID-19 in line with the advice provided by Worksafe or any authority. Refer “Managing the risk of COVID-19 exposure: Construction industry” as published by Worksafe on 17 April 2020 or any other subsequent publications. [These requirements must be included within the Contractors tendered price and tendered program]

Disruption to Supply Chain

The Contractor shall report immediately any impact to the supply chain as a result of COVID-19. This is to be considered in line with the requirement to notify the Superintendent of all available materials. The Contractor must take all reasonable steps to provide early notification of any potential risks as a result of COVID-19.

3.3.4 Temporary Services

Any temporary connections to existing Site services must be approved by the relevant supply authority, Principal and Principals engineer prior to the connection. Reticulation of services from the point of connection shall be provided by the Contractor.

The Contractor is to investigate the existing site electrical supply and boards for spare capacity. Alternately the Contractor may elect to source an electrical supply from the street. In the event there is no spare capacity the contractor is to supply their own power via acoustically treated generators.

Construction Power Supply and Lighting

The Contractor shall connect, supply, reticulate and pay all usage costs for the power and lighting within the Site as is necessary to execute the Works under the Contract including commissioning up to Practical Completion. Such reticulated power and lighting shall be connected to the point of supply provided by the Principal or to local Authority infrastructure as applicable.

Reticulated power and lighting installations shall comply in all respects with the requirements of the Electricity Supply Authority and the Code of Practice for Temporary Electrical Installations on Building and Construction Sites. All General Purpose Outlets (GPO's) shall be provided with earth leakage protection.

If necessary, the Contractor shall allow to provide standby electricity generating plant for the shutdown of any electrical services required during the Works. The provision of this plant shall comply with the regulations of the Electricity Supply Authority. Under no circumstances shall any Contractor's generating plant be connected with the Electricity Supply Authority's supply.

Water Supply

The Contractor is responsible for arranging and paying for the connection including sub-meter installation, supply and usage of water to the Site during the Works up to Practical Completion.

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 13 of 21

Signed: _____ for
**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**
Date: 5 Nov 2021

Alternately the Contractor may elect to source a water supply from the street. All costs associated with connection are the Contractor's responsibility.

Sanitary Provisions

The Contractor is to provide on the Site, suitable temporary enclosures and conveniences for the use of workers, maintaining the same in a clean and sanitary condition in accordance with the requirements of local authorities, and on completion of the project, remove the enclosures and conveniences from the Site, treating any fouled ground and leaving the whole area in a hygienic condition. Separate toilet facilities for females and males must be provided. Should the Contractor elect to connect sanitary accommodation to existing sewer systems on the site, all reticulation costs are to be borne by the Contractor. The minimum requirements are listed below:

- The Contractor shall provide toilet facilities for its own and its Sub-contractors use.
- The Contractor shall provide water tight refuse bins for use by its workforce.
- The Contractor shall arrange for removal of all sewage from holding tanks or pay all discharge costs as applicable.

Telecommunications/Information Technology

The Contractor shall make its own arrangements for the provision of telephone services including facsimile, voice and data for itself and the Sub-contractors and pay all associated usage costs. The Site offices of the Contractor shall have a dedicated data line and email address. The Contractor shall have the capacity to send electronic communications from Site.

Drainage

The Contractor shall be responsible for the proper drainage of the works that may be required during on-site work, and shall provide sufficient materials, labour, pumps and other equipment to keep the Works dry and protected. Additionally, the Contractor shall ensure that any runoff from the sites does not adversely impact on any land, buildings or roads in proximity to the works.

Stormwater

The Contractor shall have adequate stormwater management measures in place including bunds etc. to ensure there is no surface runoff into adjacent properties, or local street network.

Protection of Wiring

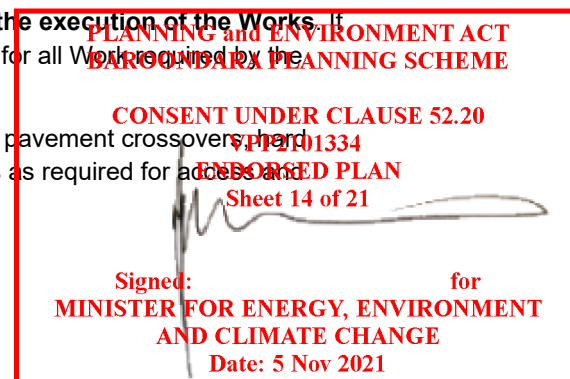
The Contractor shall properly and adequately protect all electrical supply wiring adjacent to the site against being damaged as required by the relevant Authorities.

Make good any damage to the above wiring to the satisfaction of the relevant Authorities and without cost to the Principal.

Road, Pavement and Kerb Protection

Prior to the commencement of works the Contractor shall contact the local Council Asset Protection Officer and arrange for an inspection of the adjacent roads and footpaths. **The contractor is responsible for getting the Asset Protection Permits as required for the execution of the Works.** If the Works commence before this inspection the Contractor shall be liable for all Work required by the local Council Asset Protection Officer.

The Contractor shall provide and maintain all temporary roads, temporary pavement crossovers, hard standings and protection to permanent pavements, cross overs and roads as required for access and carrying out the works of this Contract.



All existing roads, crossovers and footpaths can be used for access, but it is done so at the Contractor's risk. Any rectification or upgrade costs of damage by vehicles/weather to bring the road to a design level as specified in this Contract shall be the responsibility of the Contractor.

The Contractor shall remove temporary roads, paths and crossovers at Practical Completion, or when no longer required, and make good all permanent pavements, roads, kerbs, crossovers, footpaths and other surfaces to the satisfaction of the Superintendent and the relevant Authorities.

The Contractor shall ensure that any access roads or crossovers that are damaged from traffic related to these works are reinstated to the satisfaction of the Superintendent.

Security

The Contractor shall provide proper and adequate safeguards for the Main Works including fixed and unfixed materials on the site during both working and non-Working Hours. The Contractor shall receive, check and secure all equipment, materials and supplies being delivered to the Site and store within the boundaries of the Site.

Ensure all tools, equipment, materials and supplies are stored and used in accordance with the manufacturer's directions and any act or regulations governing their storage or use.

Confine their operations strictly within the minimum area necessary for the execution of the Work under the Contract. The Contractor shall take all measures, including the employment of a Watchman or the services of a Security Patrol, as necessary for this purpose, all at no cost to the Principal.

When the site is left unattended, the Contractor must ensure that all points of entry to the site are locked and any other access prevented.

3.3.5 Impact to Security System

The Contractor must allow for any temporary impacts to the Site and provide temporary CCTV where required to ensure the existing security coverage is maintained at all times. The Contract must seek security written approval from the Superintendent prior to the installation of site boardings, site establishment and temporary CCTV cameras to maintain the site security.

A minimum of 4) CCTV cameras will be required to be allowed for by the contractor to maintain security across the Site.

3.3.6 First Aid and Medical Facilities

The Contractor shall in all respects be fully responsible for the provision of first aid services to its employees and employees of its Sub-contractors and suppliers, including the transport of injured personnel to hospital or other appropriate accommodation as and when required.

3.3.7 Project and Temporary Signage

The Contractor is responsible for the provision (including production, erection, maintenance and removal) of all necessary temporary construction signage including all required statutory and information signage to identify the Site, advise safety control measures, hazardous materials and dangerous goods stored within the Site, and re-direct non-construction vehicular and pedestrian traffic around the perimeter of the site.

A Directory Board shall be erected by the Principal with the following details:

- Project Name
- Principal
- Project Manager/ Superintendent
- Design Consultants

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 15 of 21

Signed:

for

**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**

Date: 5 Nov 2021

- Advisors
- Contractor

The Contractor will be responsible to maintain this signboard.

CONSENT UNDER CLAUSE 52.20
VPP2101334
ENDORSED PLAN
Sheet 16 of 21

Signed: _____ for
MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE
Date: 5 Nov 2021

3.3.8 Damage Due to Weather

The Contractor shall take all necessary precautions to protect the Main Works from damage by inclement weather or any other cause. The Contractor is responsible for any repairs as a result of inclement weather.

3.4 Site Hoardings, Gates and Gantries

The Contractor shall provide and maintain all necessary hoardings and fences, screens, gates, footways, gangways, protection gantries, platforms, temporary walls and enclosures, etc., to protect the Main Works, persons and property, as shown on the Drawings and as required by the Authorities.

External Hoardings

All external hoardings are to be constructed from durable solid materials to provide secure and robust protection against the construction impacts including noise and dust, as well as providing visual separation from building works. The perimeter hoarding is to have barbed wire to the top of the perimeter of the Site. **Temporary fencing is not appropriate as hoardings.**

Minimum hoarding height is 2400 AGL. The Contractor must allow for and undertake structural assessment and certification of all hoardings for the works.

Gates

Gates to the perimeter of the site shall be provided as required for construction access, egress and emergency use from the Site.

3.5 Temporary Fire Evacuation Plans

The Contractor must allow to prepare and install 'Temporary Fire Evacuation Plans' for the Site, including all buildings which are impacted by the Main Works, showing the locations of items including fire extinguishers, fire sprinklers, fire hose reels, smoke detectors, thermal detectors, fire blankets, exit points etc in all locations as requested by the building surveyor. These Temporary Fire Evacuation Plans must be reviewed and agreed with the Building Surveyor and updated as required throughout the construction process.

3.6 Ecological Site Protection

Protection and Relocation of Fauna

The Contractor must adopt adequate measure to remove/ relocate any animals present on site in a humane manner. The Contractor must engage a qualified zoologist prior to the removal of any vegetation (trees or shrubs) on the site to ensure the protection and safe relocation of wildlife and birds. An inspection and spotlighting shall be undertaken by the zoologist prior to any vegetation removal, to determine the appropriate method for fauna relocation. The vegetation removal works must be supervised by the zoologist. Post vegetation removal works, a report confirming the safe removal of fauna, is to be prepared by the zoologist.

4. Execution of the works

4.1 Hours and Days of Working

Working Hours and days at the Site under this Contract shall be restricted to the hours between 7:00am and 6.00pm Monday to Friday and 9:00am (or earlier as per the local Council by laws) and 5:00pm (or earlier as per the local Council by laws) on Saturdays.

Deliveries and unloading of materials shall not take place outside of these hours. No work will be permitted on Sundays, statutory public holidays and Construction Industry Award Rostered Days Off without the prior written approval of the Superintendent. Refusal to permit work outside these hours shall not constitute a basis for extension of time or any other claim. It is the Contractor's responsibility to organise its work for completion within the nominated time.

If the Contractor's personnel arrive on site before 7am, it must ensure its personnel do not keep vehicle engines idling. The Contractor's personnel are operating in a residential precinct and must not have radio volumes at high levels or have loud conversations with colleagues in open areas. The Contractor must ensure it monitors the said matters closely to minimise any complaints from nearby residents.

4.2 Maintaining Access

The Contractor Sum includes the cost of modifying all roads and footpaths around the site to ensure public access around the Site is maintained always.

The Contractor must also allow temporary lighting to maintain safe lux levels for pedestrian movement where impacted by the works.

4.3 Noise and Vibration

The Contractor is required to consult with neighbouring and affected properties in the immediate vicinity of a site before and during the construction period to keep local residents, and any other parties that may be affected, informed of the type, duration and location of works and their potential impact on the local area.

Some general construction activities can be carried out in the following ways to manage the noise on site. The Contractor must adhere to these general practices in the execution of the Main Works:

- Turn off equipment when not in use. Throttle settings should be reduced if possible.
- Staff should not use loud radios and/or stereos outdoors during sensitive times, such as early in the morning in a residential area. Shouting or swearing, loud talking and slamming vehicle doors should be avoided.
- If a PA is on site it should be used sensibly and in moderation. Avoid broadcasting telephone calls through the PA.
- Scheduling and management of truck movements is important to reduce issues associated with reversing beepers, engine noise and general off-site activity.
- Fitting equipment with noise suppressors, acoustic linings or shields
- Placing of plant away from occupied areas
- Programming the sequence of operations and other management functions.

Any potentially noisy activity shall be scheduled at such a time so as not to cause disruption or undue nuisance to surrounding areas and must comply with local by laws. The Superintendent shall be notified at least 72 hours prior to any such works proceeding. Any Contractor involved in the works shall comply with all the requirements listed below:

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 17 of 21

**Signed: _____ for
MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**

Date: 5 Nov 2021

- All construction equipment shall be fitted with noise suppressors, acoustic linings or shields. All tools and silencers shall be kept in first class condition at all times;
- Comply with AS 2436, Guide to Noise Control on Construction, Maintenance and Demolition Sites, and all statutory regulations and guidelines concerning noise and nuisance;
- Take all reasonable precautions to minimise disruption to users, occupiers, visitors and the general public in and around the Site.

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

**CONSENT UNDER CLAUSE 52.20
VPP2101334**

**INDUSTRIAL DEVELOPMENT PLAN
Sheet 18 of 21**

**Signed: _____ for
MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE
Date: 5 Nov 2021**

4.4 Dust Control

The Contractor shall make every effort to control dust and fumes emanating from the works so they do not affect adjacent properties. The Contractor must allow for the cost associated with the temporary supply of water for dust minimisation and control.

4.5 Protection of Property, Structures, Services and Other Property

The Contractor shall take upmost care as not to cause damage to adjoining properties or adjacent buildings on the Site. This requirement includes supporting of structures, walls, fences and protecting all services and property which may, unless so protected, be damaged as a result of the execution of the Works. The Contractor shall be responsible for any damage which may result from neglecting to provide adequate protection.

Any new or existing works damaged as a result of the activities of this Contract, or, by any personnel employed on it shall be repaired or replaced to comply with the requirements for new works of a similar nature, shall match and align with the corresponding existing work. The Contractor shall bear all risk and cost of rectification, replacement and / or make good in respect to damage of loss of the Works, facilities, equipment and materials on Site.

The Contractor shall, with every care and skill, support and protect all structures, walls, fences and all services and property which may, unless so protected, be damaged as a result of the execution of the Works and shall comply with the requirements of the Principal, of public authorities and others controlling those structures, fences, services and property for their protection from damage during construction or maintenance of the Works.

At all times do everything necessary to ensure the safety and freedom from injury, damage or interference of all the adjacent public or private lands, properties, ways, services and all other adjacent real or personal property and persons at any time in the vicinity of the Site. In particular the Contractor shall carry out and provide such shoring or other forms of support, shielding, fencing and other protective and precautionary measures as necessary.

The Contractor shall supply drop sheets and other means of protection for work in progress, equipment, plant and instruments throughout the Site.

4.6 Site Maintenance, Clean Up and Restoration

The Contractor shall keep the Site clean and tidy at all times and pay continuous attention to the removal of litter, waste materials, garbage and refuse including food scraps and the like.

Under no circumstances will the Contractor dispose of any material or goods, construction debris, rubbish or like material on or about the Sites. All such materials shall be removed from the site regularly and recycled or disposed of by the Contractor at its own expense.

The Contractor is responsible for the supply and removal of bins. Bins shall not restrict traffic in carriage ways and must be illuminated at night.

For dropping refuse, the Contractor must use hoppers and shutters, chutes or refuse buckets which are covered or of such a design as to confine the material completely and prevent dust emission.

All spoil from earthworks shall be removed by the Contractor from the Site.

The Contractor must properly dispose of contaminants in accordance with all statutory and contractual requirements and remove from Site to approved locations or as otherwise directed by the Superintendent.

4.7 Asbestos/ Hazardous Materials

During the works, should the Contractor identify any asbestos containing material (ACM) or any material suspected of containing or likely to contain a substance defined or listed in the National Occupational Health and Safety Commission's (NOHSC) Guidance Notes (NOHSC 1008-2004: 'Approved Criteria for Classifying Hazardous Substances' and NOHSC 10005-1999: 'List of Designated Hazardous Substances'), it must:

- Not disturb the material under any circumstances;
- Contact the Superintendent and inform them of the existence and location of the material on site; and
- Ensure that all persons are protected from exposure to the material until the nature of the material has been competently determined.

The removal of asbestos containing material on site, shall be in accordance with statutory requirements and the Occupational Health and Safety Regulations 2017. Any hazardous materials which are identified within the project site, shall be removed by an appropriately licensed contractor.

4.8 Existing Services

Before commencing the Main Work, the Contractor shall locate and identify all existing services and similar embedded and concealed items on or adjacent to the site which might be affected by the Works.

The Contractor shall locate stop cocks, tapping points, meters, and the like for all services, and determine whether the services are active or inactive.

The Contractor shall notify the relevant authority before commencing any work which affects the services provided by that authority.

The Contractor shall carry out all required work on services, including inactive services, in accordance with the requirements of the relevant authority.

The Contractor shall obtain certification from the relevant authority that all work has been carried out to its approval.

4.9 Rectification and Emergency Procedures

The Contractor shall establish procedures required in the event of damage or interruption to active services during the Works to minimise disruption and inconvenience resulting from such damage or interruption, and to re-instate supply immediately.

Damage to active existing services resulting from the works shall be repaired or replaced by the Contractor as determined by the Superintendent.

The Contractor shall immediately notify the relevant authority in the event of damage to any service on or adjacent to the site.

In the event that such damage may endanger life or property, the Contractor shall notify the relevant emergency services, and shall immediately stop work in the vicinity and clear the area of people, including public areas and adjacent buildings where the nature of the damage requires, and shall not recommence work until approved by the relevant authority.

The Contractor shall provide assistance required in connection with any such incident. The Contractor shall be liable for the cost of any required repairs by the relevant authority.

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 19 of 21

**for
MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE
Date: 5 Nov 2021**

4.10 Disputes from Neighbours

The Contractor shall not be entitled to any extension of time where such proceedings or disputes with adjacent or neighbouring owners or occupiers are due to any default of the Contractor or to any act of the Contractor, other than an act required by this Contract.

If the Contractor receives a request or complaint from an adjacent property owner, the public or any other source, the Contractor shall:

- Respond courteously, and with regard to any previous directions by the Superintendent.
- Record all such requests and complaints received.
- Notify the Superintendent immediately.

4.11 Alcohol and Drugs

Consumption of alcohol or unauthorised drugs on the Site or working while under the influence of alcohol or drugs is strictly prohibited.

4.12 Construction Drainage

The Contractor must provide and construct such drains and take such other precautions as are necessary to protect the Works from damage due to the flow or collection of water and to prevent the ponding of water on or in any of the Works to be done under the Contract.

In locations where the disposal of water by gravity is not possible, the Contractor shall dispose of the water using adequate pumping equipment.

4.13 Water and Sewerage Mains Connections

Installation of the water and sewerage extensions will require the Contractor to contact the relevant authority prior to commencement of works. The Contractor shall provide notification within the period required by the authority and shall gain all required permits and certifications to carry out the works.

4.14 Trees and Vegetation

The Contractor is not to remove any trees or vegetation other than those noted in the Contract documentation without prior approval of the Superintendent and tree removal permits (as required). Where removal is to be required, the extent is to be agreed on site prior to removal.

The Contractor shall protect all trees that are to remain, including trees on neighbouring property and street trees, and other plants which are to be retained from damage with suitable temporary guards or enclosures during the construction period.

The Contractor shall rectify trees damaged during the Works.

All rectification shall be carried out by an approved arborist. If rectification is impracticable or is attempted and is not approved by the Superintendent, the Contractor shall remove the tree and root system, make good, and either replace with a tree of the same species and similar size, or pay the assessed cost of damage. Damage will be assessed by the Superintendent as the cost of replacement.

4.14.1 Tree Protection

The Tree Protection Zone must be maintained and tree protection fencing must be installed/set up in accordance with the applicable Tree Management Plan.

**PLANNING and ENVIRONMENT ACT
BAROONDARA PLANNING SCHEME**

CONSENT UNDER CLAUSE 52.20

VPP2101334

ENDORSED PLAN

Sheet 20 of 21

Signed:

for

**MINISTER FOR ENERGY, ENVIRONMENT
AND CLIMATE CHANGE**

Date: 5 Nov 2021

4.15 Maintenance of all Paved Areas

Provide temporary paved areas, temporary roads, washing down facilities and associated drainage, etc. as necessary to ensure that mud is not carried on to adjacent roads or paved areas by vehicles leaving the Site. Vehicles removing spoil, rubbish, etc., from the Site shall not be loaded beyond their normal capacity and shall be fitted with proper tail-boards and side-boards to eliminate the dropping of spoil or rubbish. Roads and paths, if fouled by spoil, concrete or other material, shall be cleaned immediately to the extent of washing if necessary. The Contractor shall repair any damage to roads and pavements as a result of the construction work.

4.16 Dust

The Contractor involved in the works is responsible for minimising all air pollution emanating from the work sites. The Contractor shall ensure that dust is minimised during any proposed demolition and construction work. The Contractor must allow for the cost associated with the temporary supply of water for the purpose of dust minimisation and control.

4.17 Graffiti

The Contractor shall remove all graffiti and the like from all signs, structures and the building works within two (2) working days of occurrence and earlier as instructed by the Superintendent. The cost of the graffiti removal will be borne by the Contractor.

4.18 Air Quality Monitoring

The Contractor is required to comply with the following in regard to air quality monitoring:

Baseline air quality testing by the Contractor is to be completed prior to commencement of any demolition and excavation works.

The site of testing is to remain consistent for all further testing conducted during the excavation and construction period, unless otherwise notified.

